

NEW HOME:  
**RESIDENCE**  
 5 CASA DE CAMPO,  
 MARTINEZ, CA 94553

APN:367-140-017

**RECEIVED** on 11/17/2021 CDP21-00076  
 By Contra Costa County  
 Department of Conservation and Development



SHEET INDEX

A1.11	COVER SHEET
A2.11	SITE PLAN
A2.12	ENLARGED SITE PLAN
A3.00	LEGENDS AND KEYNOTES
A3.11	PROPOSED FLOOR PLAN - LOWER LEVEL 1
A3.21	PROPOSED FLOOR PLAN - MAIN LEVEL 2
A3.31	PROPOSED FLOOR PLAN - ADU LEVEL 3
A4.11	SCHEDULES
A6.11	PROPOSED ROOF PLAN
A7.00	PERSPECTIVE VIEWS
A7.11	ELEVATIONS EXTERIOR
A7.21	ELEVATIONS EXTERIOR
A8.11	SECTIONS
A9.11	DETAILS
AE0	UTILITY KEYNOTES AND LEGEND
AE1	UTILITY PLAN-LEVEL 1
AE2	UTILITY PLAN-LEVEL 2
AE3	UTILITY PLAN-LEVEL 3
AG1	CAL GREEN REQUIREMENTS
AG2	CAL GREEN REQUIREMENTS

USGL LAND LLC  
 1200 Business Center Drive  
 San Leandro, CA 94577  
 107-410-7102  
 david@usgl.com

Owners:  
 USGL LAND LLC  
 1200 BUSINESS CENTER DRIVE  
 SAN LEANDRO, CA 94577  
 TEL: 107-410-7102  
 EMAIL: DAVID@USGL.COM

APN:367-140-017

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**GENERAL BUILDING NOTES**

EXISTING SITE CONDITIONS:  
 1.01 PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE, AND BY THEIR OWN INVESTIGATION, DETERMINE EXISTING SITE CONDITIONS AS TO THE QUANTITIES OF MATERIALS, LABOR HOURS, AND ANY OTHER COST ASSOCIATED WITH WORK THAT IS TO BE DONE UNDER THEIR CONTRACT AND AS REQUIRED TO PASS ALL BUILDING PERMIT INSPECTIONS. ALL MODIFICATIONS REQUIRED BY THE INSPECTION AUTHORITY SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.

PERMITS, LICENSES, INSPECTIONS AND FEES:  
 2.01 THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PLAN REVIEW, PERMIT, LICENSE, AND INSPECTION APPROVALS. ALL FEES REQUIRED FOR APPROVAL SHALL BE PAID BY THE OWNER.

DATA AND MEASUREMENTS:  
 3.01 DRAWING DATA CONTAINED HEREIN IS AS EXACT AS COULD BE DETERMINED WITHIN THE PROJECT DESIGNER'S DESIGN SCOPE OF SERVICES RENDERED. AS SUCH THE ABSOLUTE ACCURACY OF THE DESIGN DATA IS NOT GUARANTEED. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL ENDEAVOR TO OBTAIN, VERIFY AND CONFIRM EXACT DESIGN DATA ON SITE AND SUITABLY ADAPT THE WORK TO CONFORM TO EXACT CONDITIONS ON SITE. THE CONTRACTOR SHALL REPORT ANY DESIGN DATA AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO ADAPT THE WORK SHALL BE MADE BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

3.02 DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS AND ACTUAL BUILDING MEASUREMENTS TAKE PRECEDENCE OVER SCALED DRAWING INFORMATION.

3.03 DIMENSIONS TO DOORS, WINDOWS, AND OPENINGS ARE NOMINAL WIDTHS. REFER TO THE MANUFACTURER FOR ACTUAL ROUGH OPENINGS, FACE OF STUD TO FACE OF STUD. ALL DOORS NOT LOCATED BY DIMENSION ON PLAN OR DETAIL SHALL BE 3 INCHES FROM FACE OF STUD TO FACE OF NEAREST DOOR BUCK OR CENTERED ON ROOM.

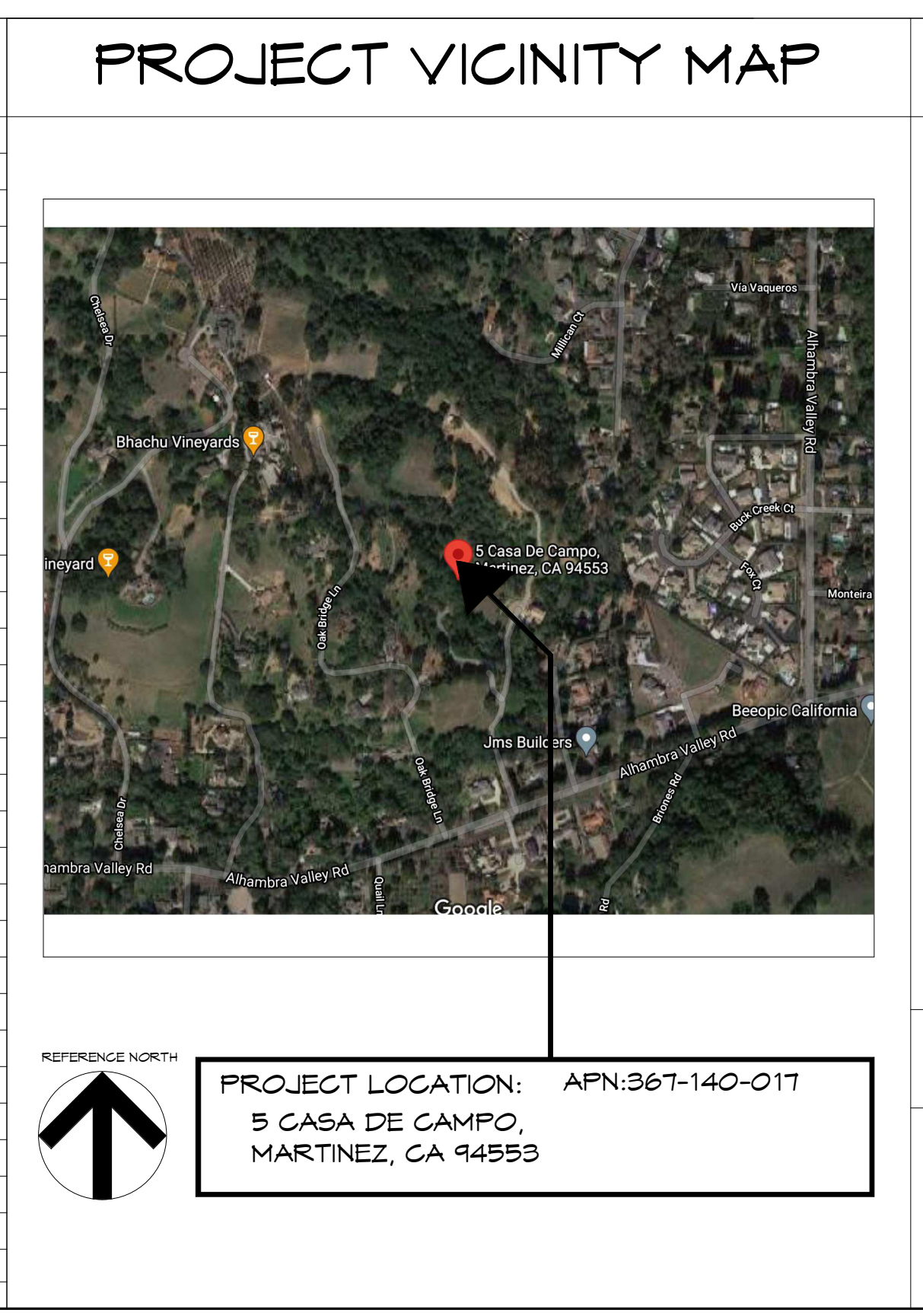
3.04 ALL WALL DIMENSIONS ARE ACTUAL. WALL FINISH DIMENSIONS ARE NOT TAKEN INTO ACCOUNT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO DETERMINE PROPER CLEARANCES.

3.05 INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.

SUBSTITUTIONS FOR SPECIFIED MATERIALS:  
 4.01 SPECIFIC TRADE NAMES MENTIONED IN THE DRAWINGS ARE FOR THE PURPOSES OF ESTABLISHING MINIMUM STANDARDS OF QUALITY, STYLE OR TYPE, AND SHALL NOT BE CONSTRUED TO RESTRICT SUBSTITUTIONS. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER IN WRITING WITHIN A SUFFICIENT TIME FRAME AS NOT TO DELAY PROJECT COMPLETION.

**BUILDING SHEET ABBREVIATIONS**

AB	ANCHOR BOLT	GALV	GALVANIZED	SHTHS	SHEATHING
ADJ	ADJACENT	GL	GLASS	SHWR	SHOWER
ALUM	ALUMINUM	GYP	GYPSUM	SM	SIMILAR
BM	BEAM	H	HIGH OR HEIGHT	SMP	SIMPSON
BOV	BOTTOM OF WALL	HB	HOSE BIBB	SLD	SLIDING
BKGS	BLOCKING	JTS	JOIST	SHP	SHIELD & POLE
BRD	BOARD	LAV	LAVATORY	STRUT	STRUCTURAL
CG	CENTER TO CENTER	LB	FOUND	T	TREAD
CL	CENTERLINE	LN	LINEN	TEMP	TEMPERED
CEM	CEMENT	LT	LIGHT	TOC	TOP OF CONCRETE
CER	CERAMIC	MANF	MANUFACTURER	TOG	TOP OF GRADE
CJ	CONTROL JOINT	MAX	MAXIMUM	TOP	TOP OF FLOOR
CLG	CEILING	MG	MEDICINE CABINET	TOP	TOP OF PAVEMENT
CLR	CLEAR	MIN	MINIMUM	TOB	TOP OF SLAB
CLO	CLOSET	MTL	METAL	TOP	TOP OF WALL
CO	CLEANOUT	N	NORTH	TV	TELEVISION
CONC	CONCRETE	O/	OVER	TYP	TYPICAL
CONTN	CONTINUOUS	OC	ON CENTER	UCR	UNDER COUNTER REFRIG.
DBL	DOUBLE	OPG	OWNER FURNISHED CONTRACTOR INSTALLED	K	KEST
DF	DOUGLAS FIR			KV	KITH
DI	DRAIN INLET	PB	PUSH BUTTON	KC	WATER CLOSET
DIA	DIAMETER	PH	PHONE	KD	POOD
DR	DOOR	PL	PLATE	KH	WATER HEATER
DW	DISH WASHER	POG	POINT OF CONNECTION	KP	WATER PROOF
E	EAST	PT	PRESSURE TREATED	KWM	WELDED WIRE MESH
EL	ELEVATION	R	RISER		
EQ	EQUAL	REF	REFRIGERATOR		
FF	FINISH FLOOR	REINF	REINFORCED		
FIX	FIXTURE	RM	ROOM		
FLUOR	FLUORESCENT	RWD	REDWOOD		
FP	FIRE PLACE	S	SOUTH		
GA	GAUGE	SB	SET BACK		
GFCI	GROUND FAULT INTERRUPTER	SF	SQUARE FOOT		



**PROJECT TEAM**

DESIGNER:  
 USGL LAND LLC  
 1200 Business Center Drive  
 San Leandro, CA 94577  
 mobile: 107-410-7102  
 david@usgl.com

STRUCTURAL ENGINEER:  
 --

TITLE 24 ENERGY CONSULTANT:  
 --

TRUSS DESIGN:  
 --

CIVIL ENGINEER:  
 --

FIRE PROTECTION DESIGN:  
 --

**PROJECT SCOPE**

NEW HOME

**PROJECT DATA**

APPLICABLE BUILDING CODE:	2019 CBC, CGC, CEC, CMG, CPG, CEG, CEC (ENERGY CODE), CFG, & GBCG
OCCUPANCY GROUP:	R-3 (SINGLE FAMILY RESIDENCE) U (GARAGE)
CONSTRUCTION TYPE:	TYPE V-B - THREE STORY FIRE-SPRINKLERED

**BUILDING AREA**

SPACE	PROPOSED
GARAGE	875 S.F.
DECKS AND PATIO AT LEVEL-2	745 S.F.
TOTAL UNCONDITIONED AREA:	1620 S.F.
RESIDENCE LEVEL-1	1530 S.F.
RESIDENCE LEVEL-2	2446 S.F.
RESIDENCE LEVEL-3	1194 S.F.
TOTAL CONDITIONED AREA:	5675 S.F.
LOT COVERAGE:	4566 S.F.
% LOT COVERAGE: (LOT SIZE: 61,136 S.F.)	6.7%

TITLES:  
 COVER SHEET

ISSUES:  
 PLAN CHECK PG01  
 CONST. DOCUMENTS  
 DESIGN DEVELOPMENT  
 SCHEMATIC DESIGN 2021.04.30

SHEET:  
**A1.11**



PROPOSED HOUSE

**USGL LAND, LLC**  
1300 Business Center Drive  
San Leandro, CA 94577  
Mobile: 707-410-1102  
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Owner's:  
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TEL: 707-410-1102  
EMAIL: DAV@USGLAND.COM

APN: 367-140-017

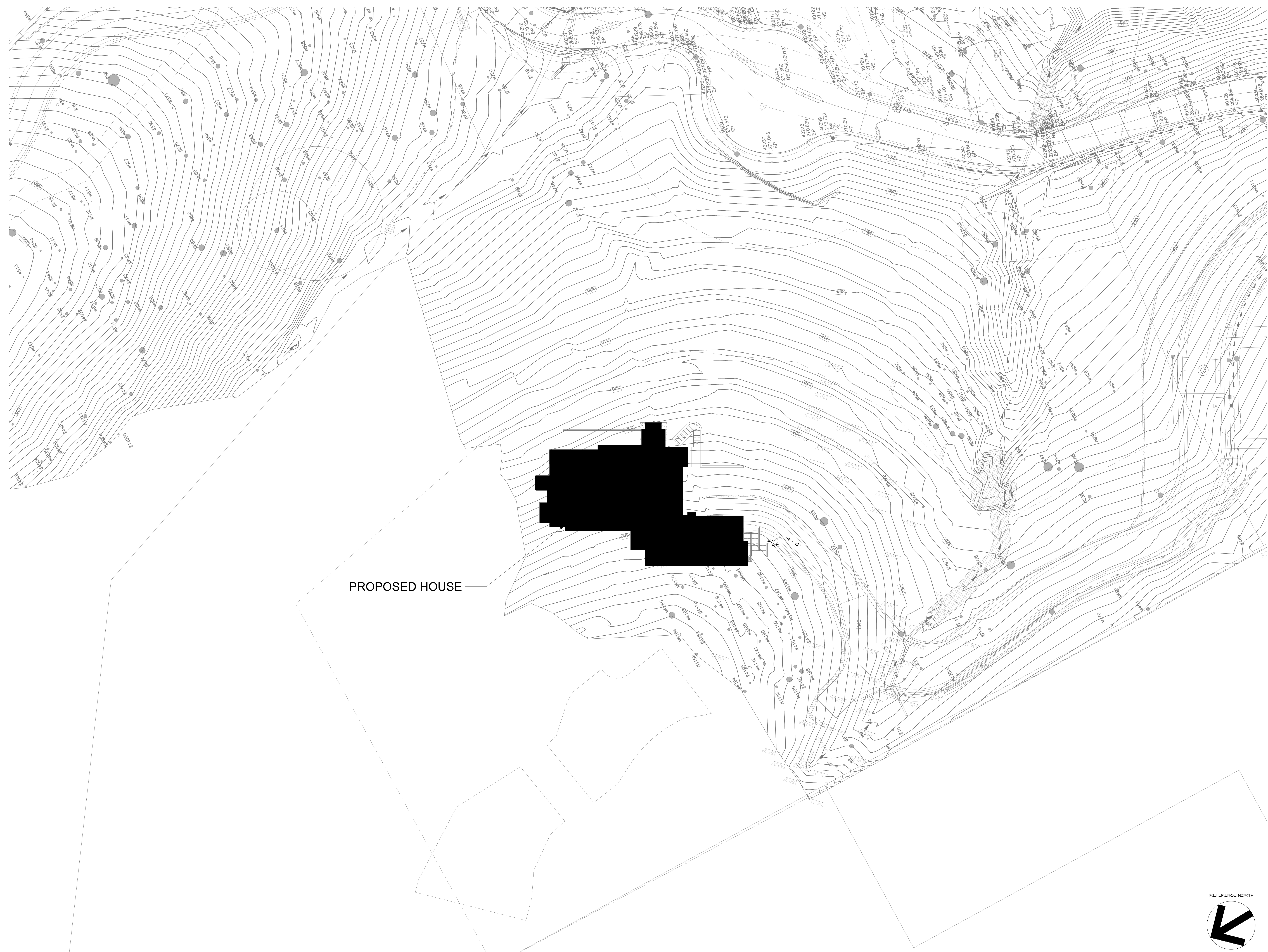
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TITLE:  
SITE PLAN

