



ARTIST'S CONCEPTION. PLEASE REFER TO PLANS FOR PROJECT SPECIFICATIONS.

OAK ROAD TOWNHOUSE CONDOS

Contra Costa County, CA

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By Contra Costa County
Department of Conservation and Development

Formal Planning Application

October 28, 2021

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CIVIL

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SAM MENDES
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DEVELOPER
SUMMERHILL HOMES
3000 EXECUTIVE PARKWAY, SUITE 450
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SITE INFORMATION

GENERAL PLAN:	MH
EXISTING ZONING:	M-29, M-17, R-15
PROPOSED ZONING:	P1
APN:	172-012-001, 007, 008, 020, 021, 023, 025, 026
GROSS SITE AREA:	5.86 +/- AC = 255,535
NET SITE AREA:	(.8 GROSS) = 4.69 AC (CALCULATED PER COUNTY GENERAL PLAN METHOD)
NUMBER OF UNITS:	125
UNIT TYPE:	TOWNHOUSE CONDOS
NET DENSITY	26.6 DU/AC (ALLOWABLE 22-29.9 DU/AC)

SETBACKS

FRONT: 15' MIN. TO PRIMARY BUILDING STRUCTURE *

SIDE: 15' MIN. TO PRIMARY BUILDING STRUCTURE

REAR: 15' MIN. TO PRIMARY BUILDING STRUCTURE

BUILDING SIDE SEPARATION: 10' MIN. TO PRIMARY BUILDING STRUCTURE

NOTE: ARCHITECTURAL PROJECTIONS ALLOWED TO ENCROACH INTO SETBACKS

* BUILDING H HAS ONE UNIT WITH A 9.8' FRONT SETBACK

SITE COVERAGE

BUILDING AREA: 50% MAX. = 127,768 SF
OPEN SPACE: 25% MIN. = 63,884 SF

PARKING AND RELATED INFORMATION

RESIDENTIAL STALLS:	2 STALLS PER UNIT (PER PD ZONING)
GUEST STALLS:	.25 GUEST STALLS PER UNIT = 32 STALLS (PER PD ZONING)
TOTAL STALLS:	282 STALLS (PER PD ZONING)
STALLS PROVIDED:	299 SPACES (271 ON-SITE + 28 STREET FRONTAGE SPACES)(PER PD ZONING)
FIRE ACCESS ROAD:	20' MIN; 26' MIN. WHEN PORTION OF BUILDING HAS HUMAN OCCUPANCY LOCATED MORE THAT 30' ABOVE THE ACCESS ROAD
HOSE PULL:	150' FROM FIRE ACCESS ROAD
TRASH ACCESS:	150' MAX. BACKUP DISTANCE

BUILDING HEIGHT

BUILDING HEIGHT: 45'
PROPOSED BUILDING HEIGHT +/- 37' - +/- 43' TO ROOF RIDGE LINE (WITH ROOF PENTHOUSE COMPONENTS)

BUILDING CODE SUMMARY

REFERENCE:	2019 CALIFORNIA RESIDENTIAL CODE / CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 2
OCCUPANCY:	TOWNHOUSES PER 2019 C.R.C. W/ COMMON 1-HOUR RATE WALL SEPERATIONS
FIRE SPRINKLER SYSTEM:	NFPA 13D
TYPE OF CONSTRUCTION:	VB NON-RATED
ALLOWABLE HEIGHT:	3 STORIES (WITH ROOF PENTHOUSE COMPONENTS)
ALLOWABLE AREA:	PER C.R.C.
ACCESSIBILITY:	PER 2019 C.B.C. CHAPTER 11A

ARCHITECTS
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M-29, M-17, R-15
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125
TOWNHOUSE CONDOS
26.6 DU/AC (ALLOWABLE 22-29.9 DU/AC)

LANDSCAPE
R3 STUDIOS
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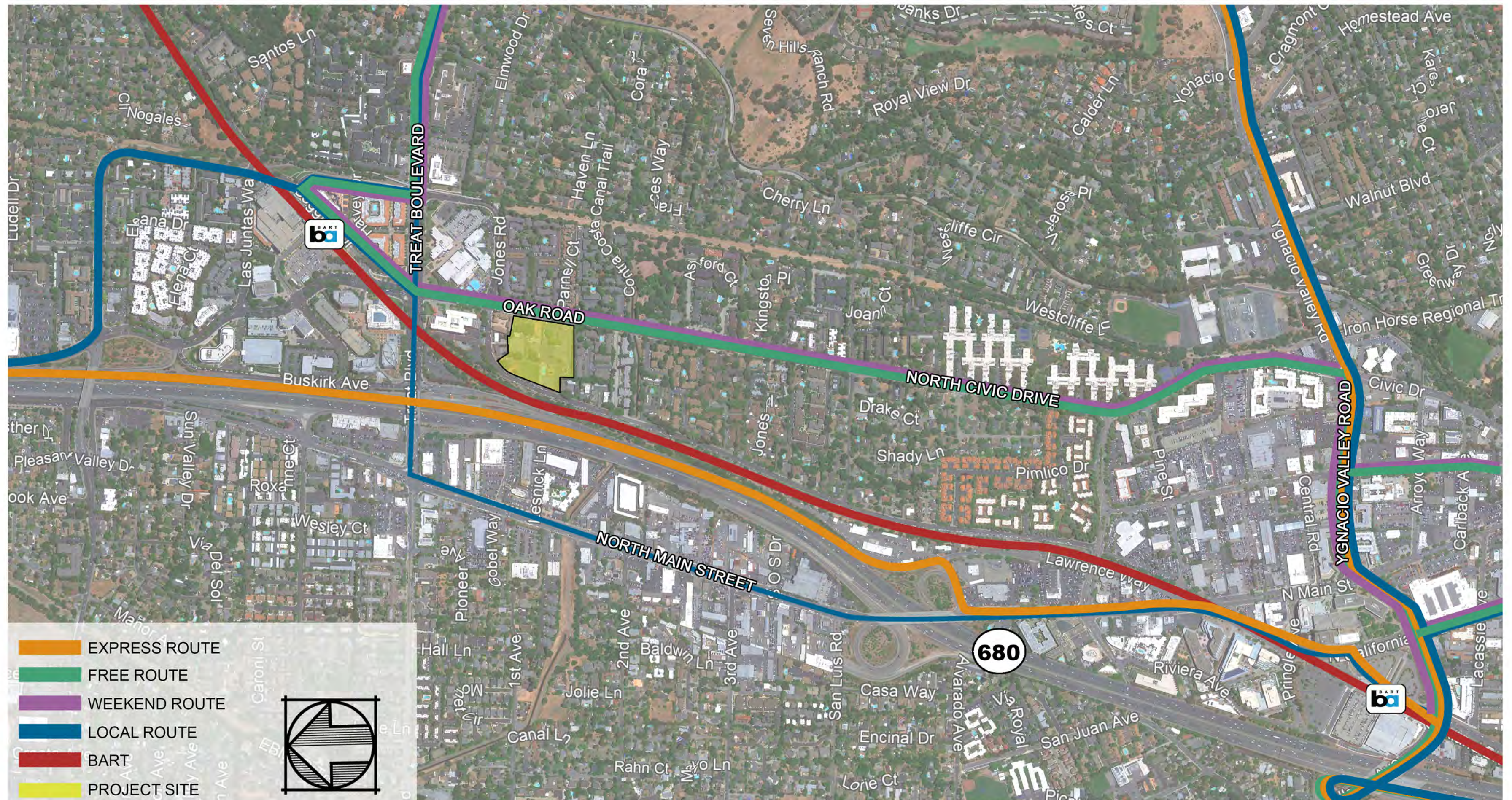
Oak Rd. Townhouse Condos - Contra Costa County - 125 units - Rev. October 28, 2021

New Unit Name	Description	Garage SF (1,000 sf Max)	Garage Type	Quantity	%	Unit Net SF*	Unit Gross SF**	Total Net SF*	Total Unit Gross SF**
Unit 1	3 Bedroom + 3 Bath	436	2 Car Tandem	14	11.2%	1,362	1,798	19,068	25,172
Unit 2	3 Bedroom + 3 Bath	436	2 Car Tandem	13	10.4%	1,362	1,798	17,706	23,374
Unit 3	3 Bedroom + 3 Bath	436	2 Car Tandem	1	0.8%	1,430	1,866	1,430	1,866
Unit 4	4 Bedroom + 2 Bath	289	1 Car	6	4.8%	1,523	1,812	9,138	10,872
Unit 5	3 Bedroom + 3.5 Bath	478	Std 2 Car	15	12.0%	1,844	2,322	27,660	34,830
Unit 6	3 Bedroom + 3.5 Bath	478	Std 2 Car	5	4.0%	1,891	2,369	9,455	11,845
Unit 7	4 Bedroom + 3.5 Bath	462	Std 2 Car	28	22.4%	2,038	2,500	57,064	70,000
Unit 8	4 Bedroom + 3.5 Bath	462	Std 2 Car	5	4.0%	2,098	2,560	10,490	12,800
Unit 9	4 Bedroom + 3.5 Bath	449	Std 2 Car	32	25.6%	2,250	2,699	72,000	86,368
Unit 10	4 Bedroom + 3.5 Bath	449	Std 2 Car	6	4.8%	2,281	2,730	13,686	16,380
Subtotal				125	100.0%			237,697	293,507
Avg. Unit Square Footage								1,902	2,348
Overall Density			26.6 du/ac Net / 21.3 du/ac Gross						

*Net SF: Measured to outside face of stud, excludes garage area, deckhand porches. Includes air gap per unit

**Gross SF: Measured to outside face of stud, includes garage area. Includes air gap per unit.

BMR Units = (4) Unit 1, (6) Unit 4 = 10 units total.

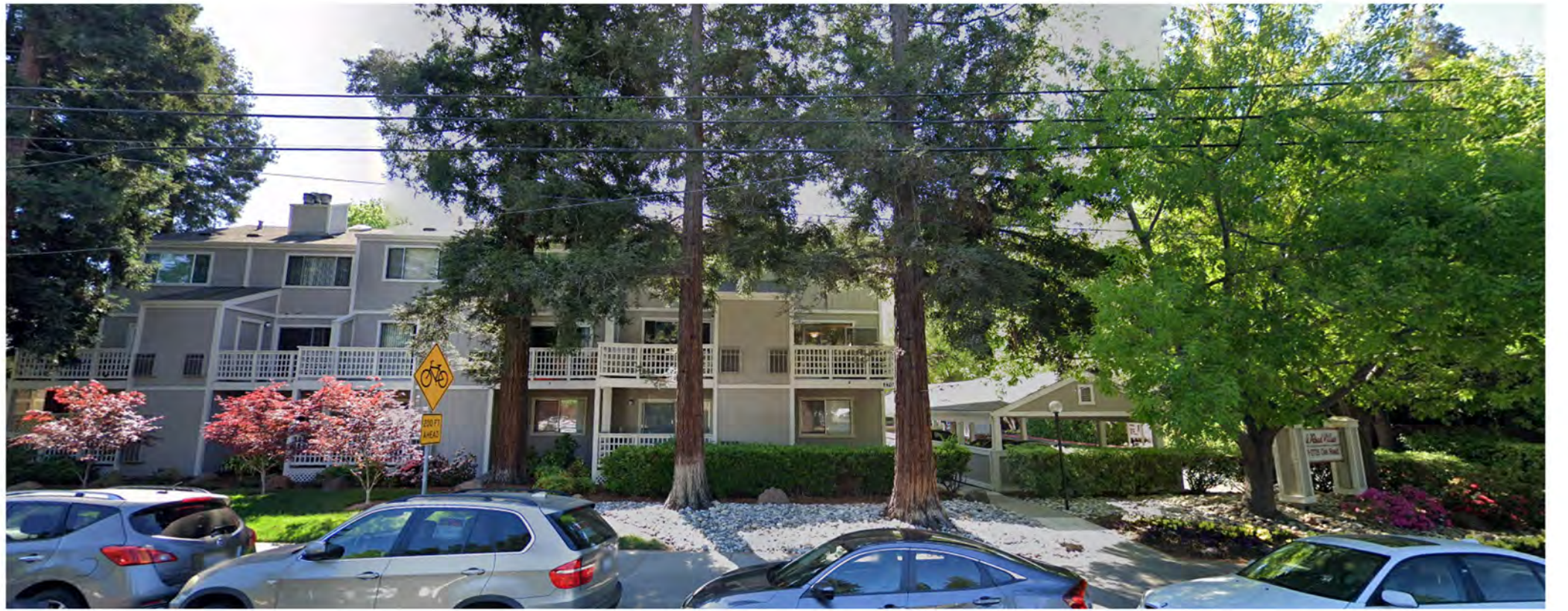


054 Oak Road Townhouse Condos

381. Contra Costa County, CA
October 28, 2021

PROJECT DATA & CONTEXT MAP

A2



381.054
Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

SUMMERHILL HOMESSM
COMMUNITIES OF DISTINCTION

3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
925.244.7513

EXISTING SITE & SURROUNDING CONTEXT
A3

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OAK ROAD ENTRY

PERSPECTIVE RENDERING
A5

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COMMUNITIES OF DISTINCTION

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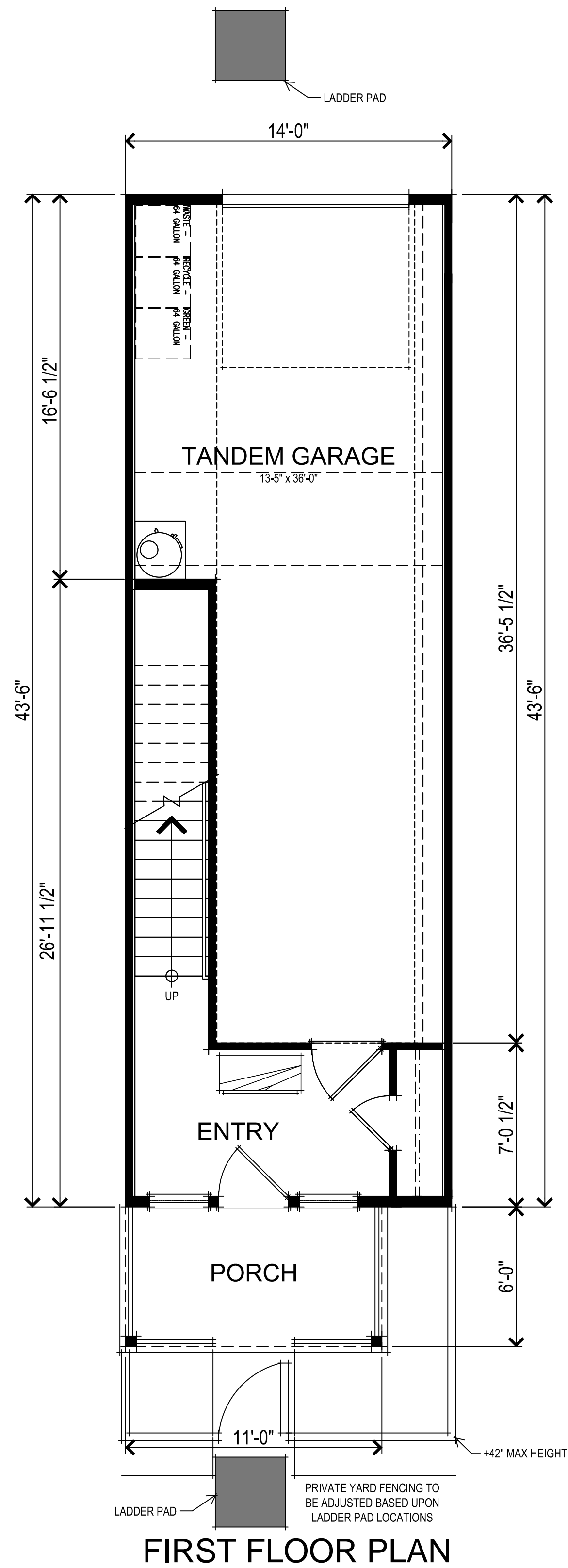


381.054
Oak Road Townhouse Condos
Contra Costa County, CA
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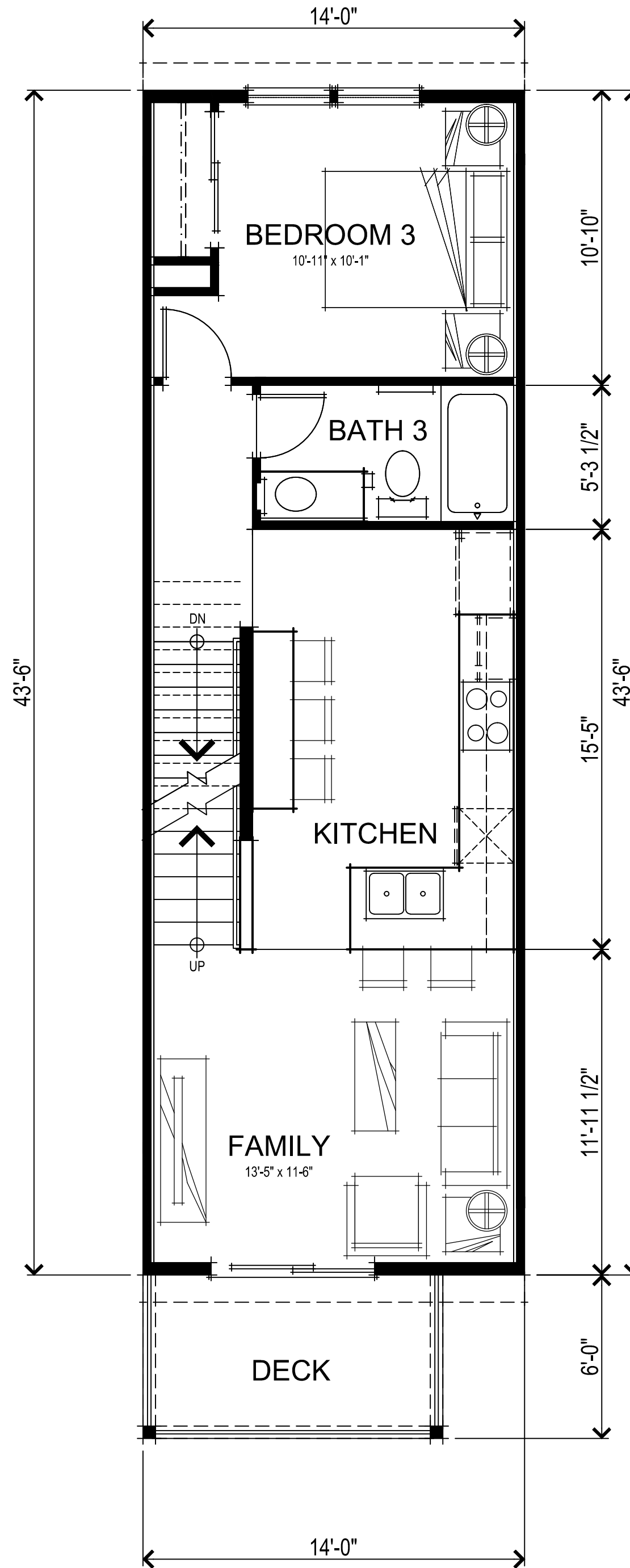
CENTRAL OPEN SPACE

"ARTISTS' CONCEPTION. PLEASE REFER TO PLANS FOR PROJECT SPECIFICATIONS."
PERSPECTIVE RENDERING

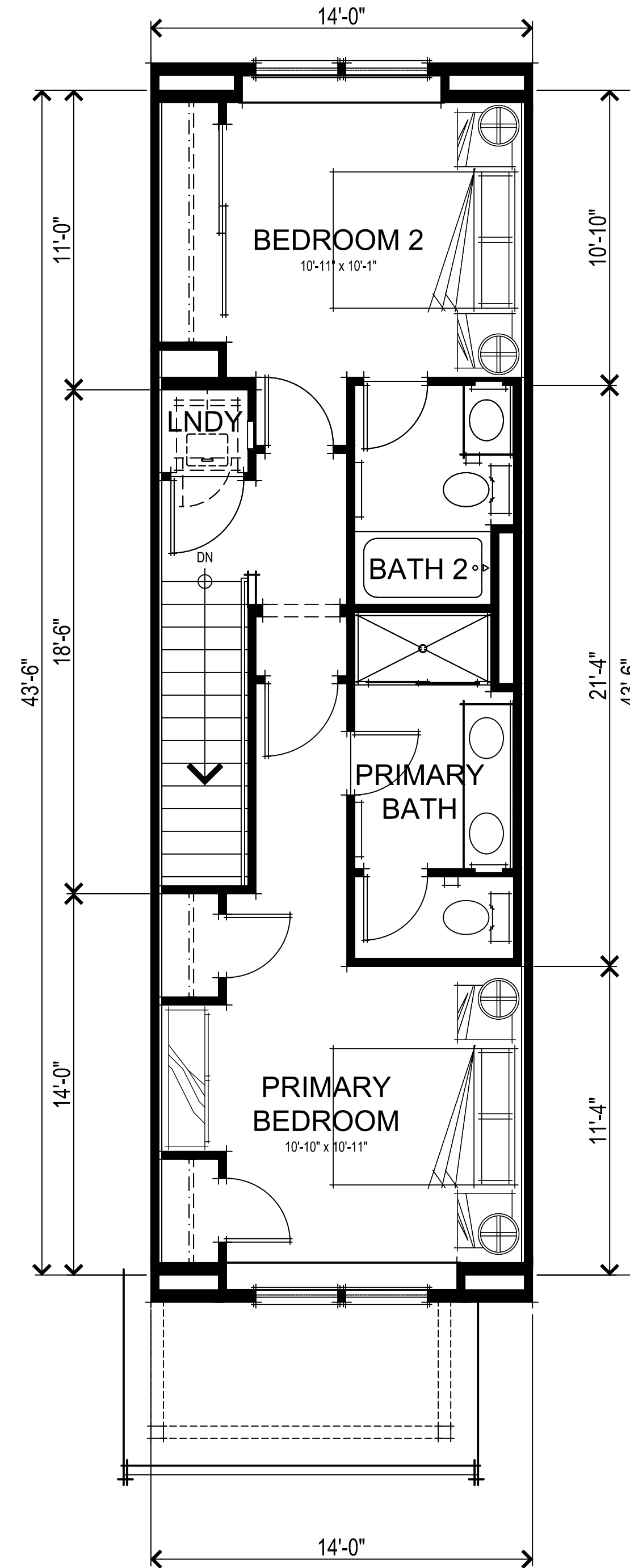
A6



FIRST FLOOR PLAN

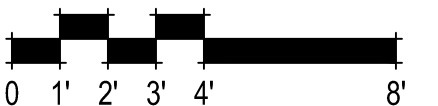


SECOND FLOOR PLAN



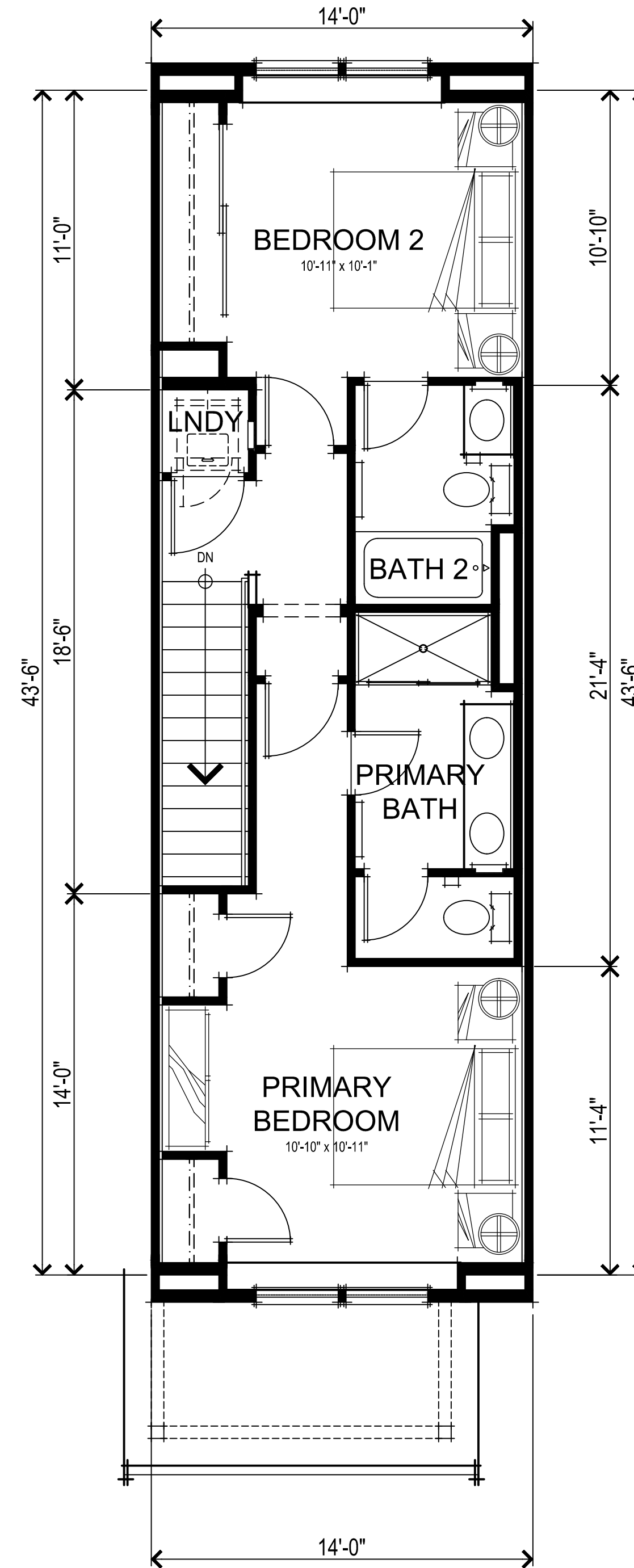
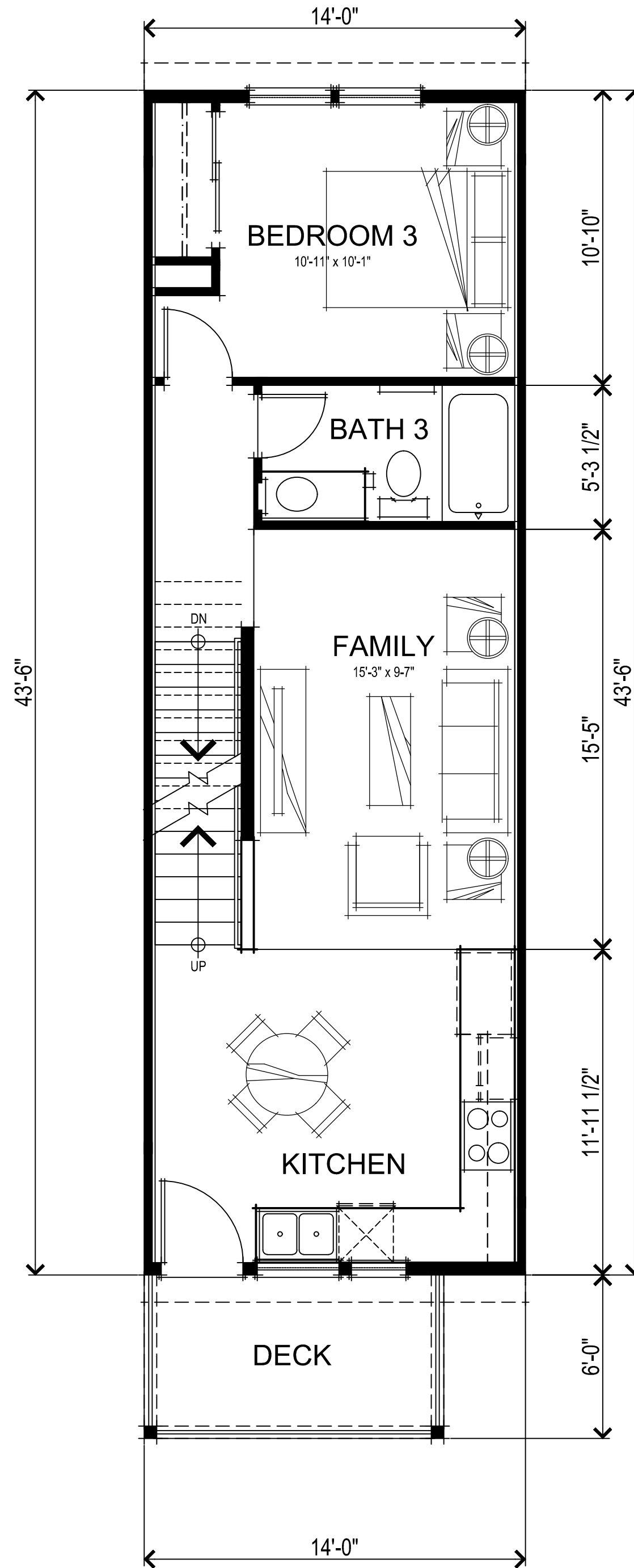
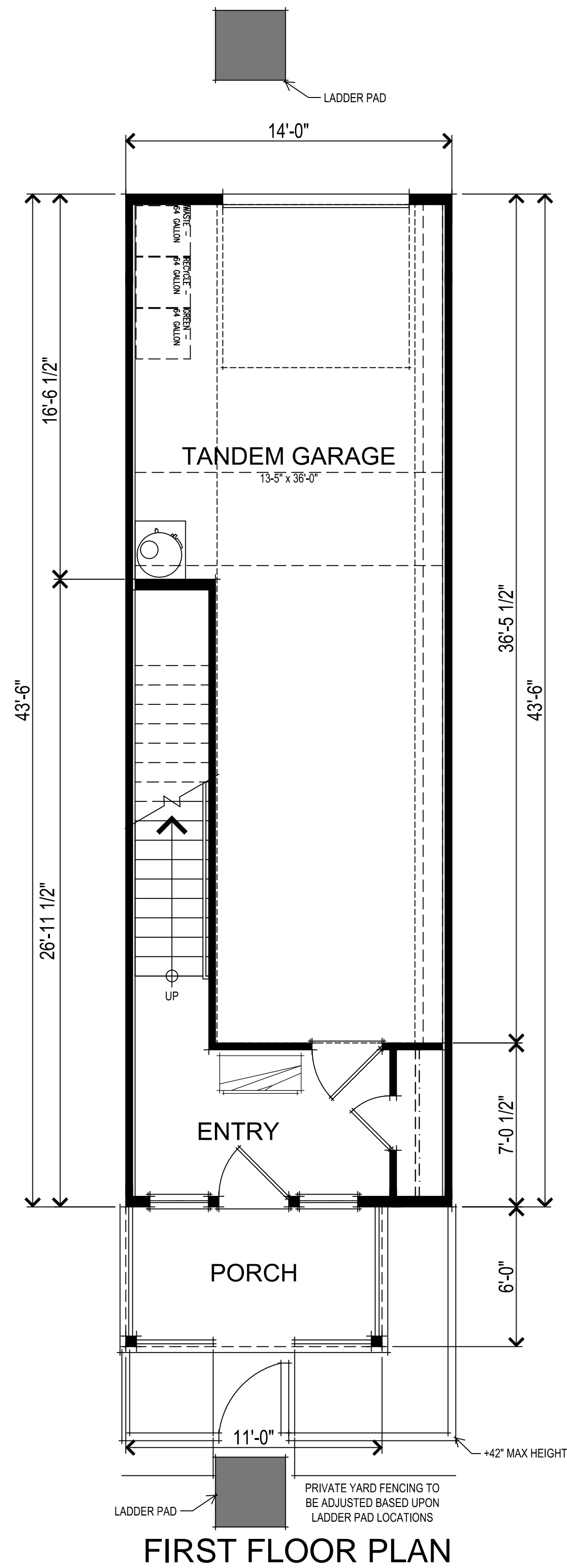
THIRD FLOOR PLAN