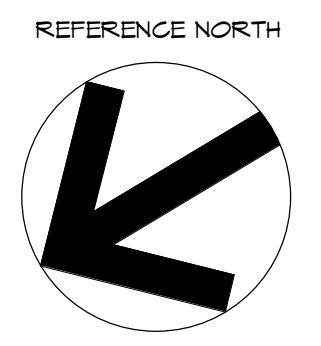
ISSUES:

PLAN CHECK: PG01  
CONST. DOCUMENTS  
DESIGN DEVELOPMENT  
SCHEMATIC DESIGN 2021.04.30

SHEET:  
**A2.11**



PROPOSED HOUSE



1 ENLARGED SITE PLAN  
SCALE: 1" = 20'-0"

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EMAIL: DAVE@USGLAND.COM

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TITLE:  
ENLARGED SITE  
PLAN

ISSUES:

PLAN CHECK: P001  
CONST. DOCUMENTS  
DESIGN DEVELOPMENT  
SCHEMATIC DESIGN 2021.04.30

SHEET:  
**A2.12**



**USGL LAND, LLC**  
 1300 Business Center Drive  
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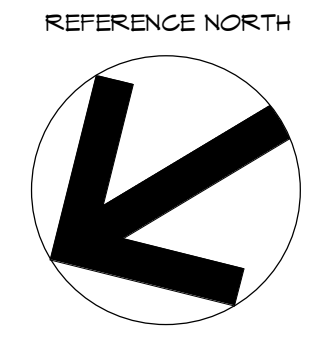
TITLE:  
**PROPOSED ROOF  
 PLAN**

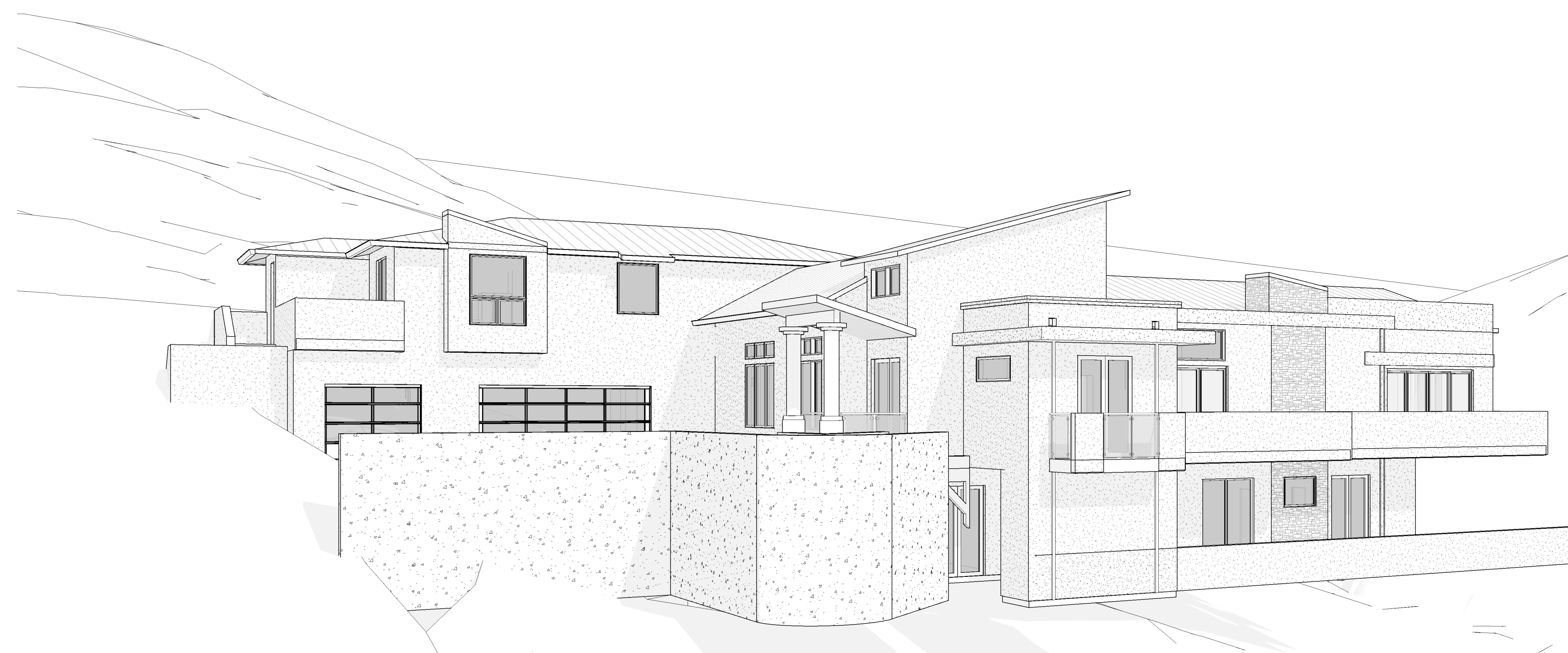
ISSUES:

PLAN CHECK: P001  
 CONST. DOCUMENTS  
 DESIGN DEVELOPMENT  
 SCHEMATIC DESIGN 2021.04.30

SHEET:  
**A6.11**

**1 PROPOSED ROOF PLAN**  
 SCALE: 1/4" = 1'-0"





PERSPECTIVE VIEWS

**USGL LAND, LLC**  
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 mobile: 707-410-7102  
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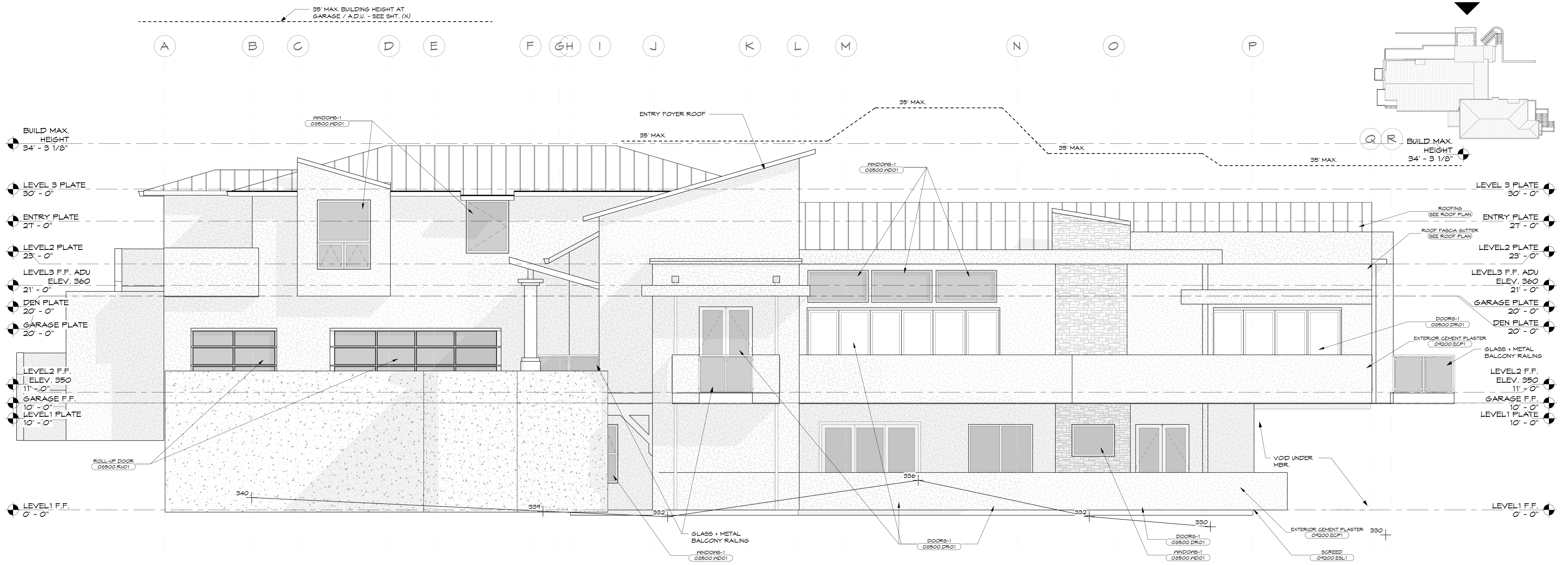
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 PERSPECTIVE VIEWS

ISSUES:

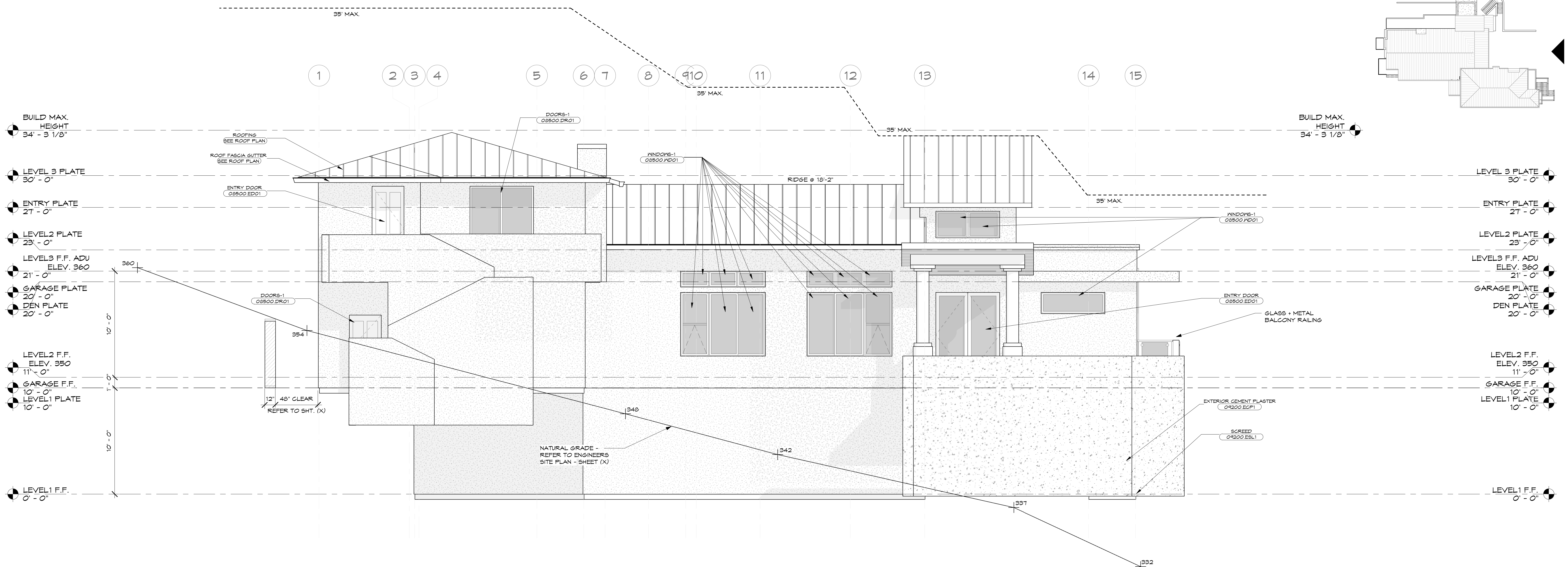
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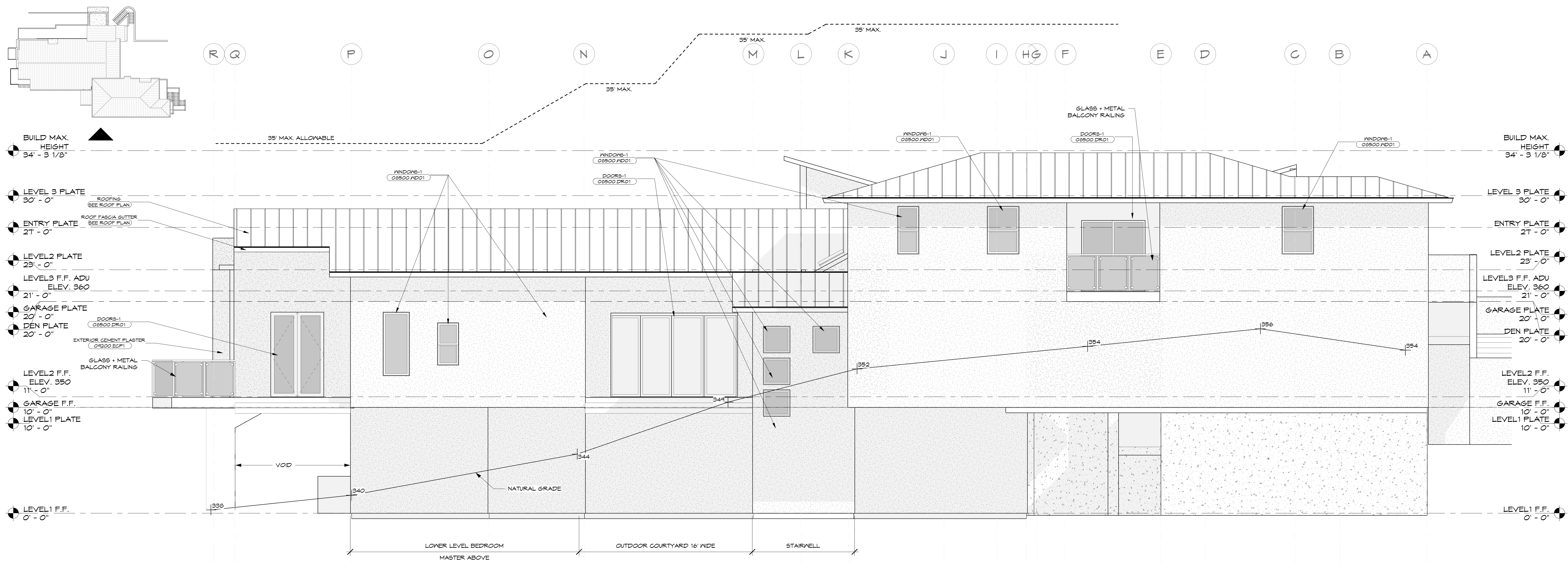
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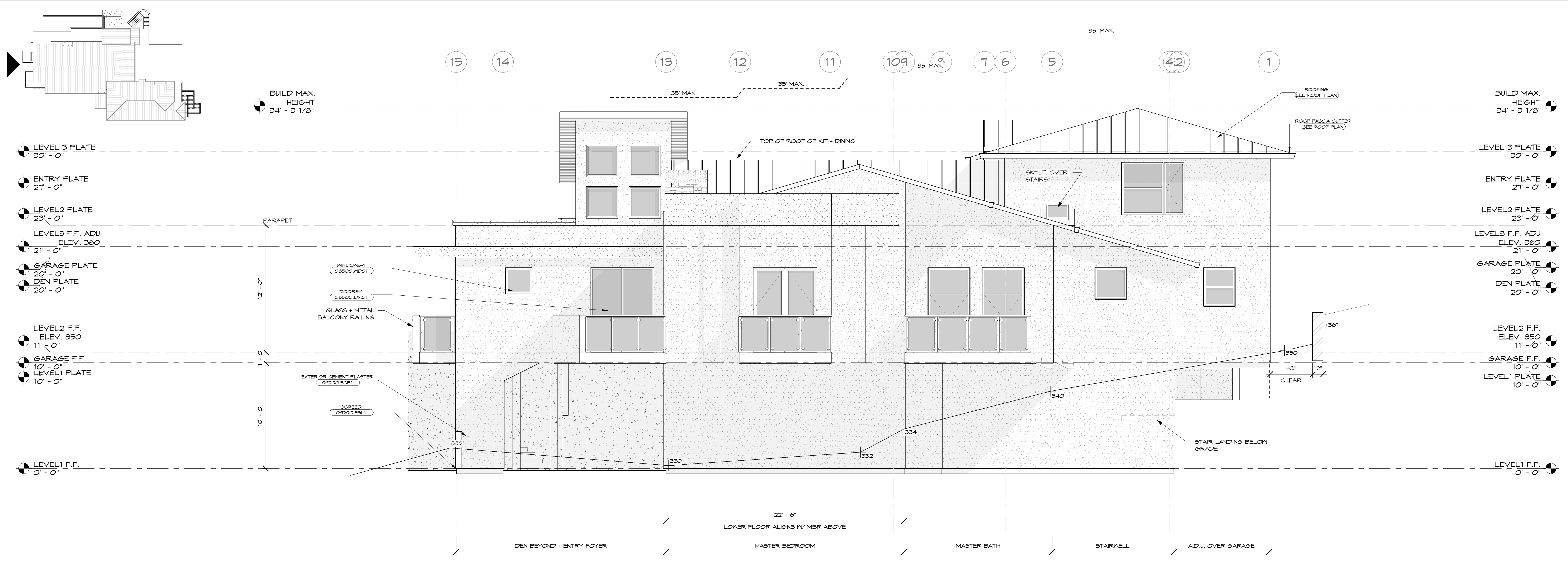
2 PROPOSED EXTERIOR ELEVATION - RIGHT  
 SCALE: 1/4" = 1'-0"