UNIT 1 SQUARE FOOTAGES	
FIRST FLOOR	177 SQ. FT.
SECOND FLOOR	613 SQ. FT.
THIRD FLOOR	572 SQ. FT.
TOTAL LIVING	1362 SQ. FT.
2-CAR GARAGE	436 SQ. FT.
PORCH	66 SQ. FT.
DECK	66 SQ. FT.



UNIT 1 FLOOR PLANS
A7

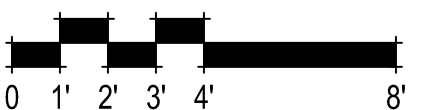
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SECOND FLOOR PLAN

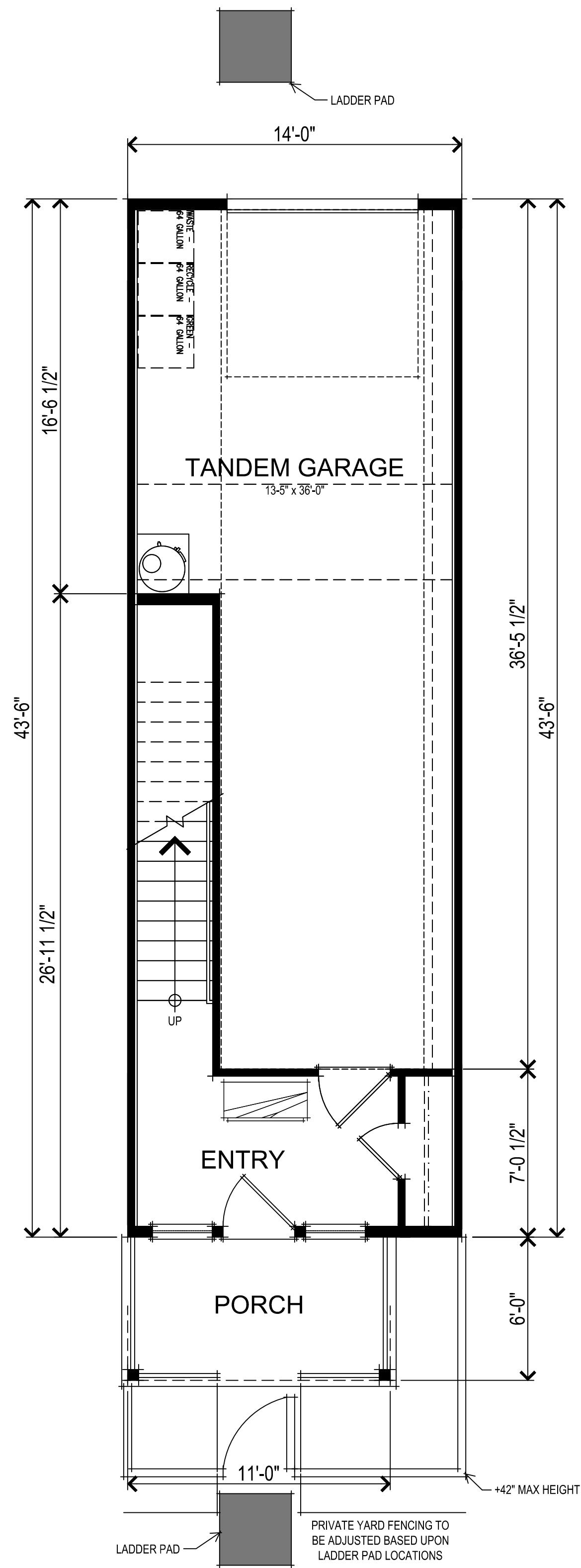
THIRD FLOOR PLAN

UNIT 2 SQUARE FOOTAGES	
FIRST FLOOR	177 SQ. FT.
SECOND FLOOR	613 SQ. FT.
THIRD FLOOR	572 SQ. FT.
TOTAL LIVING	1362 SQ. FT.
2-CAR GARAGE	436 SQ. FT.
PORCH	66 SQ. FT.
DECK	66 SQ. FT.

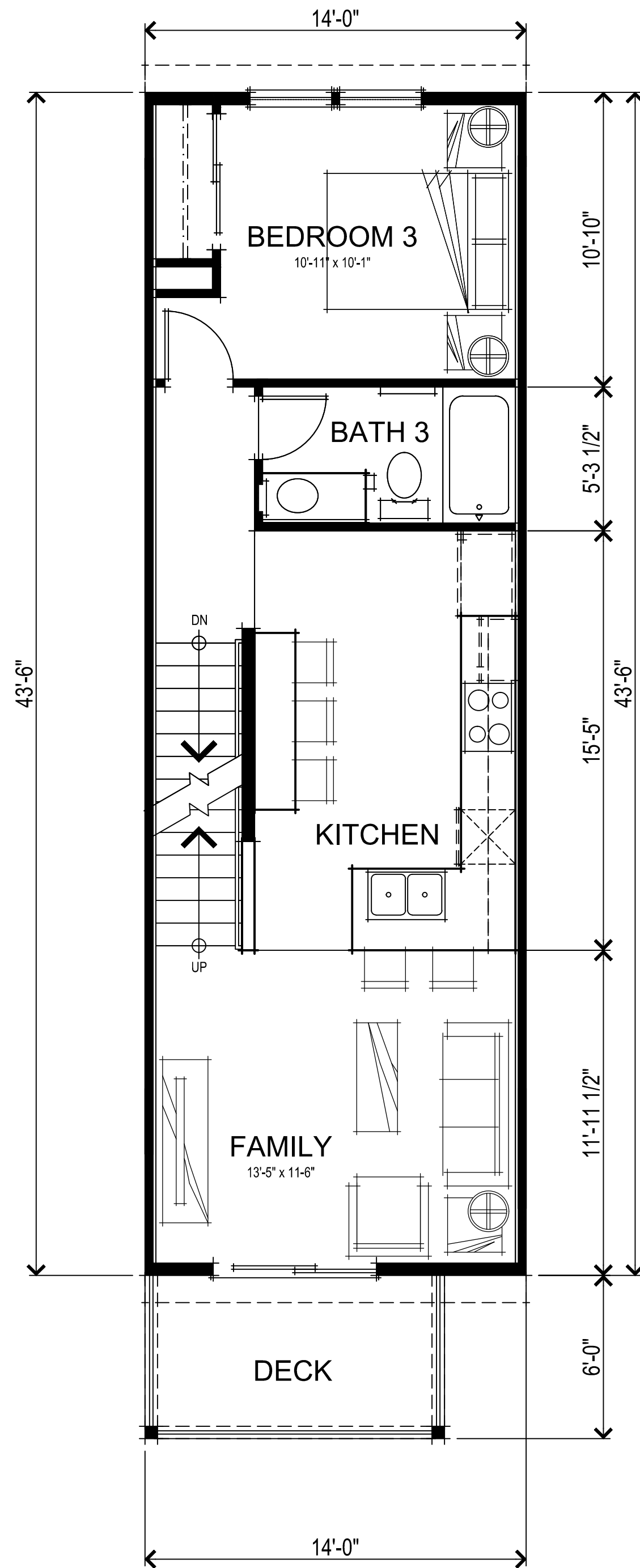


UNIT 2 FLOOR PLANS

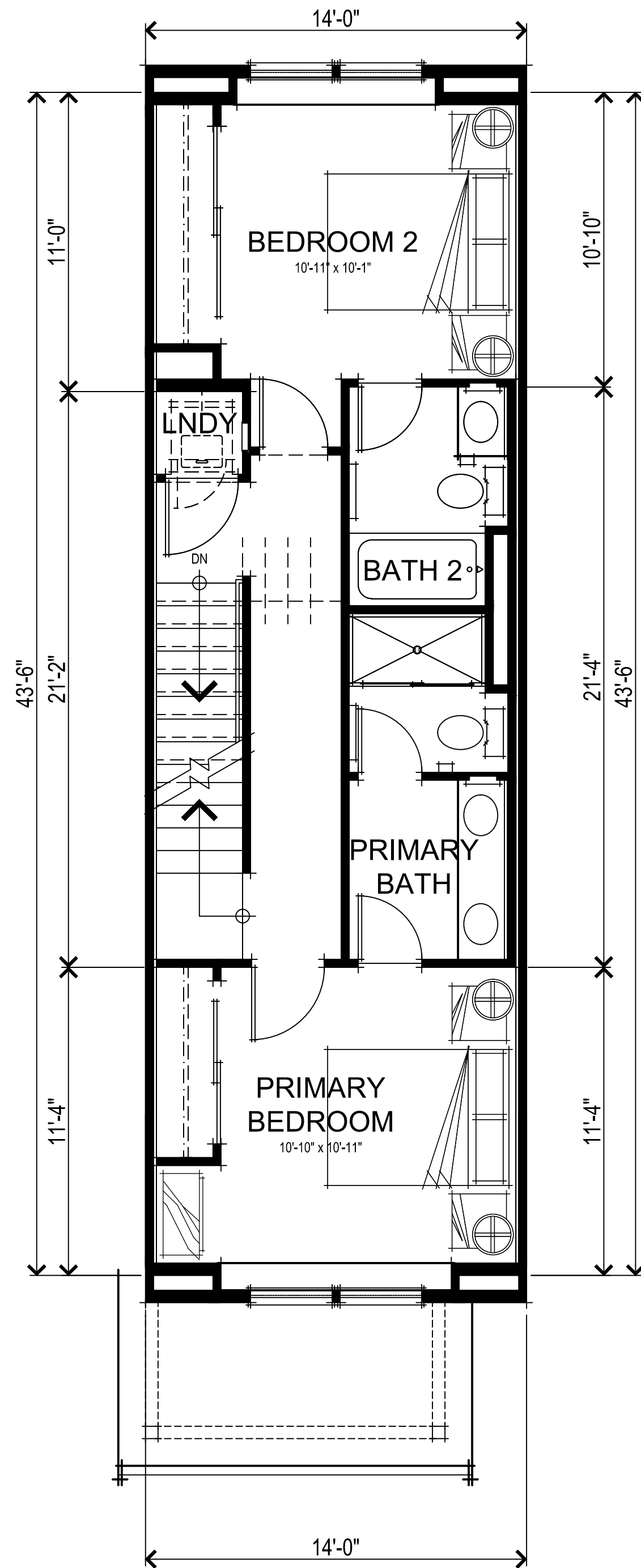
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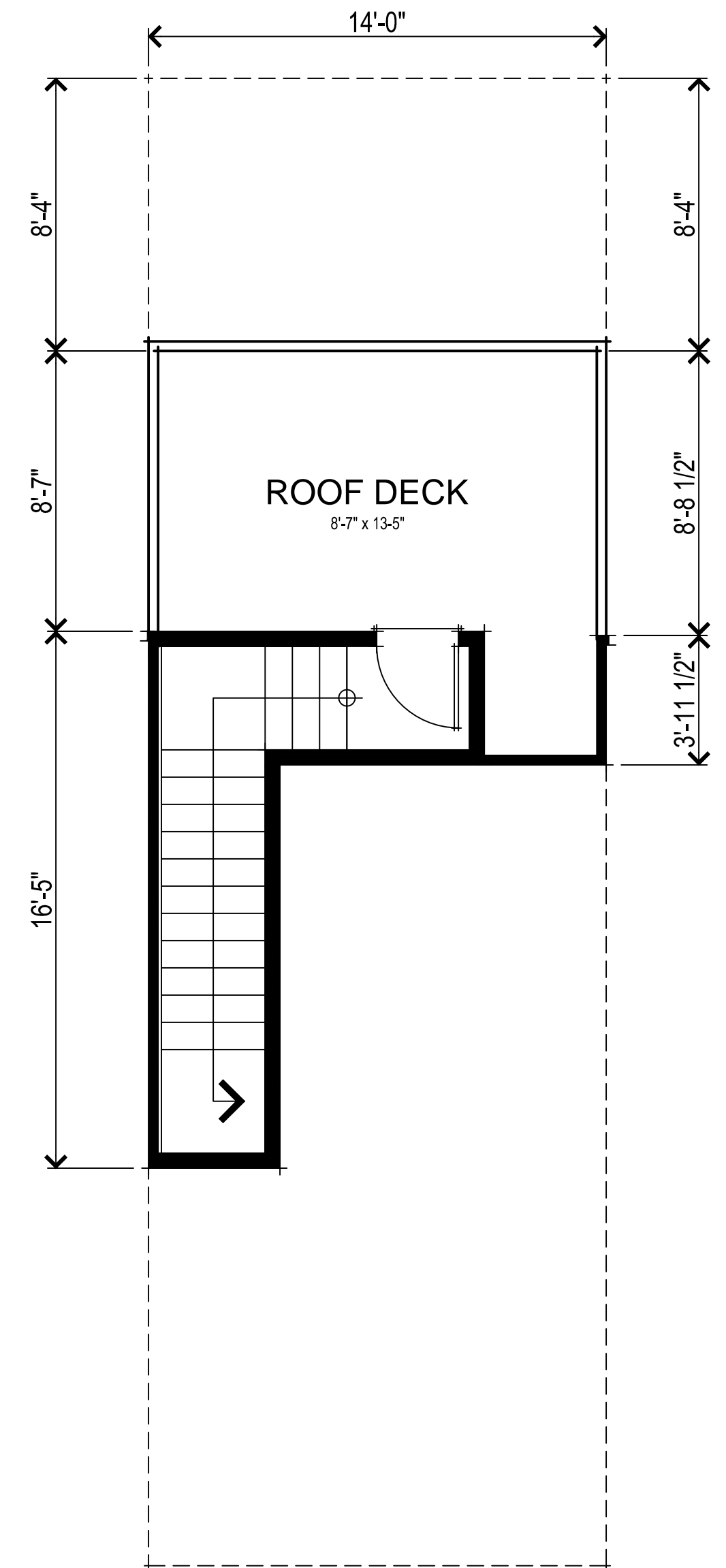
FIRST FLOOR PLAN



SECOND FLOOR PLAN

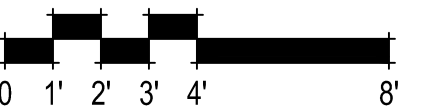


THIRD FLOOR PLAN



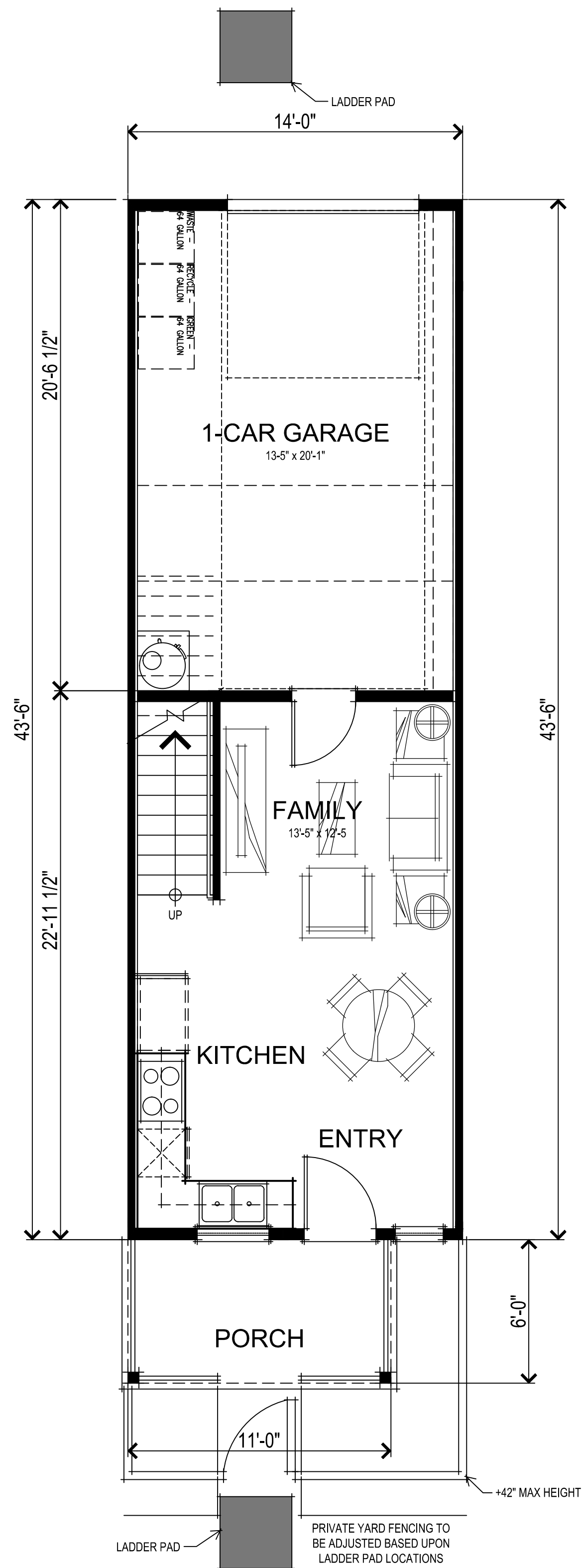
ROOF DECK PLAN

UNIT 3 SQUARE FOOTAGES	
FIRST FLOOR	177 SQ. FT.
SECOND FLOOR	613 SQ. FT.
THIRD FLOOR	613 SQ. FT.
FOURTH FLOOR	27 SQ. FT.
TOTAL LIVING	1430 SQ. FT.
2-CAR GARAGE	436 SQ. FT.
PORCH	66 SQ. FT.
DECK	66 SQ. FT.
ROOF DECK	128 SQ. FT.

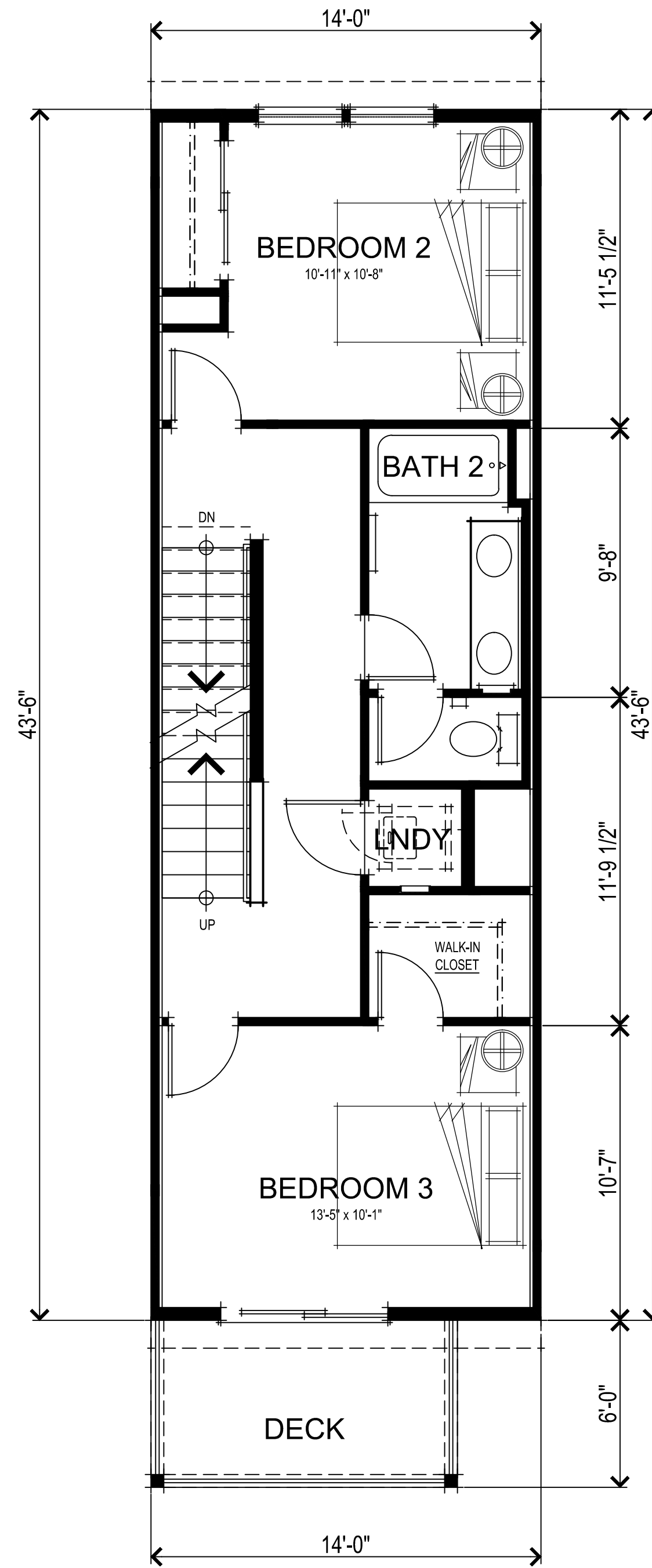


UNIT 3 FLOOR PLANS
A9

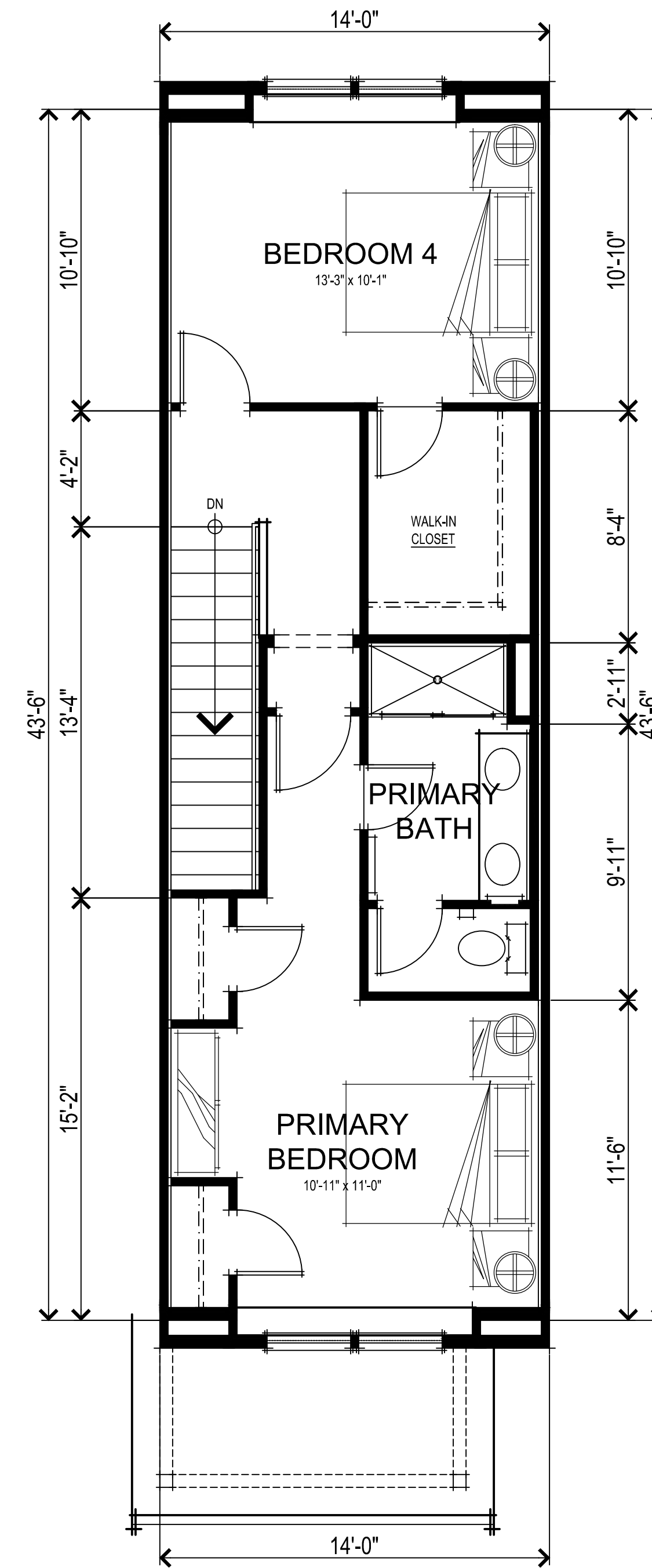
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Contra Costa County, CA
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FIRST FLOOR PLAN