1 PROPOSED EXTERIOR ELEVATION - FRONT  
 SCALE: 1/4" = 1'-0"



**2 PROPOSED EXTERIOR ELEVATION - LEFT**  
SCALE: 1/4" = 1'-0"



**1 PROPOSED EXTERIOR ELEVATION - REAR**  
SCALE: 1/4" = 1'-0"

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TITLES:  
ELEVATIONS  
EXTERIOR

ISSUES:

PLAN CHECK: RGO1  
CONST. DOCUMENTS  
DESIGN DEVELOPMENT  
SCHEMATIC DESIGN 2021.04.30

SHEET:  
**A7.21**

LEGEND: SECTIONS BUILDING	
(07210.224)	EXTERIOR WALL INSULATION: ALL 2x4 EXTERIOR WALL CAVITIES, SEE ENERGY CALCULATIONS. (TYP)
(07210.226)	EXTERIOR WALL INSULATION: ALL 2x6 EXTERIOR WALL CAVITIES, SEE ENERGY CALCULATIONS. (TYP)
(07210.CELL)	EXTERIOR ROOF/CEILING INSULATION: INSULATION IN CEILINGS, FLOORS AND ROOF FRAME CAVITIES, SEE ENERGY CALCULATIONS. (TYP)

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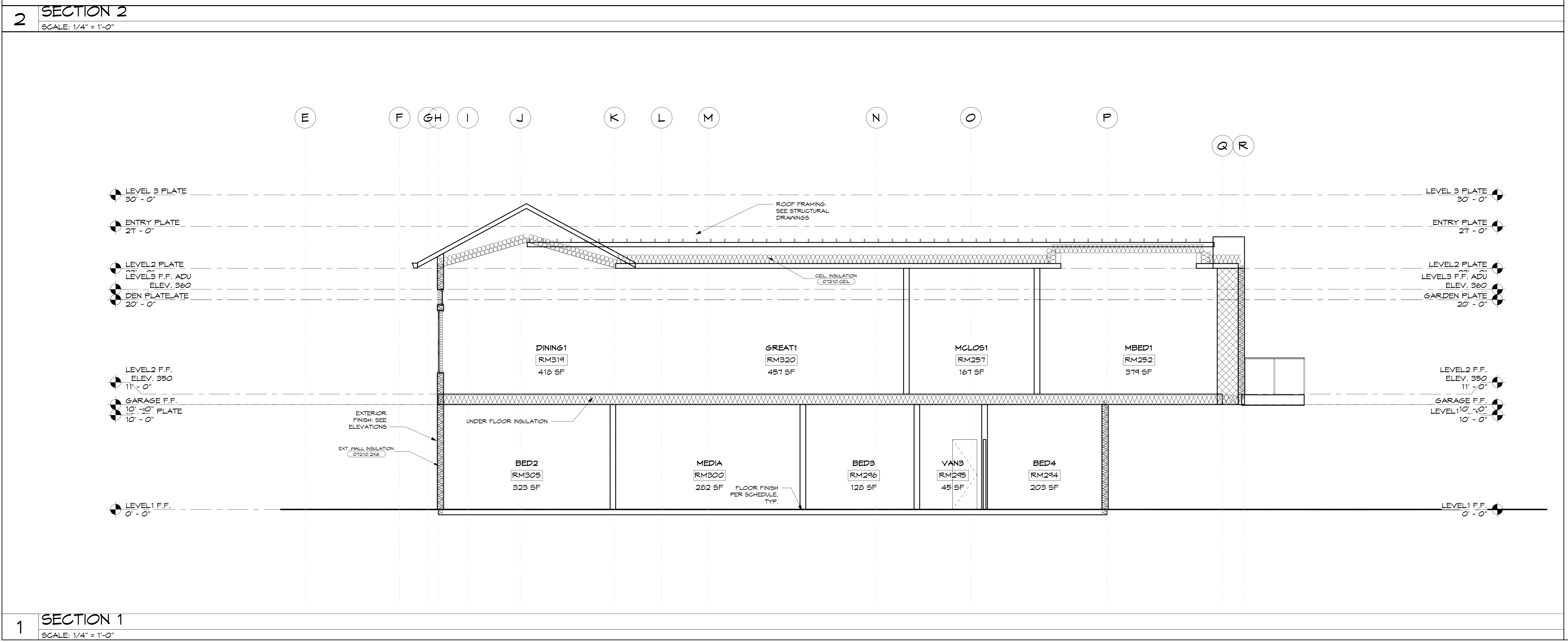
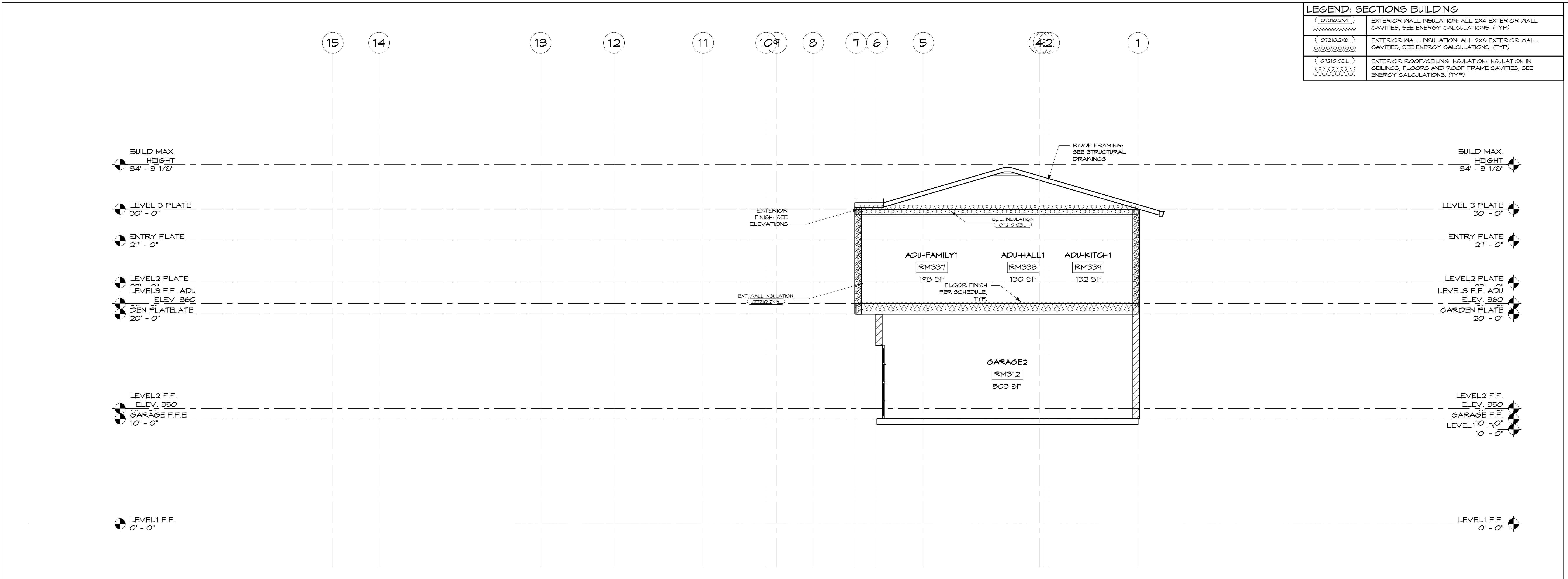
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TITLES:  
 SECTIONS

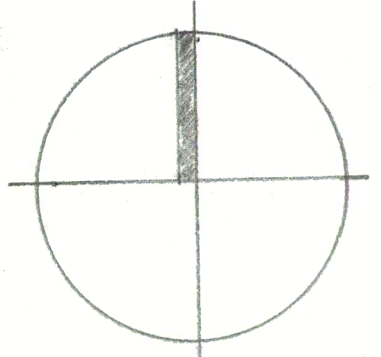
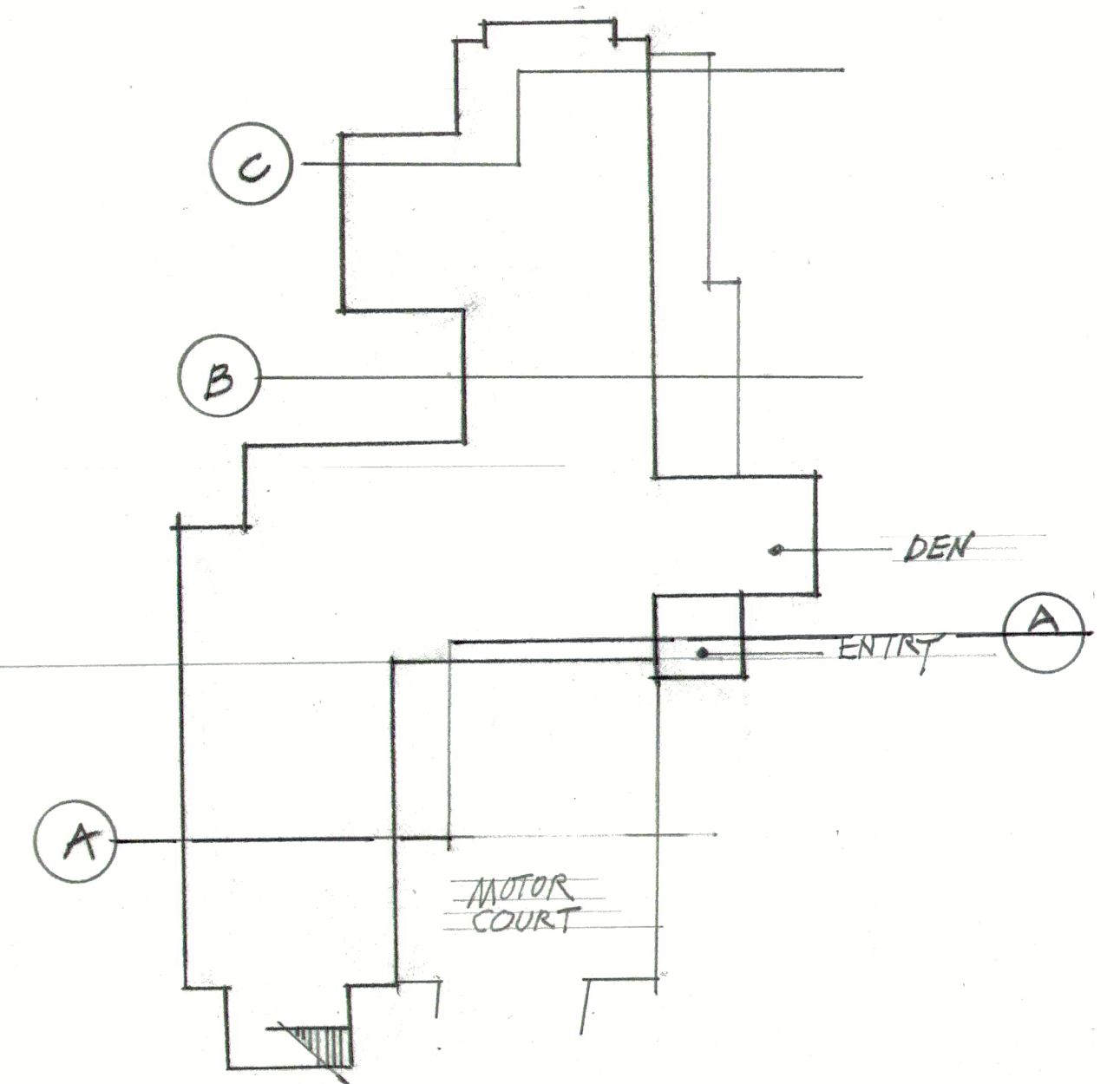
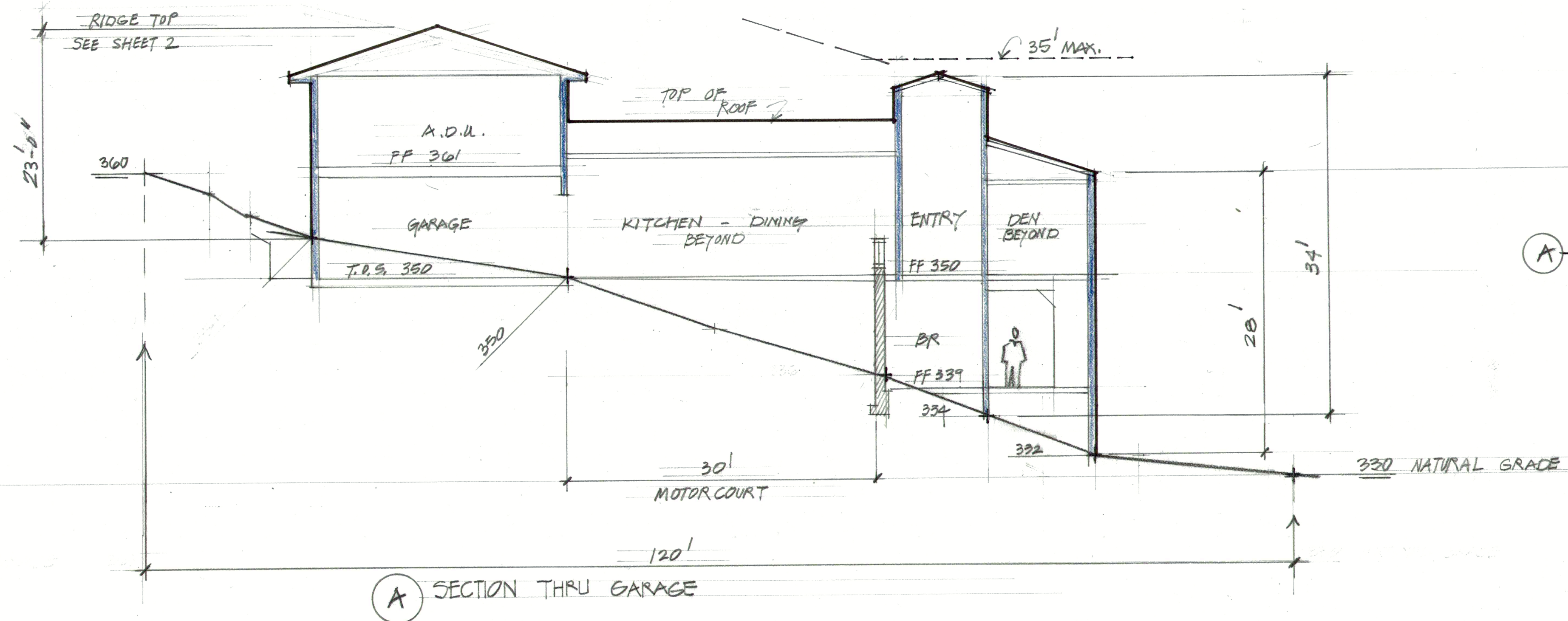
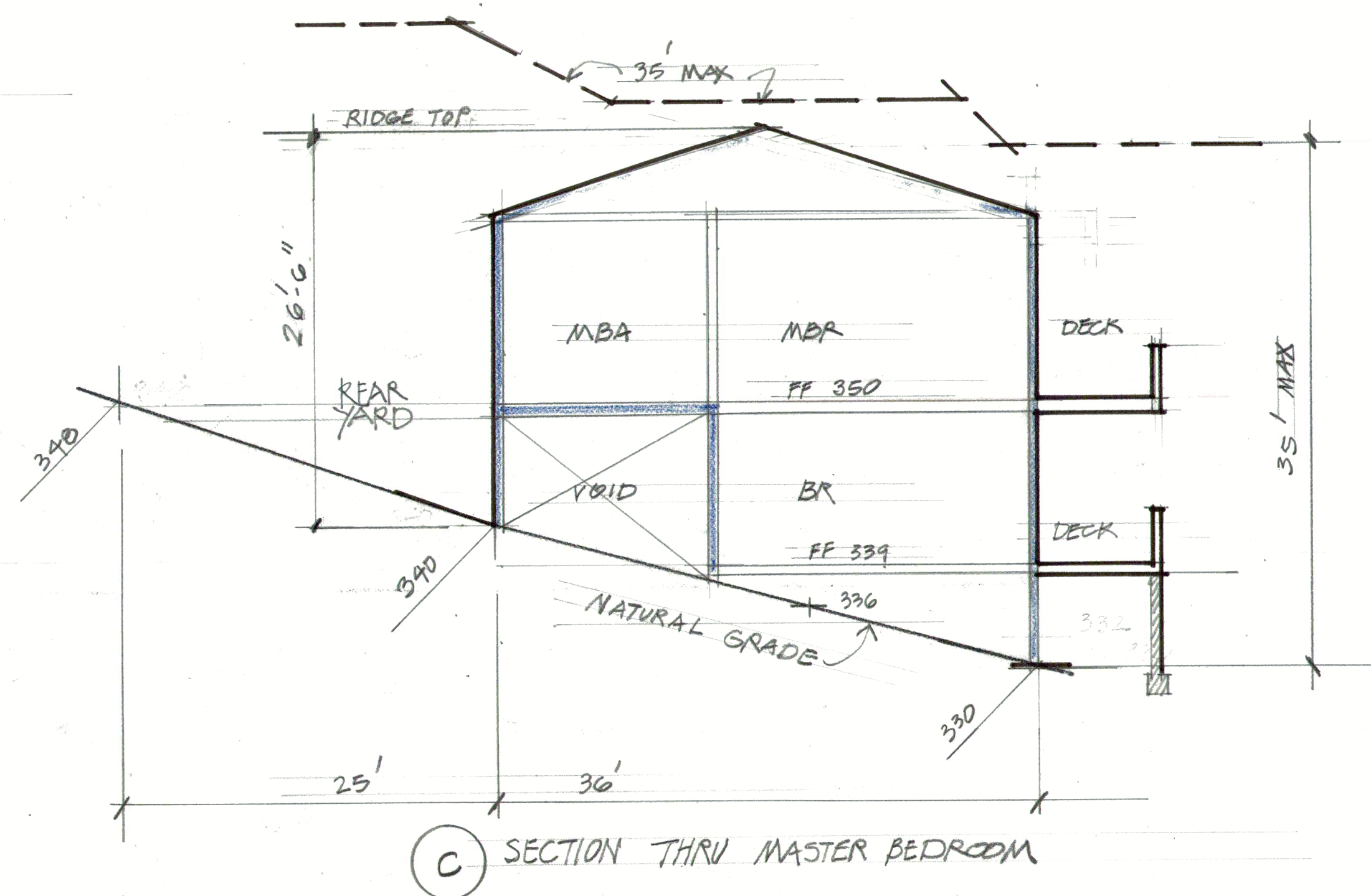
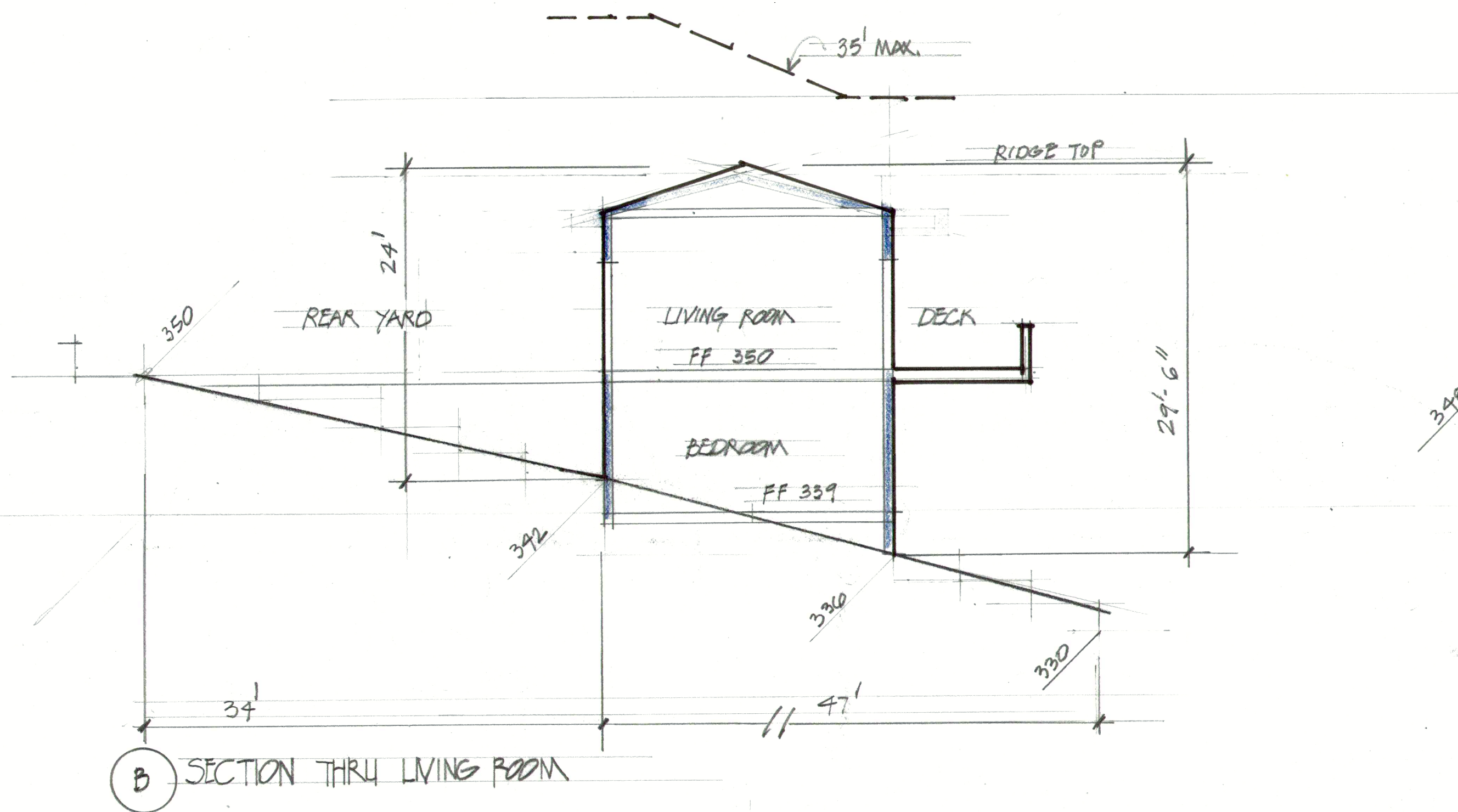
ISSUES:

PLAN CHECK: PG01  
 CONST. DOCUMENTS  
 DESIGN DEVELOPMENT  
 SCHEMATIC DESIGN 2021.04.30

SHEET:  
**A8.11**



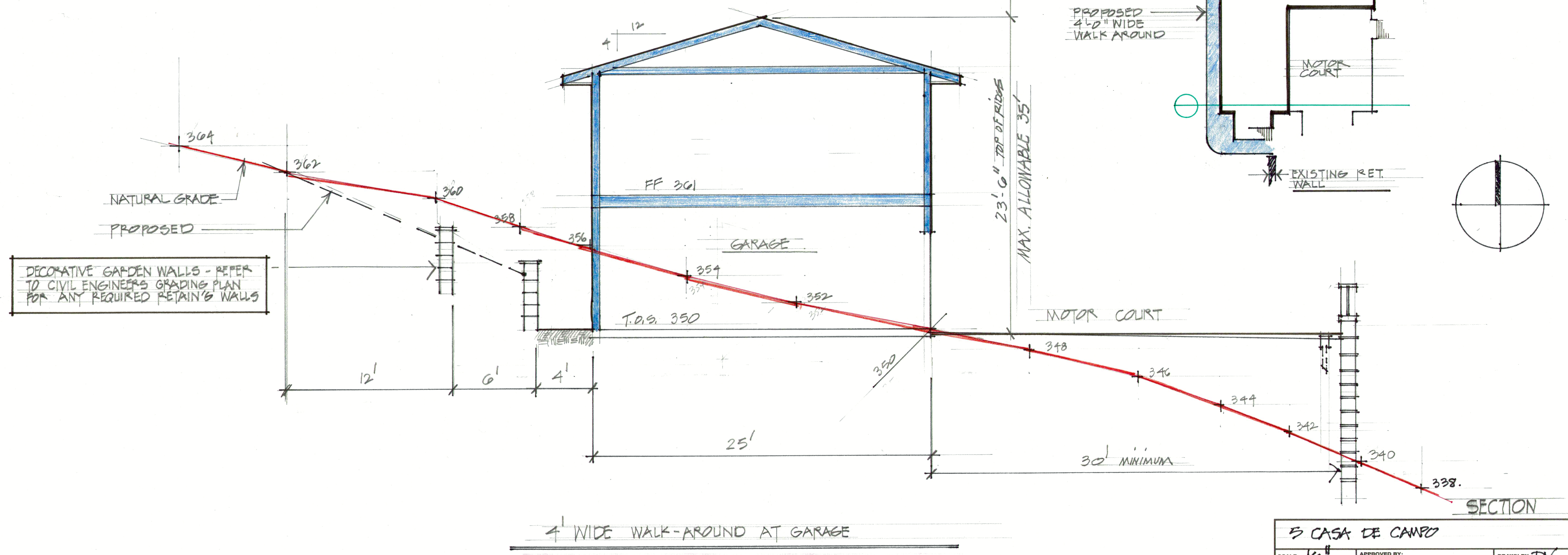




SECTIONS

5 CASA DE CAMPO		
SCALE: 1/8" = 1'-0"	APPROVED BY:	DRAWN BY: DV
DATE:		REVISED:
CREEKSIDE OAKS MARTINEZ		
USGL LAND LLC		DRAWING NUMBER: 1 OF 2

35' MAX. ALLOWABLE BUILDING HEIGHT



E CASA DE CAMPO		
SCALE: 1/4"	APPROVED BY:	DRAWN BY DV
DATE:		REVISED
CREEKSIDE OAKS, MARTINEZ		
USQL LAND, LLC.		DRAWING NUMBER 2 OF 2

# 5 CASA DE CAMPO

## LOT 3 - CREEKSIDE OAKS GRADING PLANS

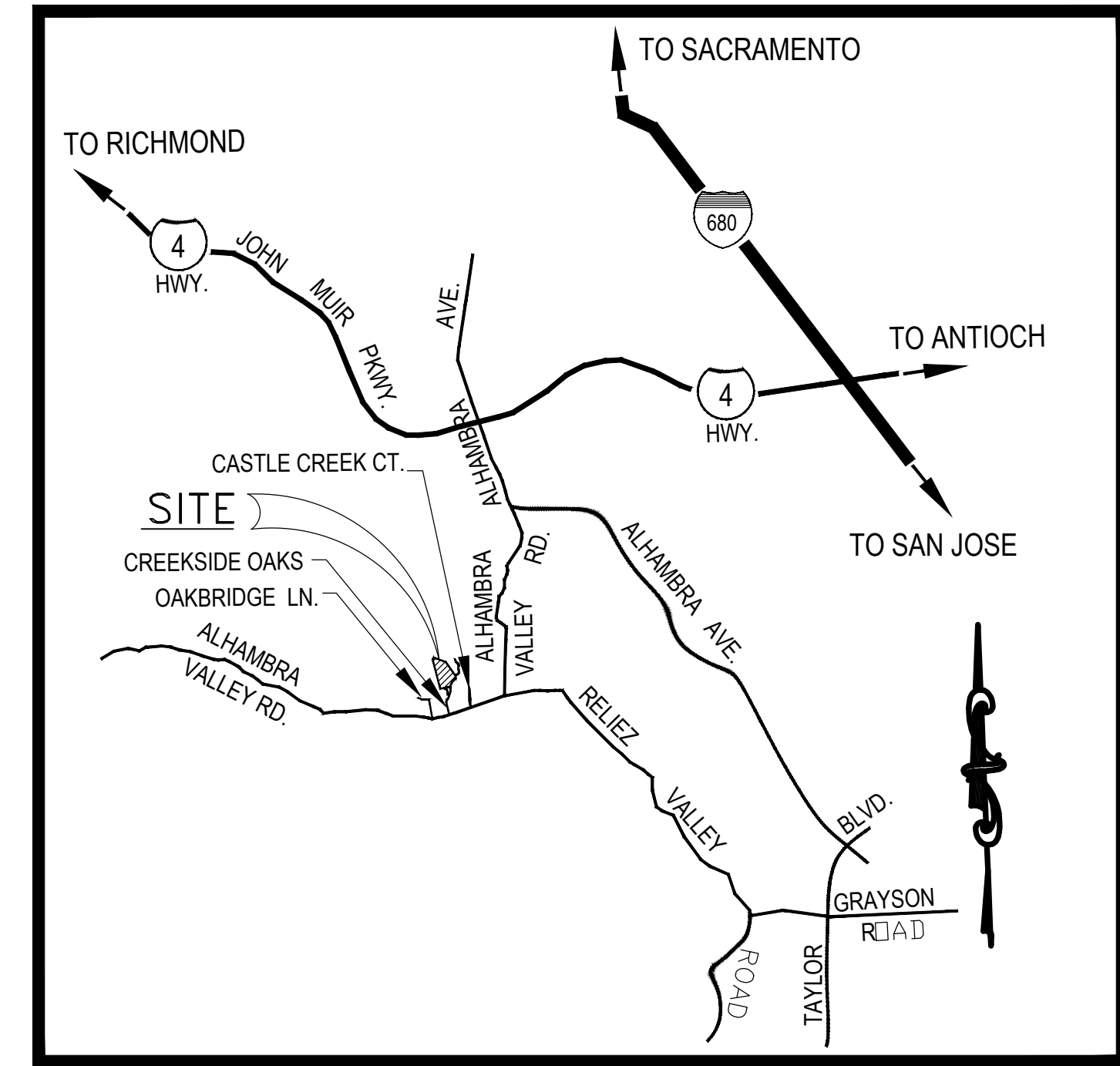
OWNER: USGL LAND LLC  
A CALIFORNIA LIMITED LIABILITY COMPANY

PROPERTY ADDRESS: 5 CASA DE CAMPO  
CONTRA COSTA COUNTY, CA 94553

CIVIL ENGINEER: ALIQUOT ASSOCIATES, INC.  
1390 SOUTH MAIN ST., SUITE 310  
WALNUT CREEK, CA 94596  
PHONE: (925) 476-2300  
FAX : (925) 476-2350

BASIS OF BEARINGS: THE BEARING OF NORTH 05°30'50" WEST AS DETERMINED BETWEEN TWO FOUND RAILROAD SPIKES ALONG THE CENTER LINE OF CASTLE CREEK COURT, AS SHOWN UPON THAT CERTAIN MAP SUBDIVISION NO. 6060 - CORTE MADERA, FILED FOR RECORD IN BOOK 280 OF MAPS, AT PAGE 17, OFFICIAL RECORDS OF CONTRA COSTA COUNTY, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