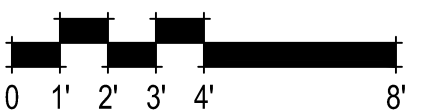


SECOND FLOOR PLAN

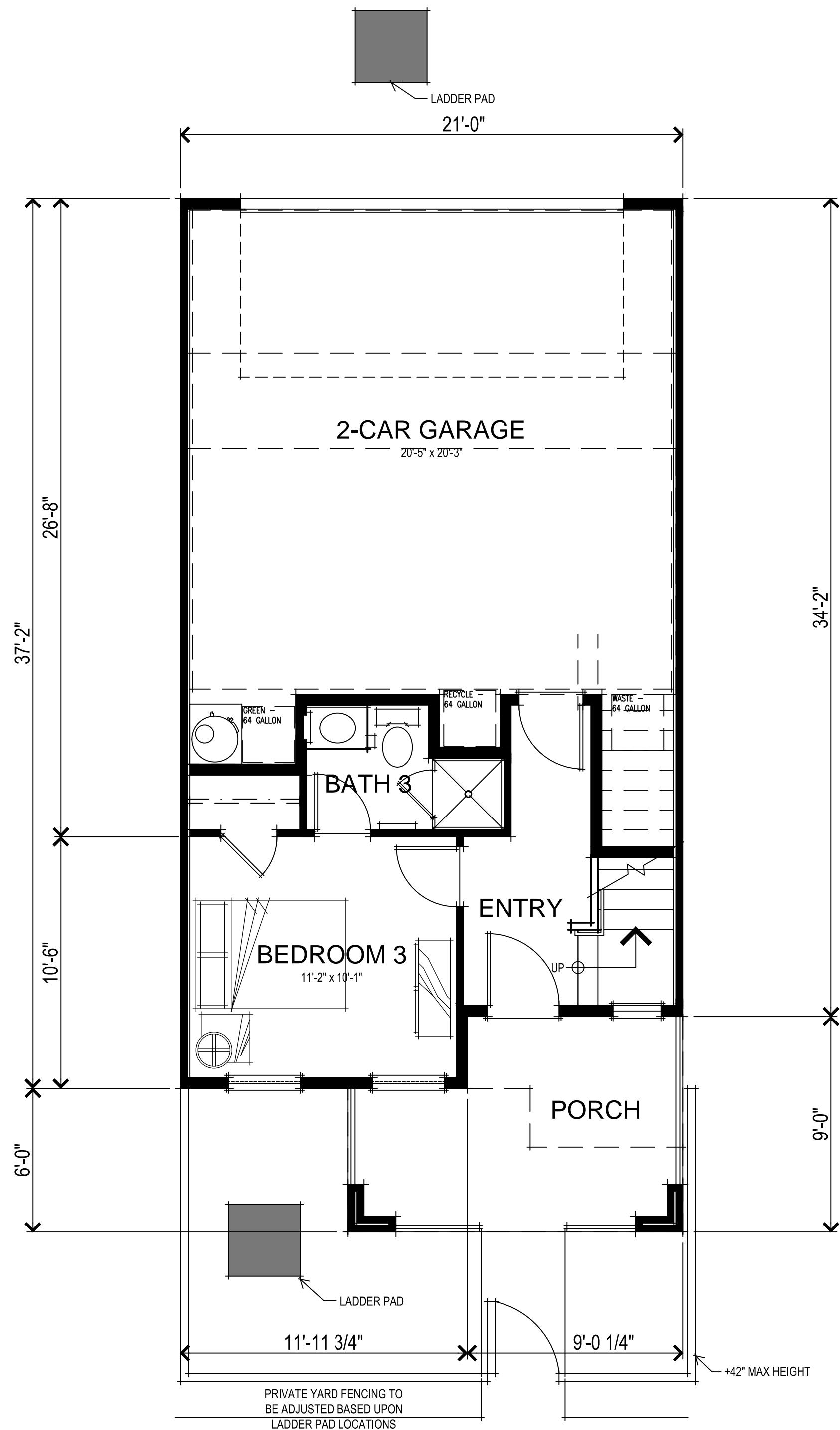


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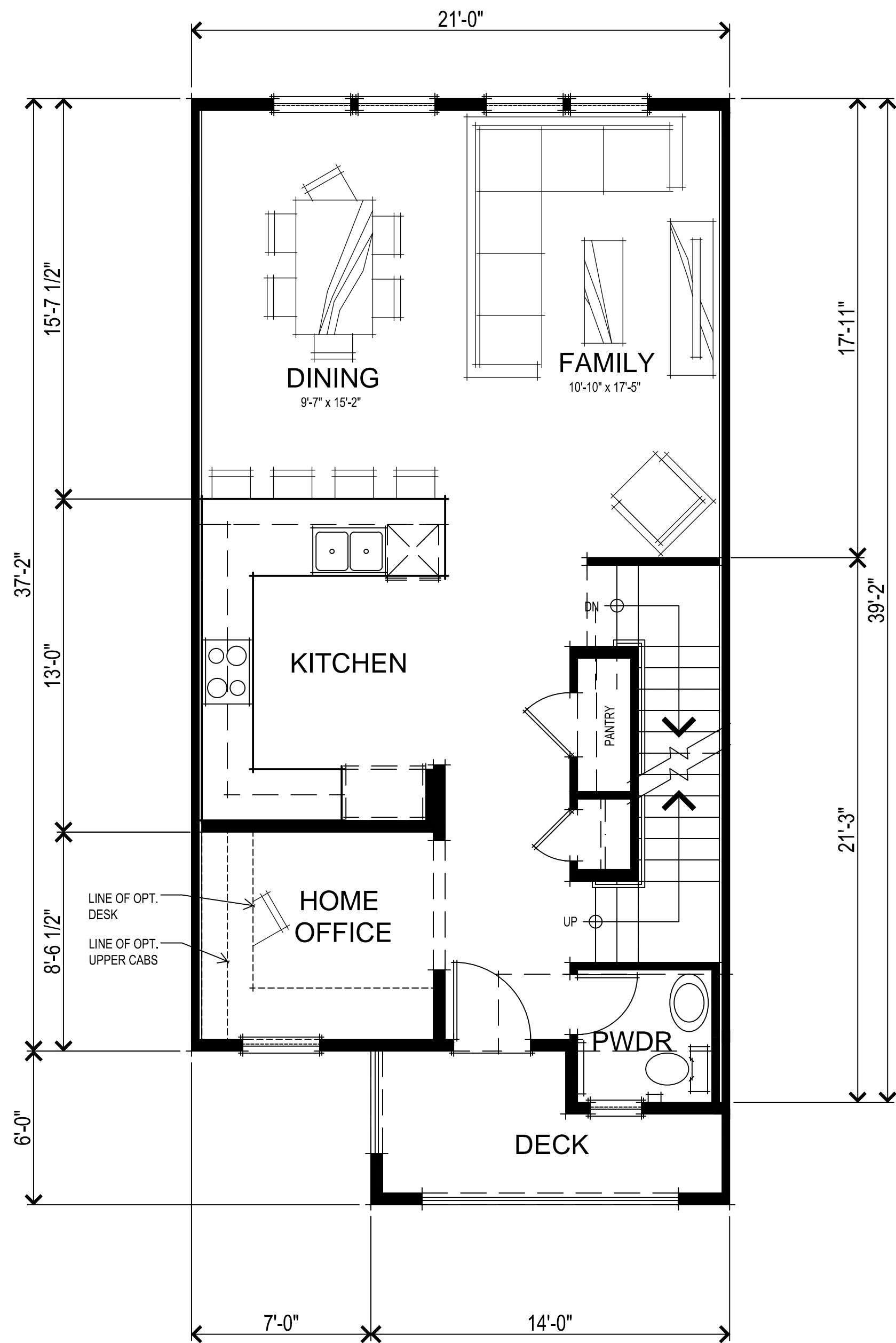
UNIT 4 SQUARE FOOTAGES	
FIRST FLOOR	323 SQ. FT.
SECOND FLOOR	613 SQ. FT.
THIRD FLOOR	587 SQ. FT.
TOTAL LIVING	1523 SQ. FT.
1-CAR GARAGE	289 SQ. FT.
PORCH	66 SQ. FT.
DECK	66 SQ. FT.