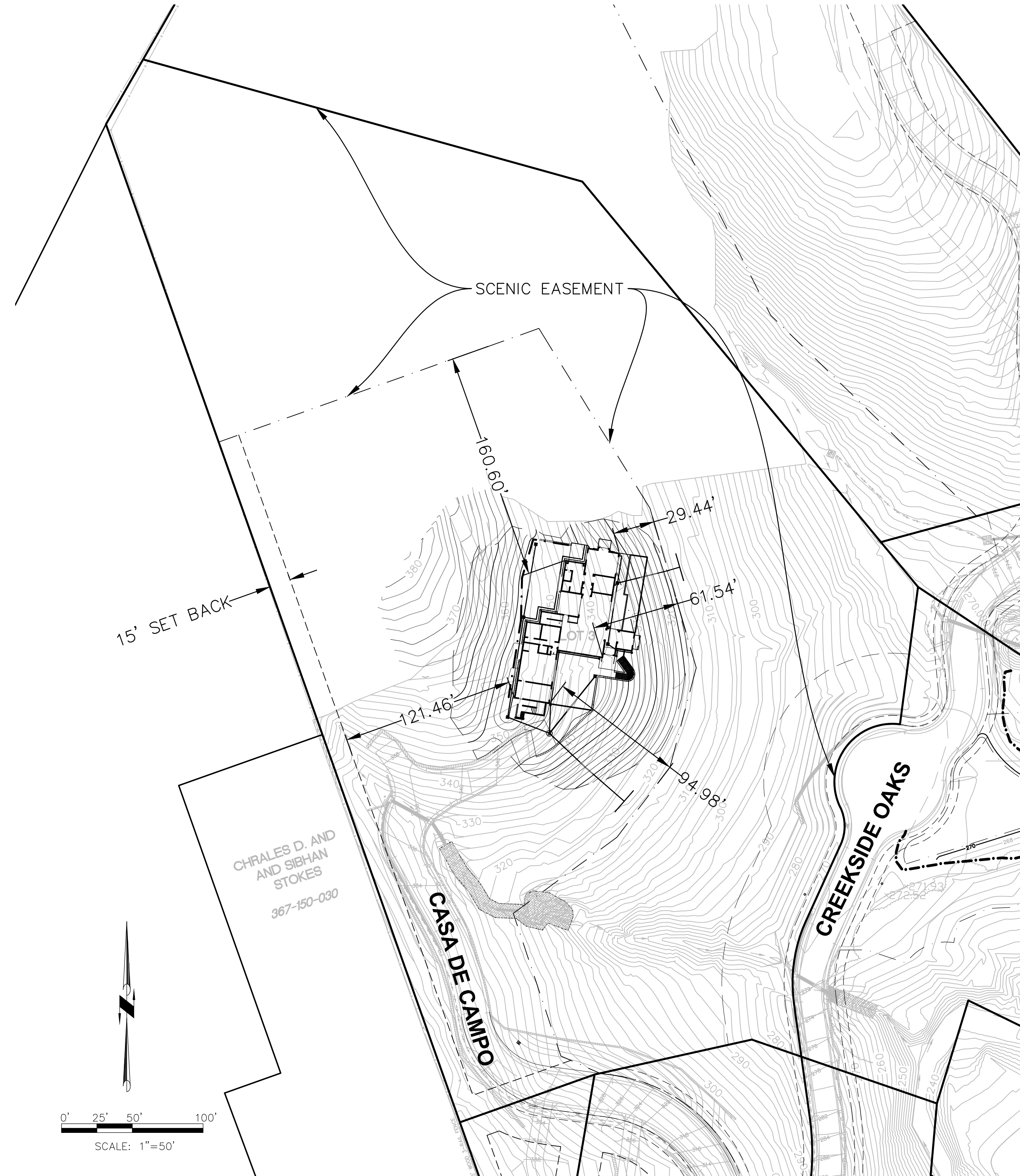
BENCHMARK: CCCO. BM # 3740 CCCO FASTENER & TAG ON NORTH EDGE OF CONCRETE DRIVEWAY TO HOUSE #5. DRIVEWAY IS ON EAST SIDE PRIVATE LANE 160' +/- SOUTH OF ALHAMBRA VALLEY ROAD 0.5 MILES WEST OF INTERSECTION RELIEZ VALLEY ROAD & ALHAMBRA VALLEY ROAD. ELEV.=293.373



VICINITY MAP  
NO SCALE

### ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
BVCE	BEGINNING OF VERTICAL CURVE ELEVATION
BVCS	BEGINNING OF VERTICAL CURVE STATION
BW	BOTTOM OF WALL AT FINISH GRADE
CB	CATCH BASIN
C.O.	CLEANOUT
CL	CENTERLINE
CCC	CONTRA COSTA COUNTY
CCCFCD	CONTRA COSTA COUNTY FLOOD CONTROL DISTRICT
CCWD	CONTRA COSTA WATER DISTRICT
DWY	DRIVEWAY
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
EVCE	END OF VERTICAL CURVE ELEVATION
EVCS	END OF VERTICAL CURVE STATION
EX. (E)	EXISTING
FL	FLOWLINE
GR	GRATE
HGL	HYDRAULIC GRADE LINE
INV	INVERT
JT	JOINT TRENCH
L	LENGTH
LF	LINEAR FEET
LVC	LENGTH OF VERTICAL CURVE
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OHE	OVERHEAD ELECTRIC
O/S	OFFSET
PAUE	PRIVATE ACCESS AND UTILITY EASEMENT
PC	POINT OF CURVATURE
PUE	PUBLIC UTILITY EASEMENT
PR	PROPOSED
PRC	POINT OF REVERSE CURVATURE
PSDE	PRIVATE STORM DRAIN EASEMENT
PT	POINT OF TANGENCY
PVI	POINT OF VERTICAL INFLECTION
R	RADIUS
R/W	RIGHT OF WAY
SBD	SUBDRAIN
SD	STORM DRAIN
SDDI	STORM DRAIN DRAINAGE INLET
SDE	STORM DRAIN EASEMENT
S	SLOPE
S.O.	SIDE OPENING
SS	SANITARY SEWER
SSE	SANITARY SEWER EASEMENT
SSMH	SANITARY SEWER MANHOLE
STR	STRUCTURE
SW	SIDEWALK
STA	STATION
TC	TOP OF CURB
TOP	TOP OF BANK
TRC	TOP OF ROLLED CURB
TYP	TYPICAL
TW	TOP OF WALL
W	WATER



HOUSE LAYOUT PLAN  
SCALE 1"=50'

### INDEX:

- 1 TITLE SHEET
- 2 GENERAL NOTES
- 3 GRADING PLAN
- 4 DETAILS
- 5 EROSION CONTROL PLAN
- 6 TOPOGRAPHIC SURVEY

### LEGEND

#### PROPOSED

	PROPERTY LINE
	LOT LINE
	STORM DRAIN LINE
	SUBDRAIN
	CONCRETE DITCH
	UNDERGROUND ELECTRICAL
	SANITARY SEWER LINE
	SANITARY SEWER LATERAL
	WATER LINE
	WATER LATERAL
	GAS LINE
	RETAINING WALL
	DAYLIGHT LINE
	LANDSCAPE DRAIN
	CATCH BASIN
	CLEANOUT WITH SCREWCAP
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE
	POWER POLE
	JOINT POLE
	GUY WIRE
	ELECTROLIER
	WATER VALVE
	FIRE HYDRANT
	STORM DRAIN MANHOLE
	POWER POLE
	JOINT POLE
	GUY WIRE
	ELECTROLIER
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	PROPOSED GRADES
	RUNOFF DIRECTION

#### EXISTING

	STORM DRAIN LINE
	SANITARY SEWER LINE
	WATER LINE
	GAS LINE
	CATCH BASIN
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE
	POWER POLE
	JOINT POLE
	GUY WIRE
	ELECTROLIER
	WATER VALVE
	FIRE HYDRANT
	STORM DRAIN MANHOLE
	POWER POLE
	JOINT POLE
	GUY WIRE
	ELECTROLIER
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	EXISTING GRADES
	FACE OF CURB
	FLOW LINE
	EXISTING TREE & DRIP LINE

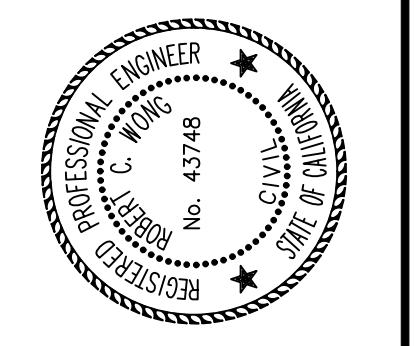
EXISTING TREE TO BE REMOVED



Aliquot Associates, Inc.  
1390 S. Main St., Ste. 310  
Walnut Creek, CA 94596  
Telephone: (925) 476-2300  
Fax: (925) 476-2350

Civil Engineers  
Traffic Engineers  
Surveyors

No.	BY	DATE	REVISIONS



CALIFORNIA

CONTRA COSTA COUNTY

PRELIMINARY  
NOT FOR CONSTRUCTION

TITLE SHEET  
LOT 3  
5 CASA DE CAMPO-CREEKSIDE OAKS

JOB NO: 202013.7	SCALE: 1"=50'	DATE: 11/17/2021	DESIGN: KC	DRAWN: KC	APPROVED: VID
DRAWING NUMBER					
1					
1 OF 6					

FILE: P:\2021\202103\70\Engineering\Drawings\Grading and Drainage Plans\Lot 3.dwg PLOT DATE: 11/17/2021 4:41 PM BY: Kevin Cheung

GENERAL NOTES:

- ELEVATIONS SHOWN ARE BASED UPON CCCC. BM # 3740 CCCC FASTENER & TAG ON NORTH EDGE OF CONCRETE DRIVEWAY TO HOUSE #5. DRIVEWAY IS ON EAST SIDE PRIVATE LANE 160' +/- SOUTH OF ALHAMBRA VALLEY ROAD 0.5 MILES WEST OF INTERSECTION RELIEZ VALLEY ROAD & ALHAMBRA VALLEY ROAD. ELEV.=293.373
- ALL GRADING, SITE PREPARATION, PLACING AND COMPACTION OF FILL TO BE DONE IN ACCORDANCE WITH CONTRA COSTA COUNTY GRADING ORDINANCE NO. 99-46; ALSO UNDER THE DIRECT OBSERVATION OF THE SOIL ENGINEER. SUBSEQUENT TO COMPLETION OF THE WORK, THE SOIL ENGINEER SHALL SUBMIT TO THE COUNTY BUILDING INSPECTION DEPARTMENT A REPORT STATING THAT ALL WORK HAS BEEN DONE TO HIS/HER SATISFACTION.
- ALL GRADING, SITE PREPARATION, PLACING AND COMPACTION OF FILL, TO BE DONE IN ACCORDANCE WITH CONTRA COSTA COUNTY GRADING ORDINANCE NO. 99-46, UNDER THE DIRECT OBSERVATION OF THE COUNTY SENIOR GRADING INSPECTOR.
- CONTRACTOR TO NOTIFY CONTRA COSTA COUNTY GRADING SECTION 48-HOURS PRIOR TO START OF WORK. (SCHEDULE A #600 PRE-CONSTRUCTION MEETING INSPECTION)
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES SHALL BE PLANTED WITH SUITABLE GROUND COVER.
- ANY DEVIATION FROM APPROVED PLAN REQUIRES APPROVAL OF THE CONTRA COSTA COUNTY DEPARTMENT OF CONSERVATIONS AND DEVELOPMENT (CCDCDD) PLANNING DIVISION AND GRADING SECTION PRIOR TO ANY CHANGES OCCURRING AT THE PERMITTED SITE.
- ALL SLIDE REPAIR WORK, KEYWAYS, SUBDRAIN INSTALLATION, AND BUTTRESS FILLS WORK SHALL BE INSPECTED BY THE GRADING SECTION. REPORT FROM THE SOIL ENGINEER SHALL BE SUBMITTED TO THE GRADING SECTION REGARDING THE SLIDE REPAIR AND/OR SUBDRAIN INSTALLATION, AND A SCALED DRAWING OF THE HORIZONTAL AND VERTICAL LOCATION OF ALL KEYWAY EXCAVATIONS, AND ALL SUBDRAIN IMPROVEMENT INSTALLATION.
- DURING GRADING OPERATIONS, CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES ON SITE AND HAUL ROUTES, AND ALL OTHER STORM WATER POLLUTION PREVENTION REGULATIONS DURING DRY SEASONS.
- A 601 ROUGH GRADE INSPECTION APPROVAL REQUIRED PRIOR TO THE COMMENCEMENT OF ANY FOUNDATION CONSTRUCTION ACTIVITY UNDER ANY SEPARATE BUILDING PERMIT.
- A FINAL REPORT BY THE CIVIL ENGINEER CERTIFYING THAT ALL GRADING, LOT DRAINAGE AND DRAINAGE FACILITIES HAVE BEEN COMPLETED AND THE SLOPE PLANNING INSTALLED IN CONFORMANCE WITH THE APPROVED PLANS, SHALL BE SUBMITTED TO THE COUNTY PRIOR TO ISSUANCE OF BUILDING PERMITS.
- EROSION AND SEDIMENT CONTROL PLANS ARE REQUIRED DURING ALL SEASONS. COMPLIANCE TO STATE, COUNTY, AND LOCAL GOVERNMENT STORM WATER POLLUTION PREVENTION REGULATIONS IS AT ALL TIMES (YEAR ROUND). PROTECTION OF ALL BARE SOILS IS REQUIRED OCTOBER 1ST THROUGH MAY 1ST, AND IN THE EVENT OF AN EXTENDED RAINY SEASON.
- IF THERE ARE ANY EXISTING WATER WELLS ON THIS PROPERTY, THE PROPERTY OWNER SHALL CONTACT THE COUNTY DEPARTMENT OF HEALTH SERVICES, ENVIRONMENTAL HEALTH DIVISION, PRIOR TO ANY GRADING IN THE IMMEDIATE VICINITY OF THESE WELLS.
- THE COUNTY ENGINEER OR DESIGNEE MAY ENTER THE PREMISES OF THE WORK AT ALL TIMES TO INSPECT THE CONDITION OF THE SITE AND THE METHODS OF OPERATION AND TO CHECK OR TEST ANY FEATURE OR OPERATION INVOLVED IN FULFILLING THE CONDITIONS OF THE GRADING PERMIT.
- WHERE FREQUENT OR CONTINUOUS INSPECTION DURING CONSTRUCTION IS NECESSARY TO INSURE COMPLIANCE WITH THE GRADING PERMIT, THE APPLICANT WHEN SO DIRECTED, SHALL HAVE A QUALIFIED SOILS ENGINEER FURNISH CONTINUOUS SUPERVISION AND INSPECTION OF THE WORK, AND MAKE ALL THE NECESSARY FIELD TESTS DURING GRADING OPERATIONS.
- IN ADDITION TO THE REQUIREMENTS OF THE GRADING PERMIT THE PERMITTEE SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, AND REGULATIONS OF THE STATE AND COUNTY RELATING TO THE CHARACTER OF THE WORK, EQUIPMENT, AND LABOR PERSONNEL INVOLVED IN THE PROJECT.
- OPERATIONS SHALL BE CONTROLLED TO PREVENT NUISANCES TO PUBLIC AND PRIVATE OWNERSHIPS BECAUSE OF DUST, DRAINAGE, REMOVAL OF NATURAL SUPPORT OF LAND AND STRUCTURES, ENCRoACHMENTS, NOISE AND VIBRATION.
- ALL GRADING OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND ARE SUBJECT TO HIS OBSERVATION.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES NOT SHOWN AT THE SITE.
- ALL ORGANIC MATERIAL, INCLUDING GRASS & WEEDS SHALL BE STRIPPED PRIOR TO ANY GRADING OPERATION AND TRANSPORTED AWAY FROM AREAS THAT ARE TO RECEIVE STRUCTURE OR ENGINEERED FILL. STRIPPING SHALL BE USED FOR LANDSCAPING, MOUNDING, AND OR BLENDING AND USED AS A FILL IN NON-STRUCTURAL AREAS.
- GRADING SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES, SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES AND A DUST PALLIATIVE MAY BE REQUIRED BY THE INSPECTOR. ANY OPERATION THAT CREATES DUST SHALL CEASE IMMEDIATELY UNTIL SUFFICIENT MEASURES SATISFACTORY TO THE COUNTY HAVE BEEN TAKEN TO INSURE COMPLIANCE WITH THE DUST CONTROL REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION. THE U.S.A AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT ALIQUOT ASSOCIATES AT (925) 476-2300, FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- THESE PLANS SHOW EXISTING FEATURES INCLUDING BUT NOT LIMITED TO, TREES, UTILITIES, AND STRUCTURES THAT MAY BE AFFECTED BY THE CONSTRUCTION OR PLACEMENT OF THE PROPOSED ENGINEERED IMPROVEMENTS. THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE ENGINEER IF THERE ARE ANY EXISTING FEATURES, WHETHER SHOWN OR NOT SHOWN ON THESE PLANS, THAT COULD IN ANY WAY BE IN POTENTIAL CONFLICT WITH THE DESIGN OF THESE PLANS. ALL WORK WITHIN THE VICINITY OF A POTENTIAL CONFLICT SHALL CEASE UNTIL AN ADEQUATE AND APPROPRIATE SOLUTION IS DETERMINED BY THE ENGINEER AND APPROVED BY THE COUNTY ENGINEER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EARTH QUANTITIES INDEPENDENTLY TO HIS OWN SATISFACTION PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH DISCREPANCIES IN CUT/FILL EARTH QUANTITIES.

EARTHWORK QUANTITIES:  
CUT=±2,100 C.Y.  
FILL=±2,265 C.Y.

- ALL CONSTRUCTION EQUIPMENT AND HAUL TRUCKS SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL CONSTRUCTION EQUIPMENT AND HAUL TRUCKS SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION
- A PUBLICLY VISIBLE SIGN SHALL BE POSTED WITH THE TELEPHONE NUMBER OF THE CONSTRUCTION MANAGER AND BAAQMD TO REPORT DUST COMPLAINTS. THIS PERSON SHALL RESPOND AND TAKE CORRECTIVE ACTION WITHIN 48 HOURS. THE BAAQMD COMPLAINT LINE TELEPHONE NUMBER SHALL ALSO BE VISIBLE TO ENSURE COMPLIANCE WITH APPLICABLE REGULATIONS.
- ALL ON-SITE STORAGE OF EXCAVATED SOIL SHALL BE COVERED AND WATERED AT LEAST ONCE PER DAY OR IF NECESSARY TWICE PER DAY. DURING CONSTRUCTION, ALL TRUCKS STANDING FOR FIVE MINUTES OR MORE, EXCEPT CEMENT TRUCKS, SHALL SHUT OFF THEIR MOTORS.
- TOTAL SQUARE FOOTAGE OF LAND DISTURBANCE = 25,000± SQUARE FEET.
- BY ACCEPTING THIS PERMIT, THE PERMITTEE, FOR HIMSELF, HIS CONTRACTORS, AND EMPLOYEES, PROMISES TO SAVE, INDEMNIFY AND HOLD HARMLESS THE COUNTY OF CONTRA COSTA AND ITS EMPLOYEES, AGENTS AND REPRESENTATIVES FROM ALL LIABILITIES AND CLAIMS FOR DAMAGES BY REASON IN INJURY OR DEATH TO ANY PERSON(S), OR DAMAGE TO PROPERTY, FROM ANY CAUSE WHATSOEVER WHILE IN, UPON OR IN ANY WAY CONNECTED WITH THE WORK COVERED BY THIS GRADING PERMIT, AND DOES FURTHER PROMISE TO DEFEND THESE INDEMNITEE IN ANY CLAIM OR ACTION ARISING OUT OF OR AS A RESULT OF THE WORK DONE UNDER THIS PERMIT" (CONTRA COSTA GRADING ORDINANCE CODE SECTION 716-4.1412 INDEMNITY CLAUSE REQUIRED.)

ALIQUOT ASSOCIATES INC. GENERAL NOTES:

- UNDERGROUND UTILITIES  
EXISTING PRIVATE AND PUBLIC UTILITIES SHOWN HEREON REFLECT AVAILABLE RECORD DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES WHICH ARE TO REMAIN IN USE, WHETHER OR NOT SHOWN HEREON. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC UTILITY COMPANIES AND OWNERS OF PRIVATE UTILITIES WITHIN THE CONSTRUCTION AREA 48 HOURS PRIOR TO START OF ANY CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600, 48 HOURS PRIOR TO ANY EXCAVATION. THE USA AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALIQUOT ASSOC., INC OF ANY DIFFERENCES IN LOCATIONS OF EXISTING UTILITIES SHOWN, OR ANY CONFLICTS WITH THE DESIGN BEFORE CONTINUING WORK IN THAT AREA.
- THE CONTRACTOR SHALL EXPOSE AND CHECK INVERTS ON EXISTING SEWERS AND STORM DRAINS AND VERIFY THAT THERE IS AN ADEQUATE CLEARANCE FOR KNOWN CROSSINGS OF OTHER UTILITIES BEFORE CONSTRUCTING NEW PIPELINES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE FLOW LINE ELEVATION OF THE EXISTING SEWER AND STORM DRAIN AT THE POINT OF CONNECTION AND NOTIFY THE ENGINEER IMMEDIATELY IF MORE THAN 0.10 FOOT OF DIFFERENCE EXISTS FROM THIS PLAN.
- MANHOLE, WATER VALVE, METER BOX, AND CLEANOUT RIM ELEVATIONS, SHOWN OR NOT SHOWN HEREON, ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE RIMS AND COVERS TO THE FINISHED PAVEMENT GRADE.
- IF APPLICABLE, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL NECESSARY UTILITY RELOCATION WITH THE APPROPRIATE UTILITY COMPANIES.
- OBSTRUCTIONS INDICATED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES.
- SANITARY AND STORM SEWER CONSTRUCTION  
ALL SEWER AND STORM DRAIN CONSTRUCTION SHALL PROCEED FROM THE DOWNSTREAM CONNECTION TO THE UPSTREAM TERMINUS.
- DUST CONTROL  
THE PROJECT SHALL COMPLY WITH THE DUST CONTROL REQUIREMENTS OF THE GRADING ORDINANCE INCLUDING PROVISIONS PERTAINING TO WATER CONSERVATION.
- ALL MUD OR DIRT CARRIED OFF THE CONSTRUCTION SITE ONTO ADJACENT STREETS SHALL BE SWEEP EACH DAY. WATER FLUSHING OF SITE DEBRIS OR SEDIMENT OR CONCRETE WASHING IS EXPRESSLY PROHIBITED.
- NOISE  
CONTRACTORS AND SUBCONTRACTORS SHALL FIT ALL INTERNAL COMBUSTION ENGINES WITH MUFFLERS WHICH ARE IN GOOD CONDITION IN ACCORDANCE WITH STATE AND FEDERAL REQUIREMENTS, AND SHALL LOCATE STATIONARY NOISE-GENERATING EQUIPMENT AS FAR AWAY FROM EXISTING RESIDENCES AS FEASIBLE.
- THE SITE SHALL BE MAINTAINED IN AN ORDERLY FASHION FOLLOWING THE CESSATION OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE.
- EXISTING CURB AND SIDEWALK WITHIN THE PROJECT LIMITS DAMAGED OR DISPLACED, EVEN THOUGH NOT PROPOSED TO BE REMOVED, SHALL BE REPAIRED OR REPLACED EVEN IF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO ANY WORK PERFORMED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO THE WORK AREA THROUGHOUT THE PERIOD OF CONSTRUCTION.
- PRIOR TO COMMENCEMENT OF ANY WORK ON ADJACENT PROPERTIES, THE OWNER SHALL OBTAIN WRITTEN PERMISSION FROM AFFECTED PROPERTY OWNERS.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING MUD OR OTHER DEBRIS OFF OF THE STREETS ADJACENT TO HIS/HER PROJECT. THE STREET SHALL NOT BE USED TO STORE MATERIALS OR TO PARK CONSTRUCTION TRAILERS OR OTHER SUCH VEHICLES FOR EXTENDED PERIODS OF TIME AS PER COUNTY ORDINANCE.
- THE CONTRACTOR SHALL PROVIDE EMERGENCY TELEPHONE NUMBERS FOR PUBLIC WORKS, AMBULANCE, POLICE AND FIRE DEPARTMENTS AT THE JOB SITE.
- DESIGN RESPONSIBILITY  
ALIQUOT ASSOC., INC. ASSUMES NO RESPONSIBILITY BEYOND THE ADEQUACY OF THE DESIGN CONTAINED HEREIN.
- STAKING  
SURVEYOR PERFORMING CONSTRUCTION STAKING SHALL VERIFY ALL PROPOSED ELEVATIONS CONFORMING WITH EXISTING PAVEMENT, CURBS & PIPES AND SHALL REPORT ANY VERTICAL ELEVATIONS AND HORIZONTAL DISCREPANCIES TO THE ENGINEER AND CONTRACTOR PRIOR TO CONSTRUCTION.
- RETAINING WALL STAKES  
RETAINING WALL STAKES ARE REFERENCED TO THE TOP OF WALL (TW) AND/OR AT THE FINISHED GRADE AT THE BOTTOM OF WALL (BW), UNLESS OTHERWISE NOTED ON THE PLAN.
- EXCAVATIONS/TRENCHES  
EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING OR SHEETING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH, STRUCTURE AND/OR BORING OR JACKING PIT IS FIVE FEET OR MORE IN DEPTH THE CONTRACTOR SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.
- CAL-OSHA NOTES  
DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PUBLIC SAFETY AND SAFETY OF EXISTING STRUCTURES. THE CONTRACTOR SHALL PROVIDE ADEQUATE BARRICADES, TRAFFIC CONTROLS, SHORINGS, BRACING AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE SPECS, AND LOCAL SAFETY ORDINANCES.
- ALL APPLICABLE PROCEDURE AND REQUIREMENTS OF THE CALIFORNIA CONSTRUCTION AND GENERAL INDUSTRY SAFETY ORDERS, THE OCCUPATIONAL SAFETY AND HEALTH ACT, AND THE CONSTRUCTION SAFETY ACT SHALL BE MET.
- CORROSIONITY NOTE  
PRIOR TO THE ISSUANCE OF GRADING OR BUILDING PERMITS CHEMICAL TESTING OR REPRESENTATIVE BUILDING PAD SOILS SHALL BE SUBMITTED TO DETERMINE THE LEVEL OF CORROSION PROTECTION REQUIRED FOR STEEL AND CONCRETE MATERIALS USES FOR CONSTRUCTION.

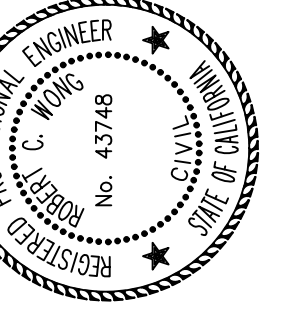
FILE: P:\2021\202103\70\Engineering\Drawings\Grading and Drainage Plans\Lot 3\Grading\_Lot 3.dwg PLOT DATE: 11/17/2021 4:41 PM BY: Kevin Cheung



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Civil Engineers  
Traffic Engineers  
Surveyors

No.	BY	DATE	REVISIONS



PRELIMINARY  
NOT FOR CONSTRUCTION

GENERAL NOTES  
LOT 3

5 CASA DE CAMPO-CREEKSIDE OAKS

CONTRA COSTA COUNTY CALIFORNIA

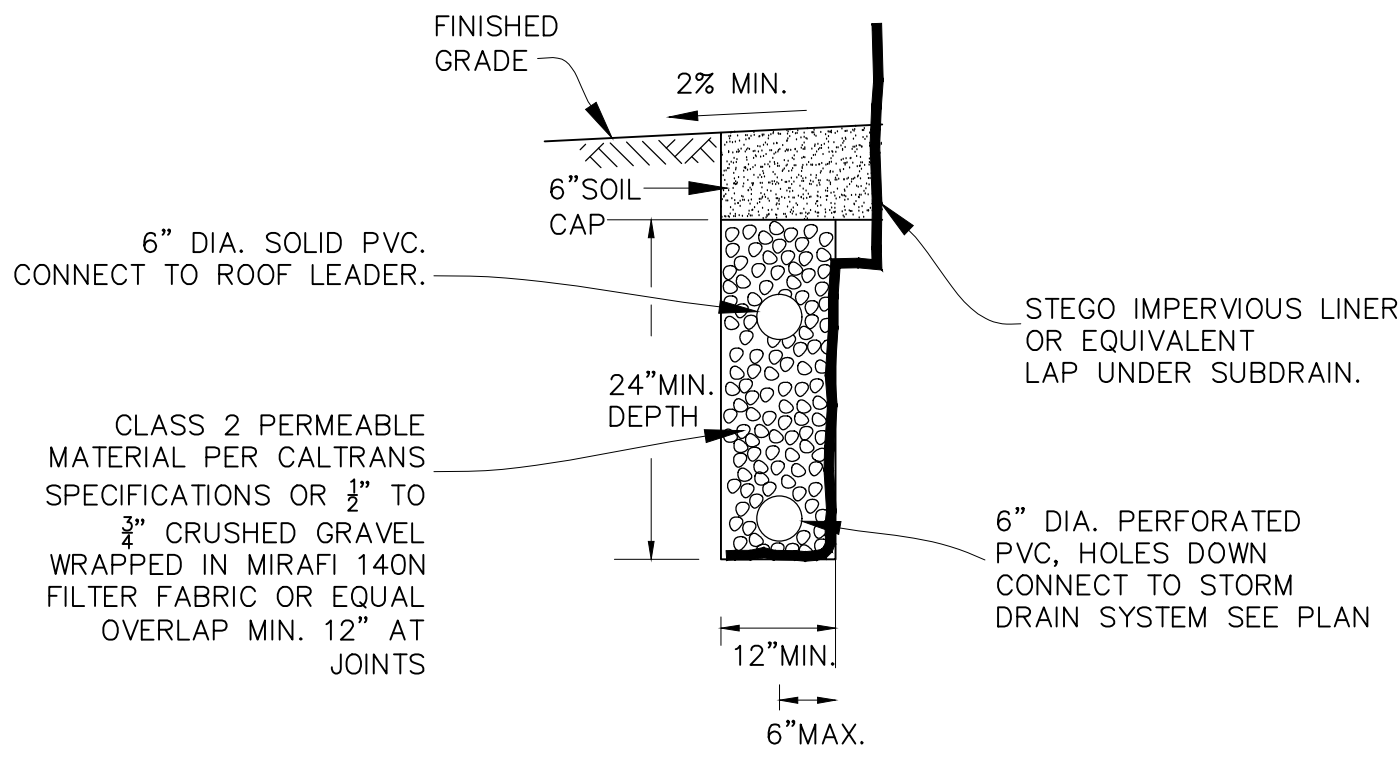
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2 OF 6



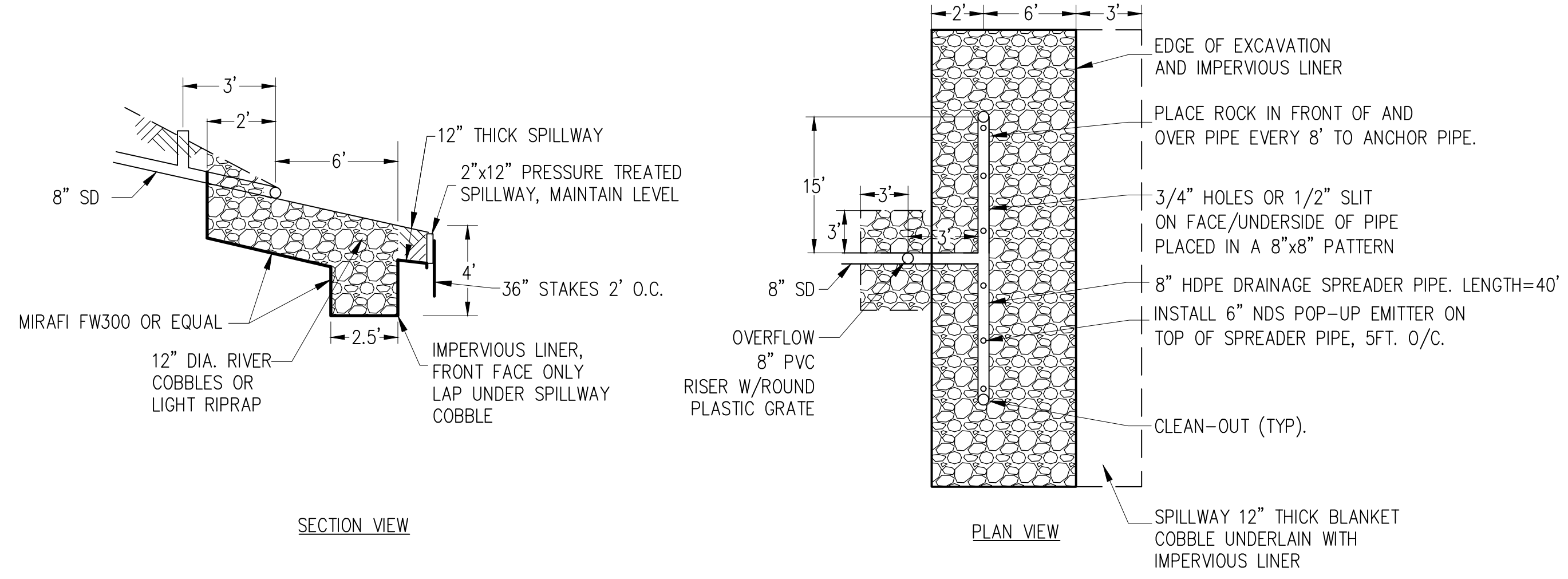
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**DETAIL A - PERIMETER DRAINS**