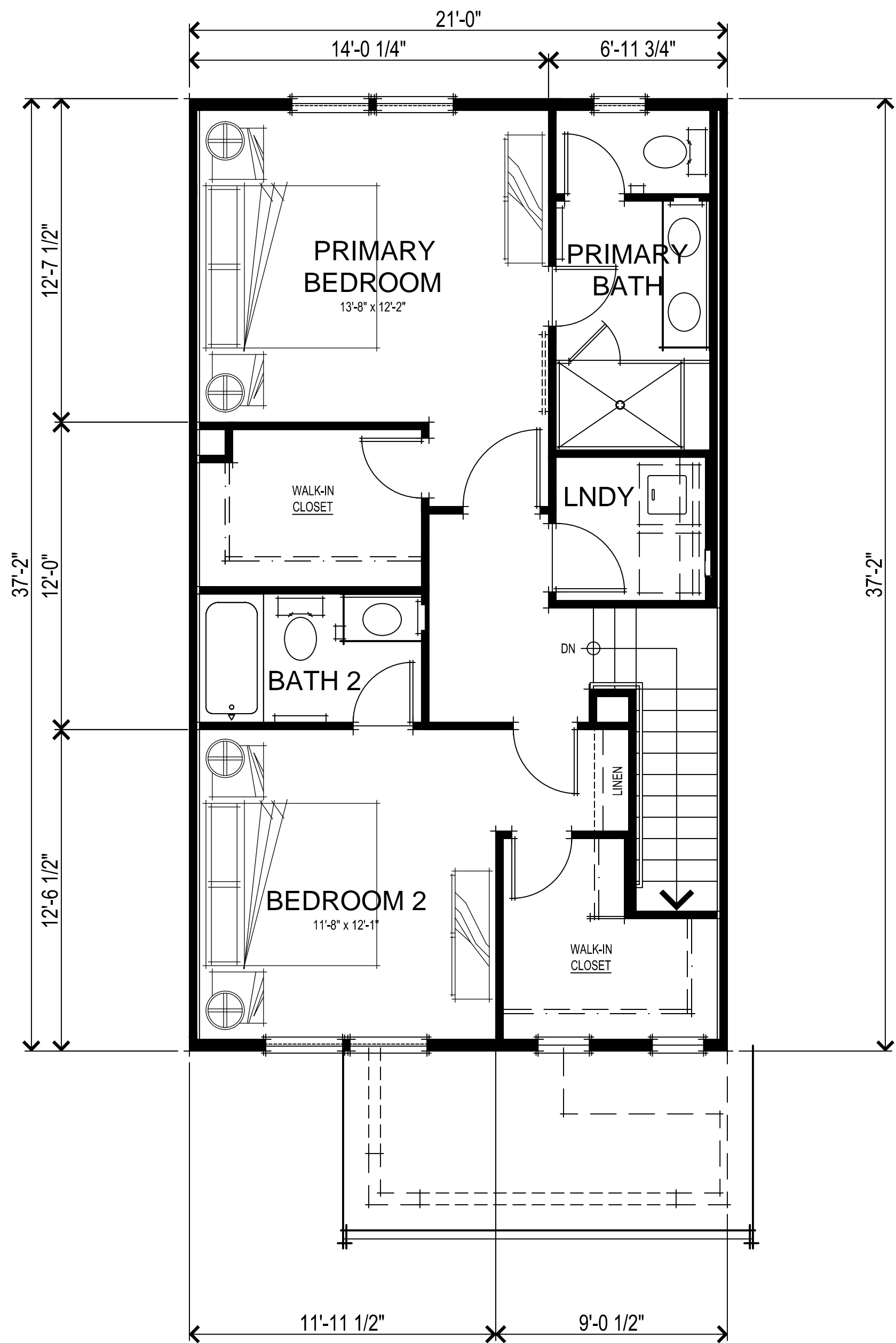
UNIT 4 FLOOR PLANS
A10



FIRST FLOOR PLAN

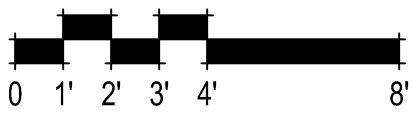


SECOND FLOOR PLAN

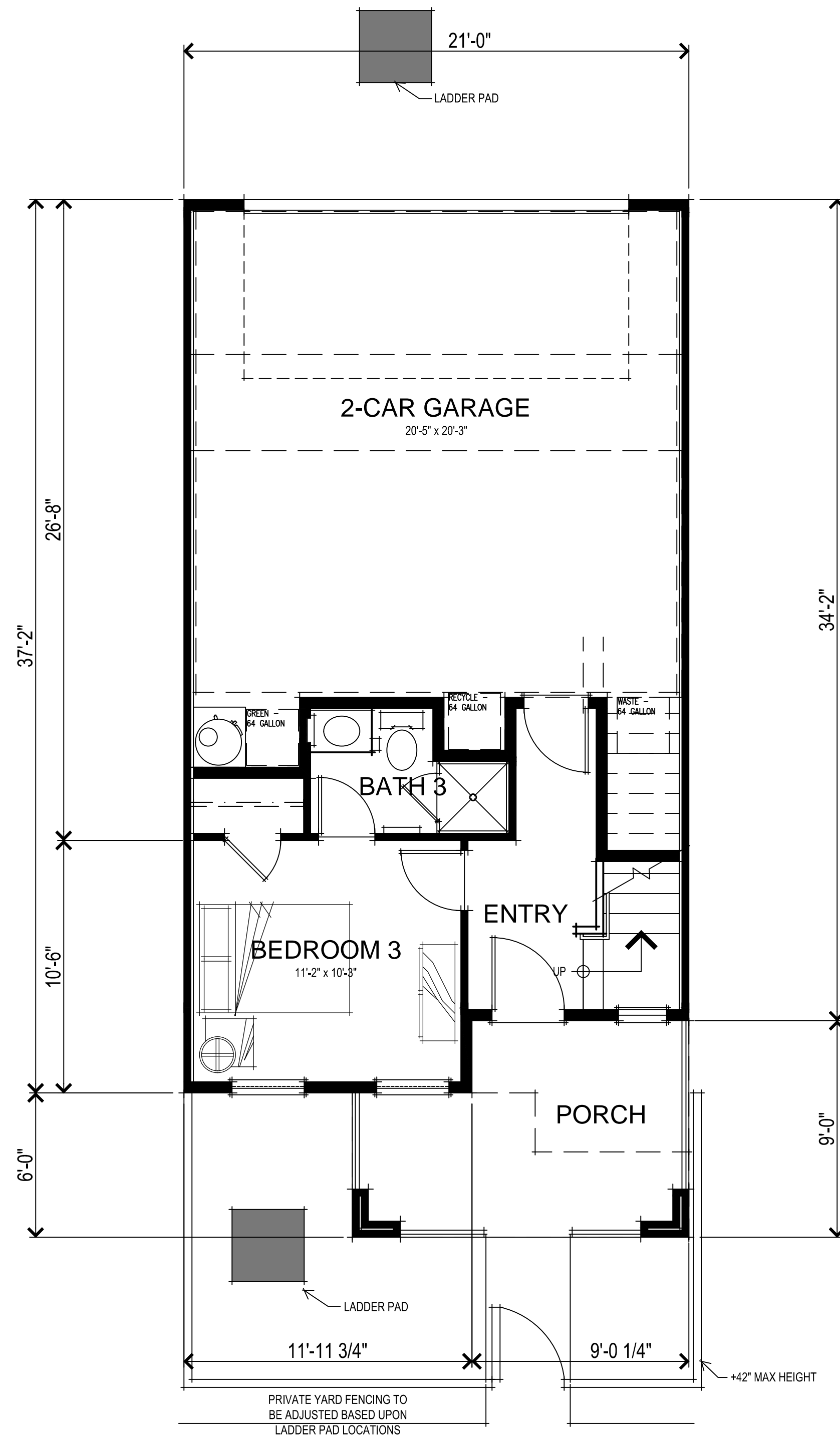


THIRD FLOOR PLAN

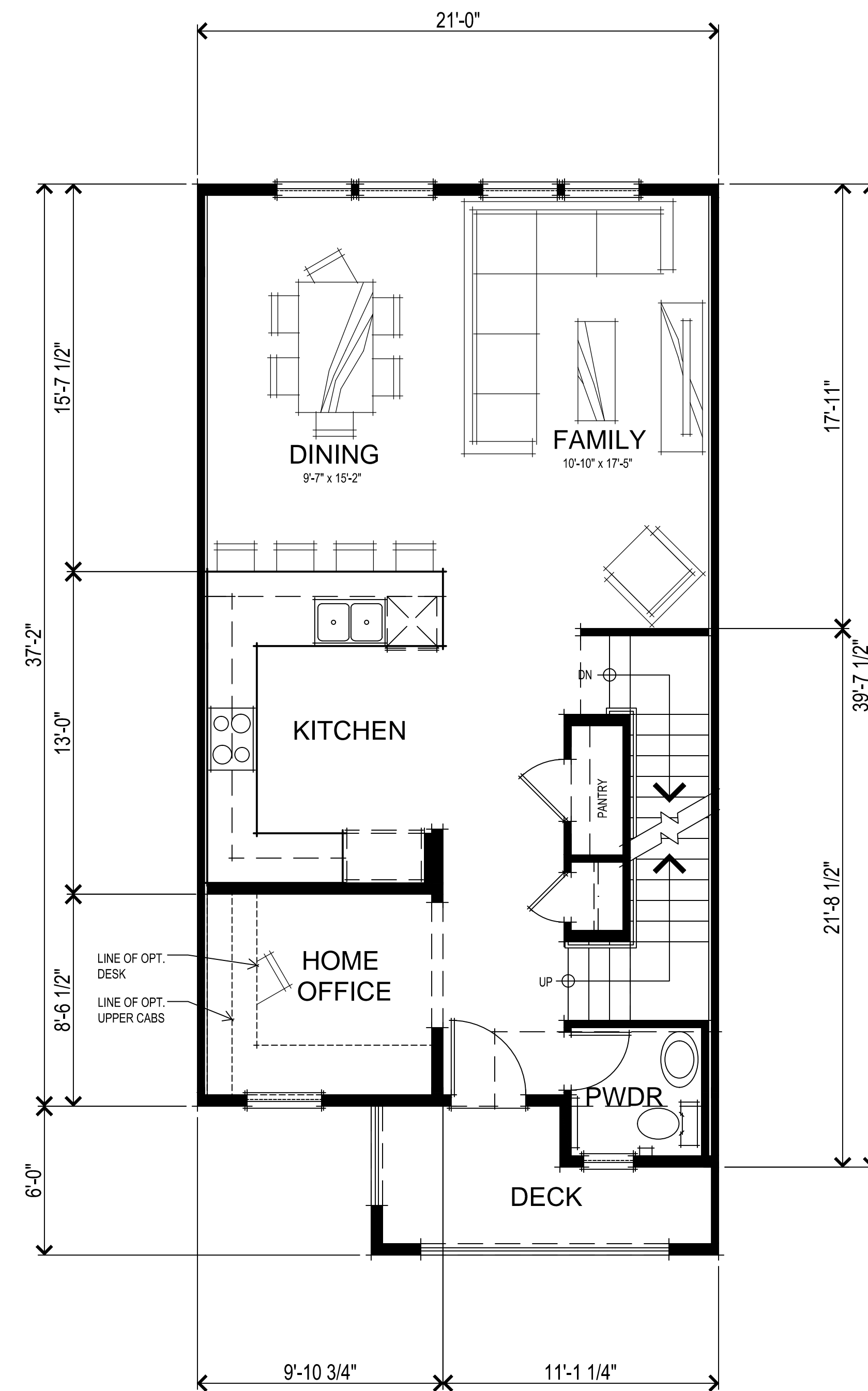
UNIT 5 SQUARE FOOTAGES	
FIRST FLOOR	278 SQ. FT.
SECOND FLOOR	799 SQ. FT.
THIRD FLOOR	767 SQ. FT.
TOTAL LIVING	1844 SQ. FT.
2-CAR GARAGE	478 SQ. FT.
PORCH	111 SQ. FT.
DECK	68 SQ. FT.



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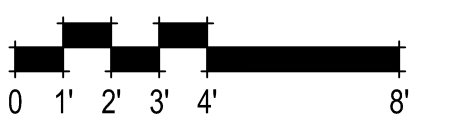


FIRST FLOOR PLAN



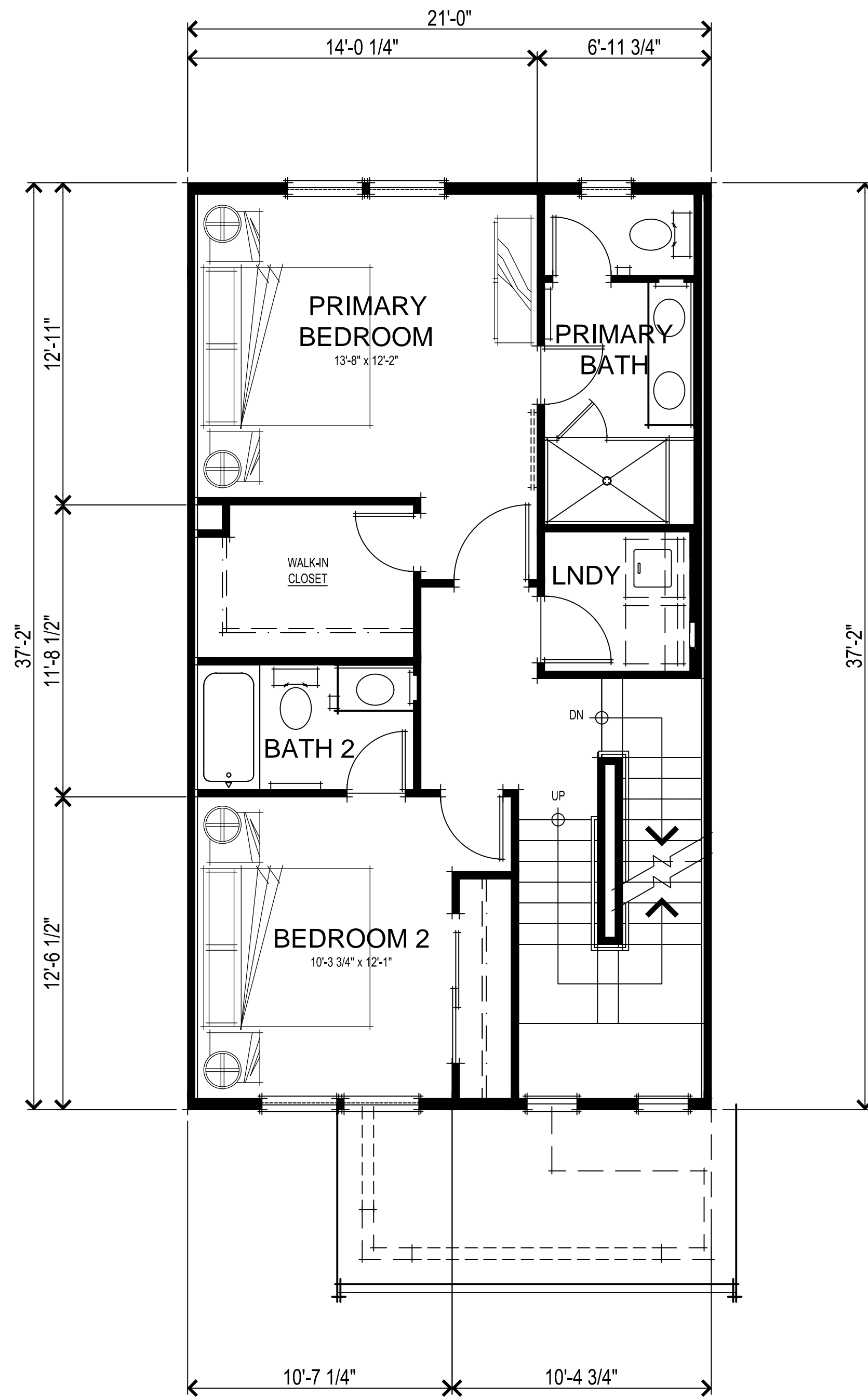
SECOND FLOOR PLAN

UNIT 6 SQUARE FOOTAGES	
FIRST FLOOR	278 SQ. FT.
SECOND FLOOR	799 SQ. FT.
THIRD FLOOR	783 SQ. FT.
FOURTH FLOOR	31 SQ. FT.
TOTAL LIVING	1891 SQ. FT.
2-CAR GARAGE	478 SQ. FT.
PORCH	111 SQ. FT.
DECK	68 SQ. FT.
ROOF DECK	315 SQ. FT.