NOT TO SCALE

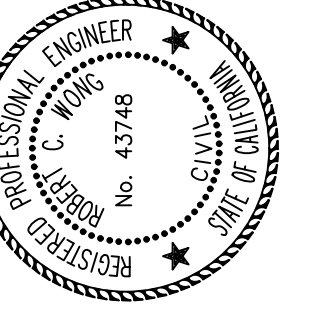


**DETAIL B - DISSIPATER**

NOT TO SCALE

NOTES:  
1. PLACE AND EMBED COBBLE (NO DUMPING)

No.	BY	DATE	REVISIONS



**PRELIMINARY**  
NOT FOR CONSTRUCTION

**DETAILS**  
**LOT 3**  
**5 CASA DE CAMPO-CREEKSIDE OAKS**  
CONTRA COSTA COUNTY CALIFORNIA

JOB NO: 202013.7	SCALE: N/A	DATE: 11/17/2021	DESIGN: KC	DRAWN: KC	APPROVED: VJD
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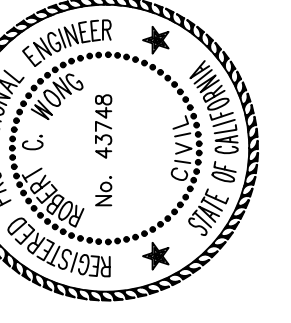
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4 OF 6



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No.	BY	DATE	REVISIONS



EROSION CONTROL PLAN  
LOT 3  
5 CASA DE CAMPO-CREEKSIDE OAKS  
CALIFORNIA

PRELIMINARY  
NOT FOR CONSTRUCTION

CONTRA COSTA COUNTY

JOB NO: 202013.7	SCALE: 1"=20'	DATE: 11/17/2021	DESIGN: KC	DRAWN: KC	APPROVED: VJD
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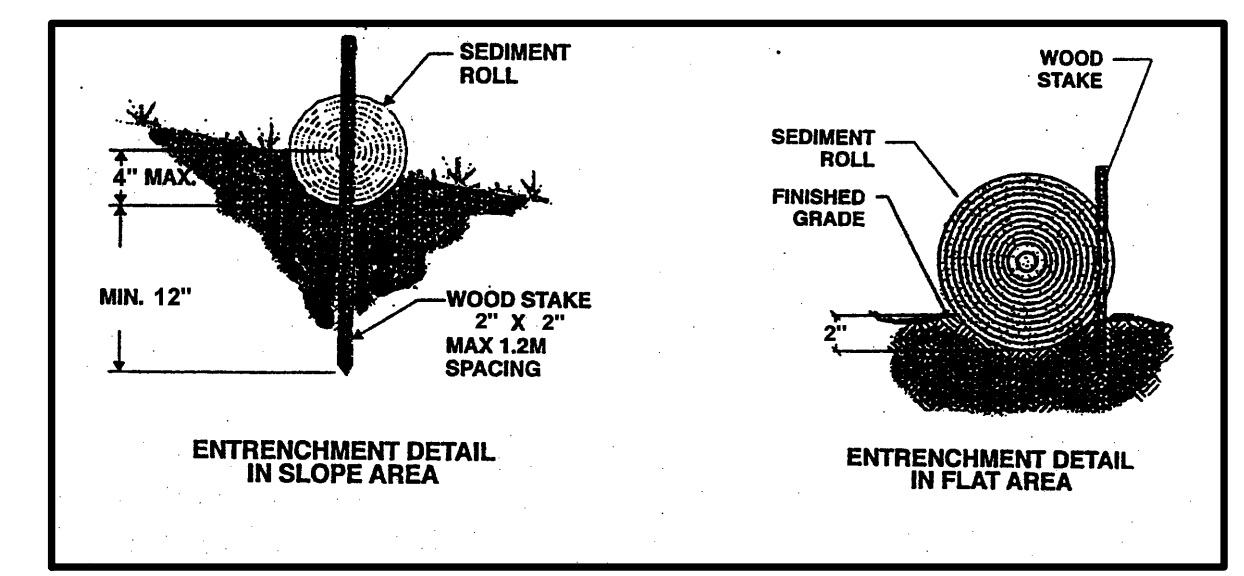
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5 OF 6

**EROSION CONTROL GENERAL NOTES:**

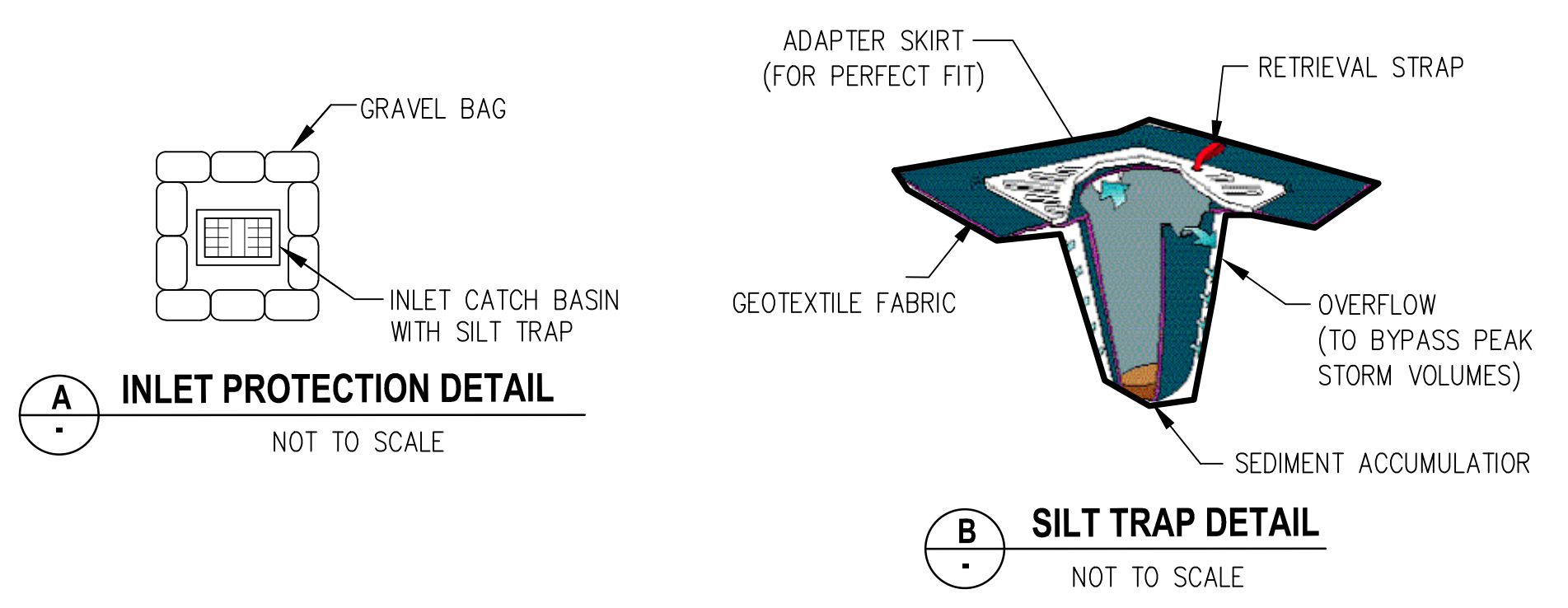
TEMPORARY EROSION CONTROL MEASURES EFFECTIVE DURING RAINY SEASON-(OCTOBER 1 TO APRIL 15.)

- TEMPORARY EROSION CONTROL MEASURE DEVICES SHOWN ON THE EROSION CONTROL PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE COUNTY INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
- EXCEPT AS OTHERWISE DIRECTED BY THE COUNTY INSPECTOR, ALL DEVICES SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED BY THE CONTRACTOR AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON AND MAINTAINED DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15).
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG) "A MANUAL OF STANDARDS FOR EROSION AND SEDIMENT CONTROL MEASURES" UNLESS OTHERWISE STATED WITHIN THESE GENERAL NOTES. EROSION CONTROL MEASURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE COUNTY BUILDING DEPARTMENT, GRADING SECTION. SCHEDULE AN EROSION CONTROL INSPECTION BY CALLING (925) 335-1123 AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.
- ALL LOOSE SOILS AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- THE CONTRACTOR SHALL PLACE DRAIN ROCK AS A GRAVEL ROADWAY (6" MINIMUM THICKNESS FOR THE FULL WIDTH AND 50 FEET LONG) AT EACH ROAD ENTRANCE TO THE SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THE SAME DAY AS REQUIRED BY THE COUNTY INSPECTOR. TEMPORARY ENTRANCES WILL BE ON BOULEVARD WAY.
- AFTER OCTOBER 1, ALL EROSION CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH STORM. AFTER OCTOBER 1, BREACHES IN DIKES, STRAW WATTLES OR OTHER EROSION AND SEDIMENT CONTROL FACILITIES WILL BE REPAIRED AT THE CLOSE OF EACH DAY AND WHENEVER RAIN IS FORECAST.
- ALL GRADED AREAS, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, ROADS, AND BUILDING PADS SHALL BE HYDROSEEDED. IN ADDITION TO HYDROSEEDING, APPLICATION OF STRAW WITH A TACKIFIER OR MULCH MAY BE REQUIRED BY THE COUNTY INSPECTOR.
- IF ANY GRADING OPERATIONS, OTHER THAN LOT FINISH GRADING, ARE TO BE PERFORMED DURING THE RAINY SEASON, OCTOBER 1 THROUGH APRIL 15, AN EROSION CONTROL PLAN MUST BE SUBMITTED BY SEPTEMBER 1 AND THE PLAN MUST BE APPROVED BY THE COUNTY PRIOR TO THE COMMENCEMENT OF ANY SUCH GRADING OPERATIONS.
- ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVERBANK FLOW USING 4" EARTH BERMS OR SILT FENCES.
- ALL GRADED AREAS, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, STREETS, PARKING AREAS, AND BUILDING PADS SHALL BE HYDROSEEDED PER COUNTY'S REQUIREMENT. SUGGESTED MIX DESIGN FOLLOWS:
 

"BLANDO BROME"	40 LBS./ACRE
ZORRO FESCUE	10 LBS./ACRE
HYKON ROSE CLOVER	5 LBS./ACRE
CALIFORNIA NATIVE WILDFLOWER	8 LBS./ACRE
SUB-COVER	9 LBS./ACRE
FERTILIZER	100 LBS./ACRE
ORGANIC BINDER	300 LBS./ACRE
STRAW MULCH	4000 LBS./ACRE
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE COUNTY INSPECTOR.
- SANDBAGS OR STRAW BALES SHALL BE STOCKPILED ON SITE AND PLACED AT INTERVALS SHOWN ON EROSION CONTROL PLANS, WHEN THE RAIN FORECAST IS 40% OR GREATER, OR WHEN DIRECTED BY THE COUNTY INSPECTOR.
- SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL. APPROVED SANDBAG FILL MATERIALS ARE DECOMPOSED GRANITE AND/OR GRAVEL, OR OTHER MATERIALS APPROVED BY THE COUNTY INSPECTOR.
- ALL CATCH BASIN & INLETS PRIOR TO PAVING WILL BE EQUIPPED WITH WATTLE BARRIER PLACED 2" MIN. BELOW TOP OF GROUND LEVEL.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS OR IN EXTREME STORM CONDITIONS THE CONTRACTOR MAY USE STRAW WATTLES, SAND BAGS TO SECURE THESE EROSION CONTROL MEASURES AND VARIATIONS WITH THE APPROVAL OF COUNTY INSPECTOR.
- THE CONTRACTOR SHALL HAVE A COMPREHENSIVE PROGRAM FOR INSPECTION AND MAINTENANCE DURING WINTER SEASON, INCLUDING PROVISION FOR DOCUMENTING MAINTENANCE ACTIVITIES.
- THE CONTRACTOR CAN STORE TEMPORARILY STOCKPILES AND EROSION CONTROL SUPPLIES TO HANDLE EMERGENCIES, AND SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE COUNTY INSPECTOR.
- THE CONTRACTOR SHALL KEEP AN EMERGENCY PHONE NUMBER OF CREW CAPTAIN THAT WILL HANDLE EMERGENCIES.
- THE CONTRACTOR SHALL ASSIGNED STAND-BY CREWS 24 HOURS SEVEN DAYS PER WEEK TO BE CALLED TO WORK DURING EACH RAINSTORM EMERGENCY.
- THE CONTRACTOR SHALL ASSIGN ONE CREW CAPTAIN RESPONSIBLE FOR DAILY, WEEKLY, MONTHLY INSPECTION DURING WET, AND DRY WEATHER TO BE SURE ALL EROSION CONTROL MEASURES ARE WORKING PROPERLY AND RECORD THEIR INSPECTIONS ESPECIALLY AFTER EACH STORM IN A LOG.
- SEDIMENT TRAPS SHALL BE CLEANED OUT WHENEVER SEDIMENT REACHES THE SEDIMENT CLEAN OUT LEVEL INDICATED ON DETAIL 7 ON THIS SHEET. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN THE DESILTING BASINS AND THE SEDIMENT TRAPS.
- EROSION CONTROL STRUCTURES SHALL BE ADJUSTED BY THE CONTRACTOR TO REFLECT ALL CHANGES IN DRAINAGE AS ROAD IS BEING INSTALLED.
- STOCKPILES OF TRENCH SPOILS, DEBRIS, SOIL, SAND OR OTHER MATERIALS SHALL BE COVERED OR REMOVED AS SOON AS PRACTICAL.
- TEMPORARY STOCKPILES OF SUPPLIES ON SITE NECESSARY TO HANDLE EMERGENCY FIELD CONDITION SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES & COVERED TO THE SATISFACTION OF THE COUNTY INSPECTOR.



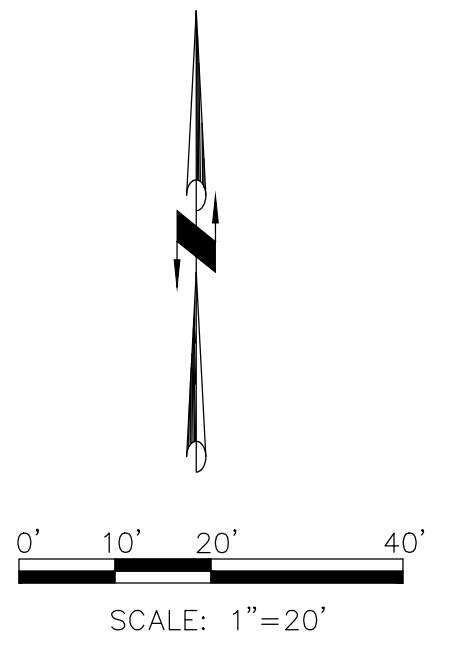
- NOTE:**
- WATTLE FENCE SHALL BE PROPERLY INSTALLED, MAINTAINED AND INSPECTED REGULARLY TO MAXIMIZE FUNCTION.
  - THE STRAW WATTLES SHALL BE PLACED ON SLOPE CONTOURS PER MANUFACTURE'S SPECIFICATION.
  - WATTLES TO BE PLACED IN A ROW WITH THE ENDS TIGHTLY ABUTTING. USE STRAW, ROCKS, OR FILTER FABRIC TO FILL GAPS BETWEEN MATERIAL TO PREVENT EROSION OR FLOW AROUND WATTLES.
  - WATTLES TO BE PLACED BEHIND CURBS OR SIDEWALKS.



**A INLET PROTECTION DETAIL**  
NOT TO SCALE

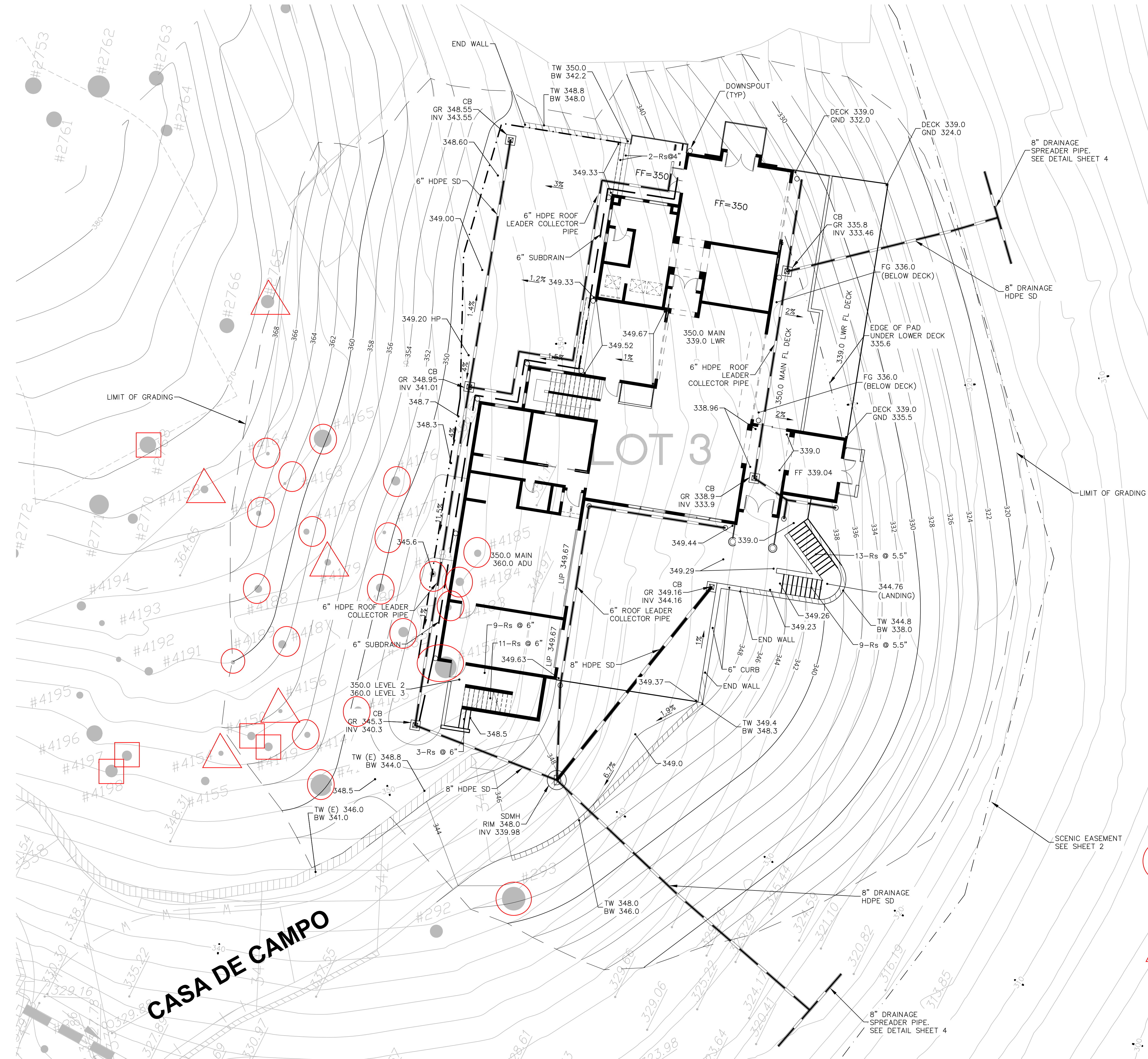
**B SILT TRAP DETAIL**  
NOT TO SCALE

**C STRAW WATTLE FENCE DETAIL**  
NOT TO SCALE



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NOTES:

1. ALL STORM DRAIN PIPE SHALL BE HDPE N12
2. ALL CB SHALL BE JENSEN PRECAST 12"x12" DROP INLET
3. MANHOLE SHALL BE TYPE 1 PERCAST MANHOLE PER CONTRA COSTA STANDARD PLAN CD30.

C33 STORMWATER CONTROL:

PROJECT IS A SINGLE FAMILY AND IS SUBJECT TO C.3 FOR SMALL LOTS. IMPERVIOUS AREA WILL BE DISPERSED TO THE NATURAL GROUND VIA DRAINAGE SPREADER PIPES. POST PROJECT IMPERVIOUS AREA=7,278 SF

FUGITIVE DUST  
FUGITIVE DUST IS CAUSED BY GRADING, TRACK-OUT FROM EQUIPMENT AND VEHICLES, EXPOSED STOCKPILES, UNPAVED ROADS, STAGING AREAS, PARKING LOTS, ETC. EMISSIONS OF FUGITIVE DUST FROM GRADING OPERATIONS SHALL BE AVOIDED.

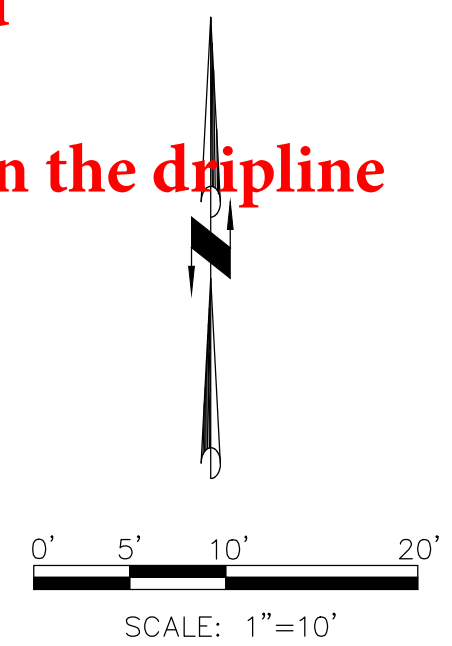
THE BEST WAY TO AVOID FUGITIVE DUST COMPLAINTS IS TO IMPLEMENT PREVENTATIVE MEASURES.  
DUST CONTROL MEASURES  
1. ALL VISIBLY DRY DISTURBED SOIL AND ROAD SURFACES SHALL BE WATERED TO MINIMIZE FUGITIVE DUST EMISSIONS.  
2. ALL UNPAVED AREAS SHALL HAVE A SPEED LIMIT OF 10 MPH.  
3. EARTH OR OTHER MATERIAL TRACKED ONTO NEIGHBORING PAVED ROADS SHALL BE REMOVED PROMPTLY.  
4. DUST GENERATING ACTIVITIES SHALL BE LIMITED DURING PERIODS OF HIGH WINDS (OVER 25 MPH).  
5. ACCESS OF UNAUTHORIZED VEHICLES ONTO THE CONSTRUCTION SITE DURING NON-WORKING HOURS SHALL BE PREVENTED.

FOLLOWING THESE MEASURES SHOULD REDUCE CONFLICTS WITH PROJECT NEIGHBORS, AVOID THE POSSIBILITY OF FINES AND PENALTIES FOR VIOLATIONS OF DISTRICT REGULATIONS, AND MOST IMPORTANTLY, RESULT IN CLEANER AIR FOR ALL OF US.

LITTER CONTROL  
LITTER CONTROL IS A NECESSARY MEASURE TO BE TAKEN DURING DEVELOPMENT AND CONSTRUCTION. LITTER CAN BE GENERATED BY BOTH CONSTRUCTION ACTIVITY AND BY WORKERS' PERSONAL DEBRIS, PARTICULARLY FOOD AND DRINK CONTAINERS.

LITTER CONTROL MEASURES  
1. TRASH RECEPTACLES SHALL BE PROVIDED AT CONVENIENT LOCATIONS THROUGHOUT THE JOB SITE, AND EMPTIED ON A REGULAR BASIS.  
2. CONSTRUCTION PERSONNEL ARE TO BE INSTRUCTED TO UTILIZE THE PROVIDED TRASH RECEPTACLES, AND TO PICK UP ANY STRAY LITTER, REGARDLESS OF WHETHER IT IS THEIRS.  
3. TRASH RECEPTACLES ARE TO BE LOCATED AWAY FROM NEIGHBORING HOMES TO AVOID ATTRACTING PESTS AND CREATING OFFENSIVE ODORS.  
4. TRASH RECEPTACLES SHALL HAVE LIDS TO CONTAIN TRASH AND ODORS AND TO DISCOURAGE PESTS.  
5. CONSTRUCTION DEBRIS SHALL BE CONTAINED WITHIN A TRASH RECEPTACLE / DUMPSTER OR OFFHAULED WEEKLY.  
6. CONSTRUCTION DEBRIS SHALL NOT BE STORED WITHIN THE DRIPLINES OF ANY TREES.  
7. TRASH RECEPTACLES AND DUMPSTERS SHALL BE PLACED IN LOCATIONS LEAST VISIBLE TO NEIGHBORING HOMES WHILE REMAINING REASONABLY ACCESSIBLE TO PROMOTE THEIR PROPER USE.  
FOLLOWING THESE MEASURES SHOULD REDUCE CONFLICTS WITH PROJECT NEIGHBORS, AVOID THE POSSIBILITY OF FINES AND PENALTIES FOR VIOLATIONS OF DISTRICT REGULATIONS, AND MOST IMPORTANTLY, RESULT IN A CLEANER ENVIRONMENT FOR ALL OF US.

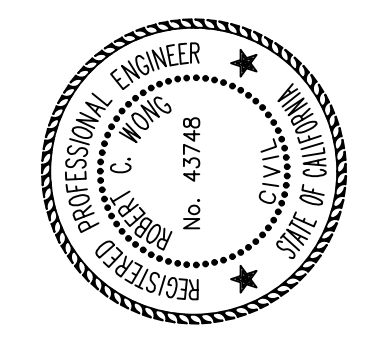
- Removal due to construction
- Removal because it is dead
- △ To remain, but work within the dripline



Aliquot Associates, Inc.  
1390 S. Main St. - Ste. 310  
Walnut Creek, CA 94596  
Telephone: (925) 476-2300  
Fax: (925) 476-2350

Civil Engineers  
Traffic Engineers  
Surveyors

No.	BY	DATE	REVISIONS



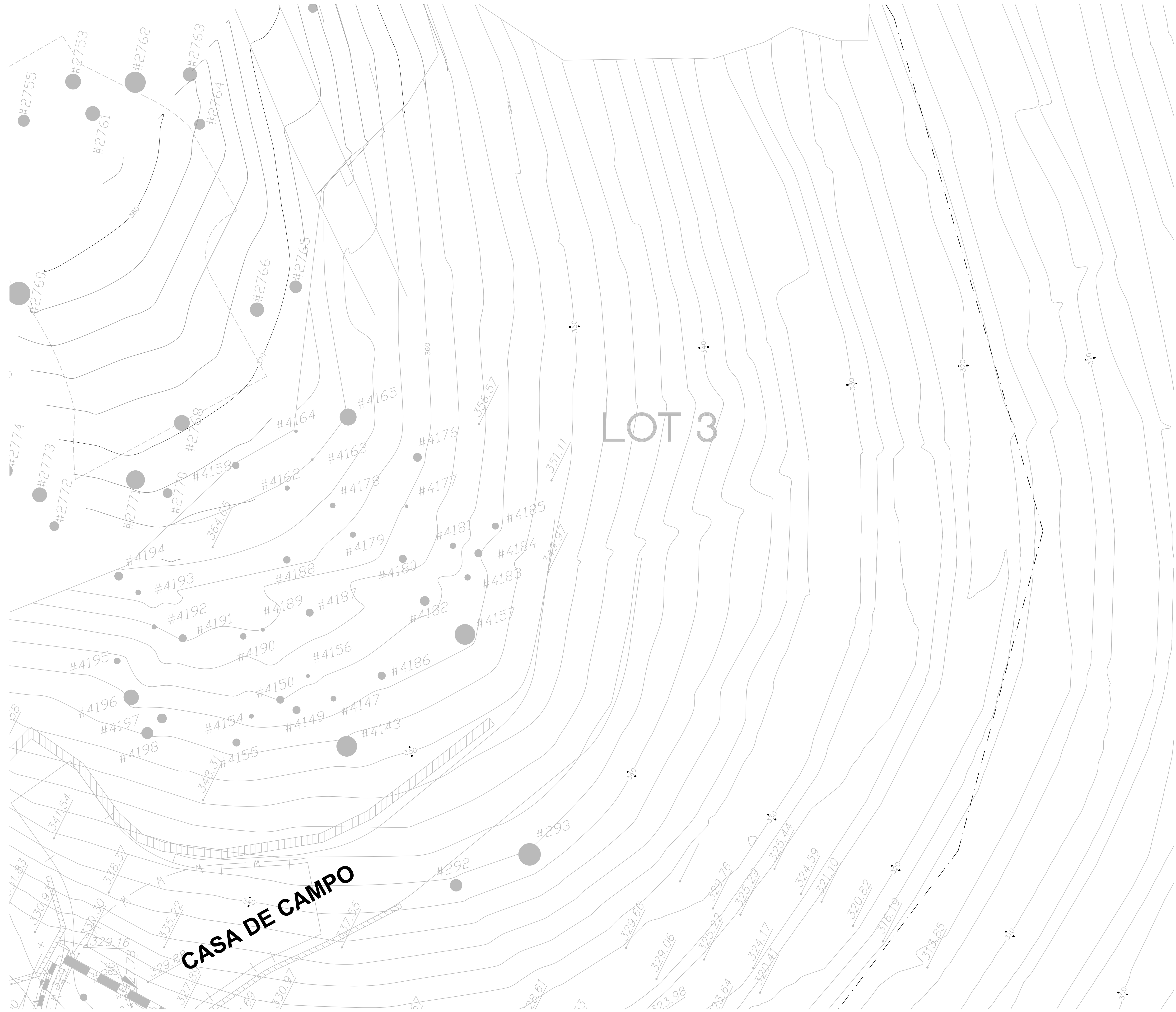
**PRELIMINARY  
NOT FOR CONSTRUCTION**

**GRADING AND DRAINAGE PLAN  
LOT 3  
5 CASA DE CAMPO-CREEKSIDE OAKS**

CONTRA COSTA COUNTY CALIFORNIA

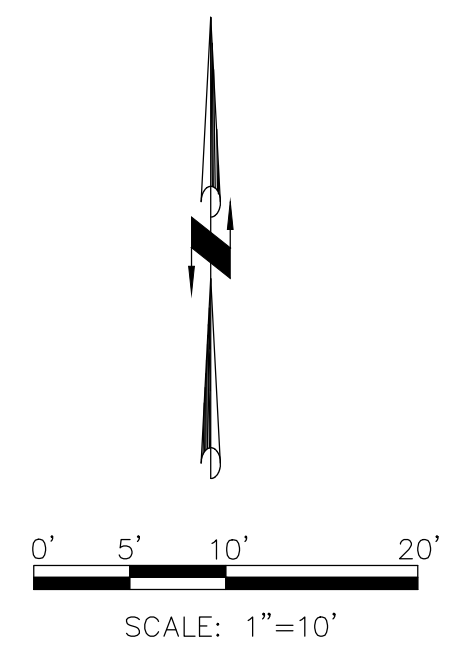
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DRAWING NUMBER					
<b>3</b>					
3 OF 6					

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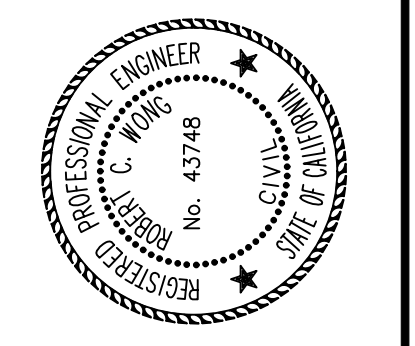
**CASA DE CAMPO**

LOT 3



**ALIQUOT**  
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**PRELIMINARY**  
 NOT FOR CONSTRUCTION

**TOPOGRAPHIC SURVEY**  
**LOT 3**  
**5 CASA DE CAMPO-CREEKSIDE OAKS**  
 CONTRA COSTA COUNTY CALIFORNIA

JOB NO: 202013.7
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**6**  
 6 OF 6