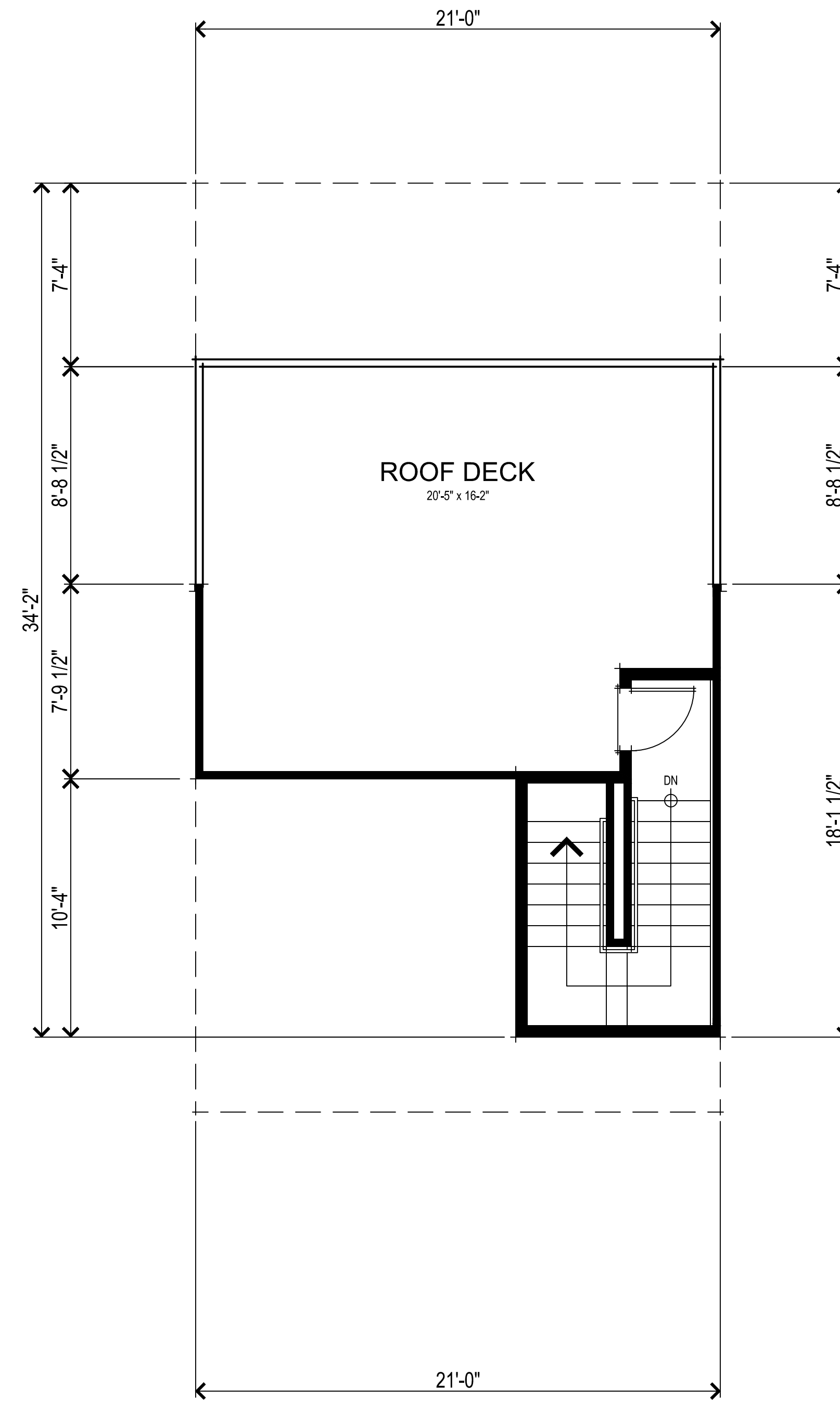


UNIT 6 FIRST & SECOND FLOOR PLANS
A12

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THIRD FLOOR PLAN



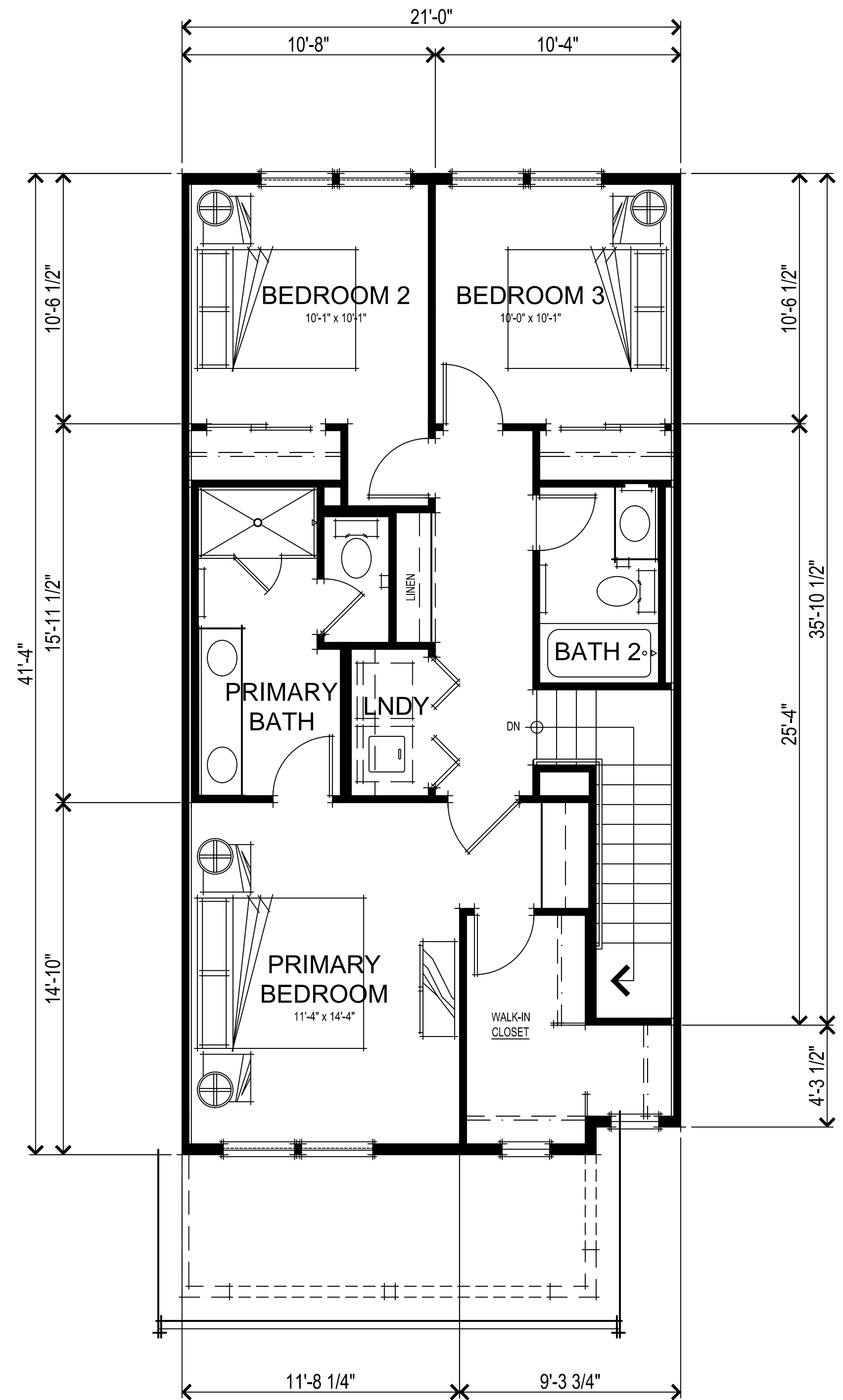
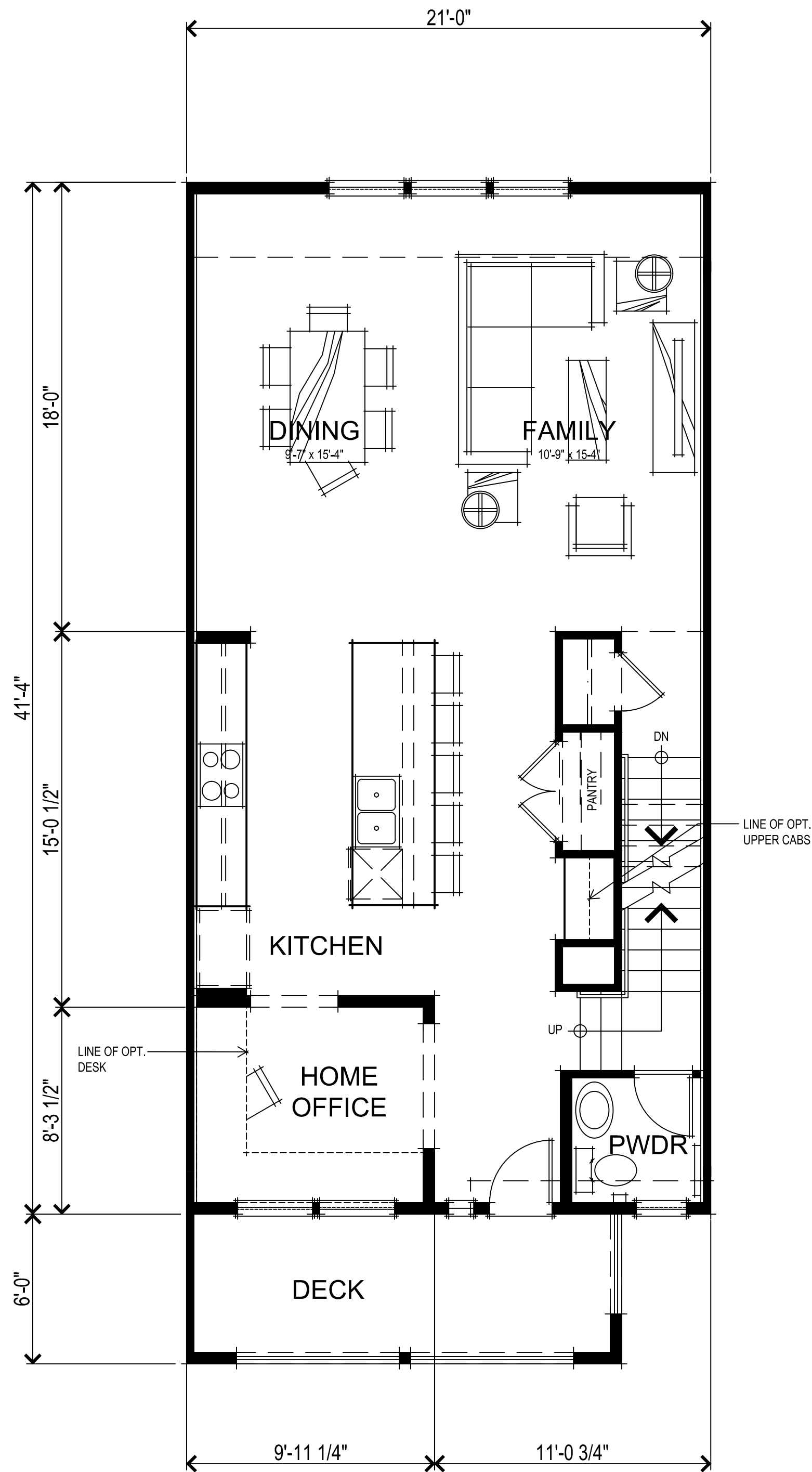
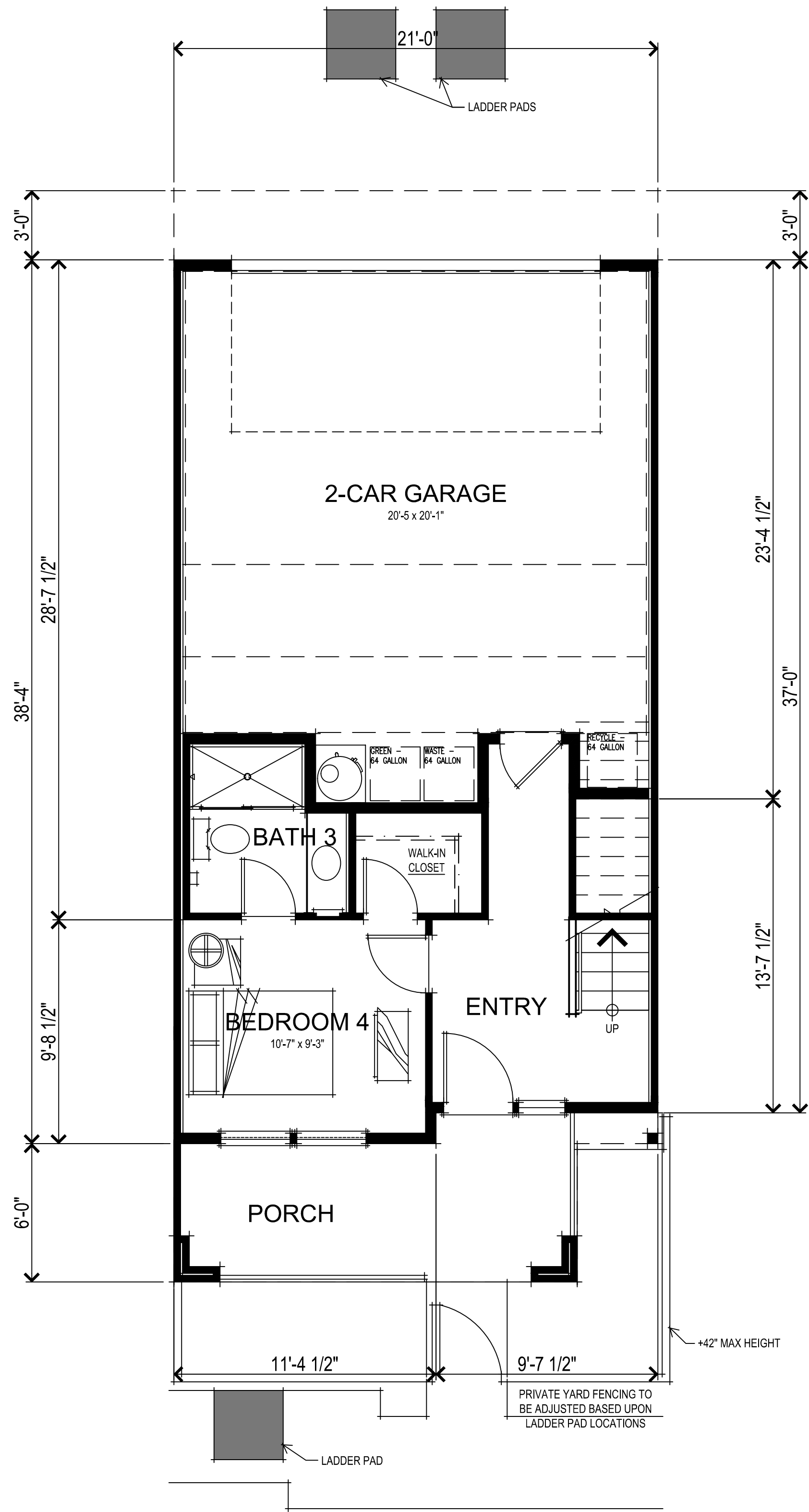
ROOF DECK PLAN

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UNIT 6 THIRD FLOOR & ROOF DECK PLANS

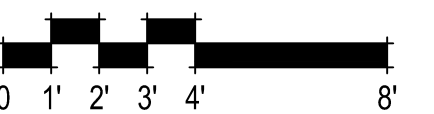
A13



SECOND FLOOR PLAN

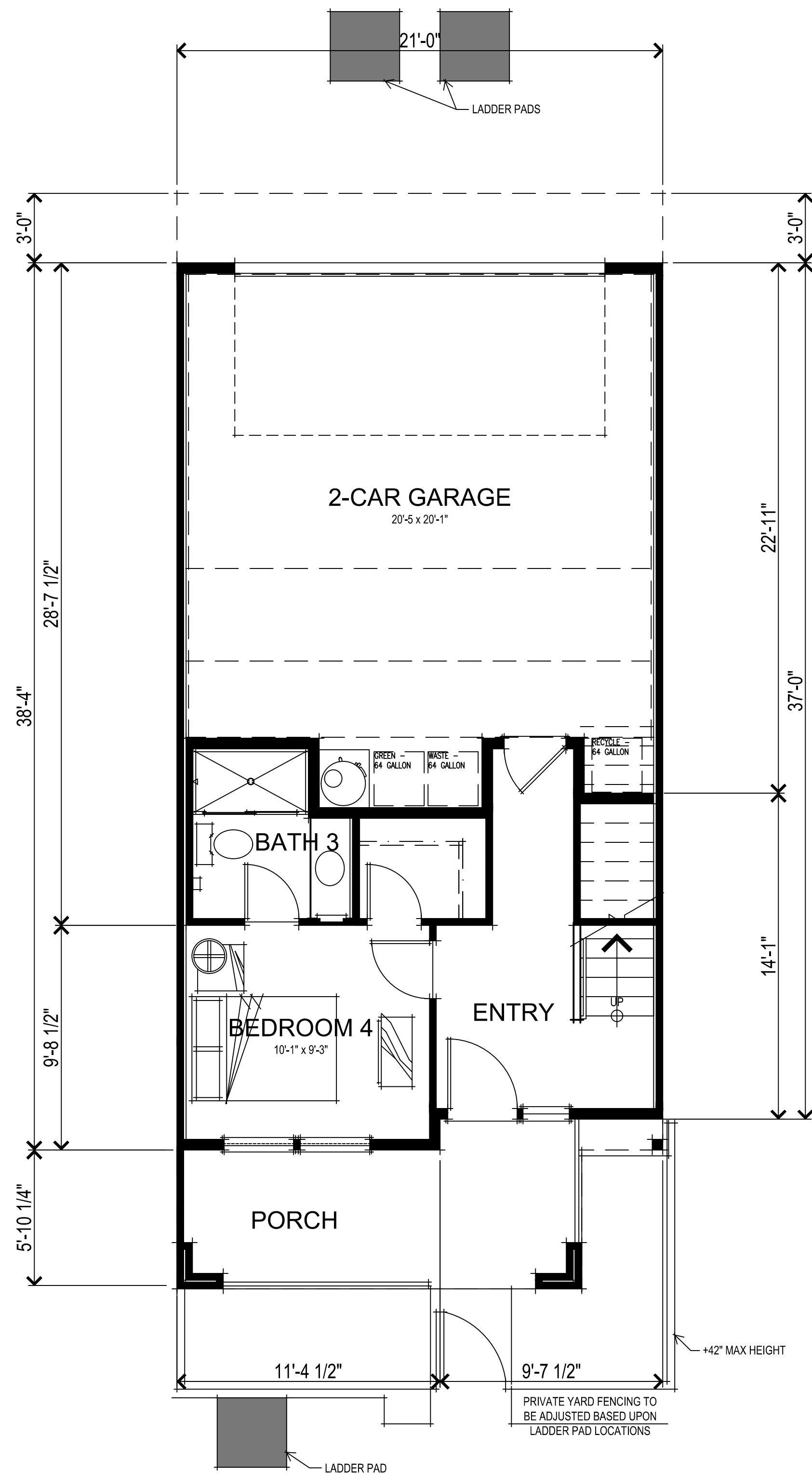
UNIT 7 SQUARE FOOTAGES	
FIRST FLOOR	333 SQ. FT.
SECOND FLOOR	871 SQ. FT.
THIRD FLOOR	834 SQ. FT.
TOTAL LIVING	2038 SQ. FT.
2-CAR GARAGE	462 SQ. FT.
PORCH	119 SQ. FT.
DECK	105 SQ. FT.

THIRD FLOOR PLAN

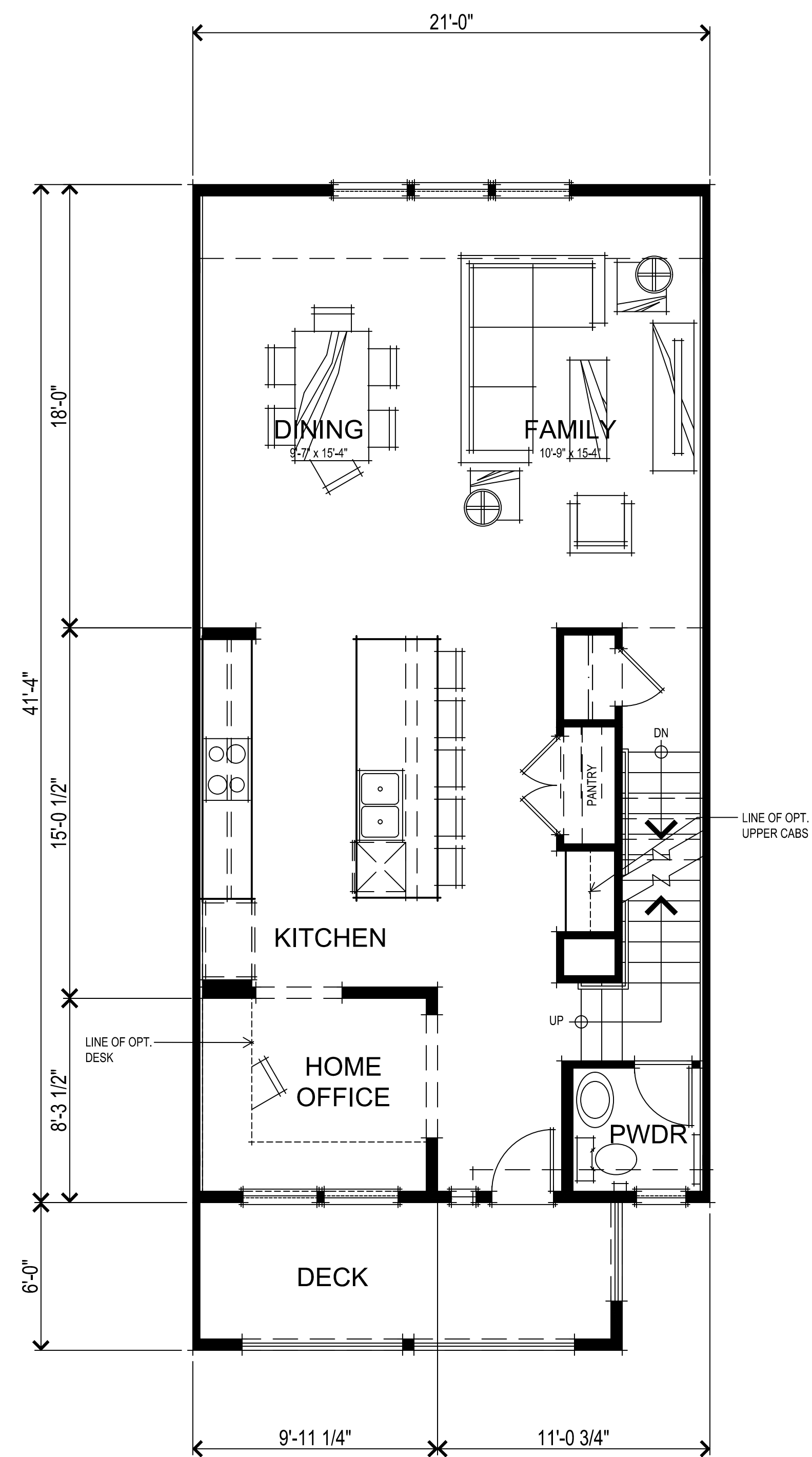


UNIT 7 FLOOR PLANS A14

381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

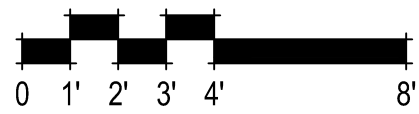


FIRST FLOOR PLAN



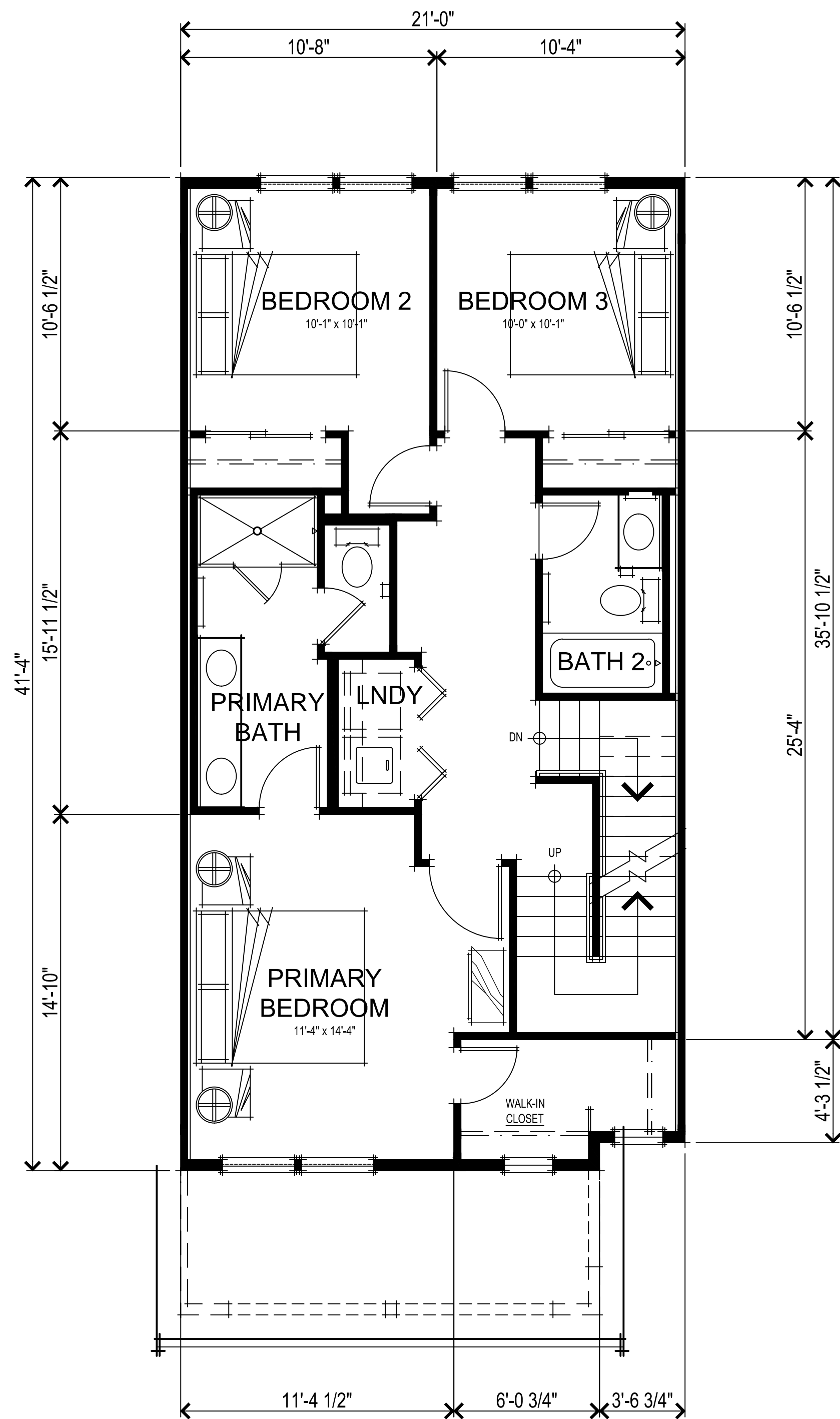
SECOND FLOOR PLAN

UNIT 8 SQUARE FOOTAGES	
FIRST FLOOR	333 SQ. FT.
SECOND FLOOR	871 SQ. FT.
THIRD FLOOR	867 SQ. FT.
FOURTH FLOOR	27 SQ. FT.
TOTAL LIVING	2098 SQ. FT.
2-CAR GARAGE	462 SQ. FT.
PORCH	119 SQ. FT.
DECK	105 SQ. FT.
ROOF DECK	273 SQ. FT.



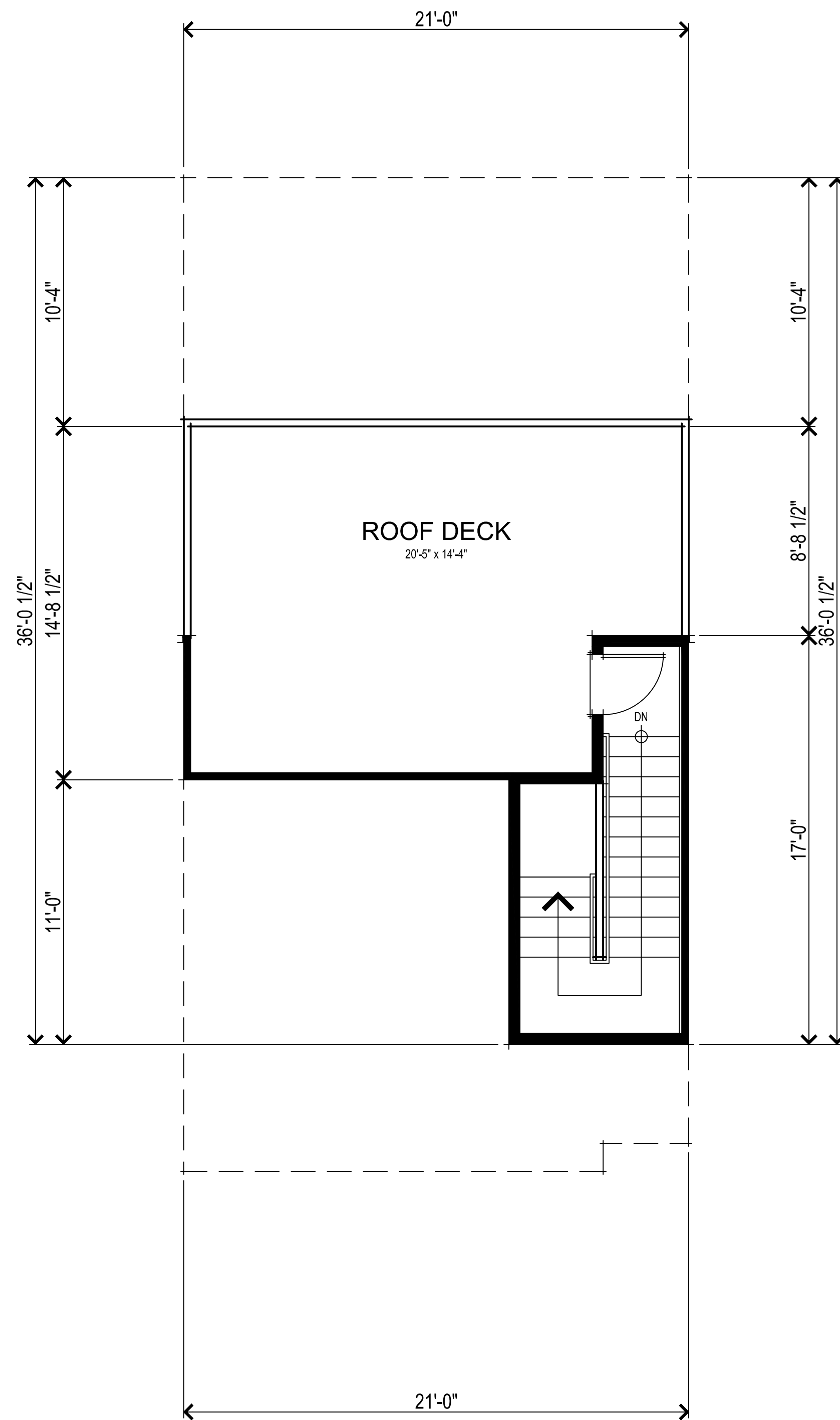
UNIT 8 FIRST & SECOND FLOOR PLANS
A15

381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

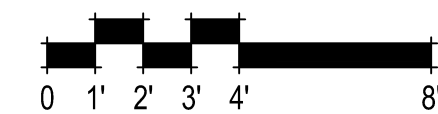


THIRD FLOOR PLAN

NET SQUARE FOOTAGES	
FIRST FLOOR	333 SQ. FT.
SECOND FLOOR	871 SQ. FT.
THIRD FLOOR	867 SQ. FT.
FOURTH FLOOR	27 SQ. FT.
TOTAL LIVING	2098 SQ. FT.
2-CAR GARAGE	462 SQ. FT.
PORCH	119 SQ. FT.
DECK	105 SQ. FT.
ROOF DECK	273 SQ. FT.

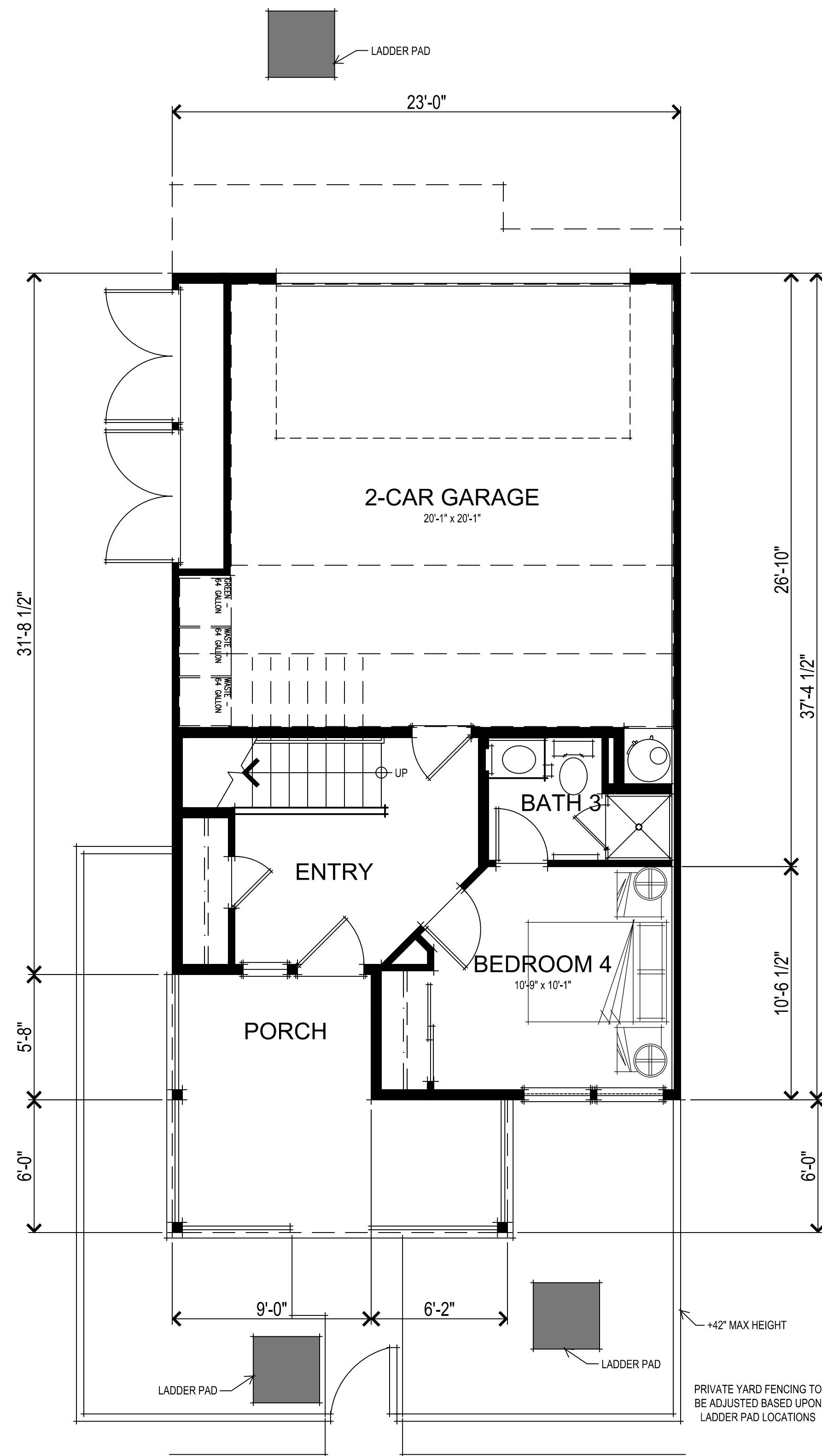


ROOF DECK PLAN

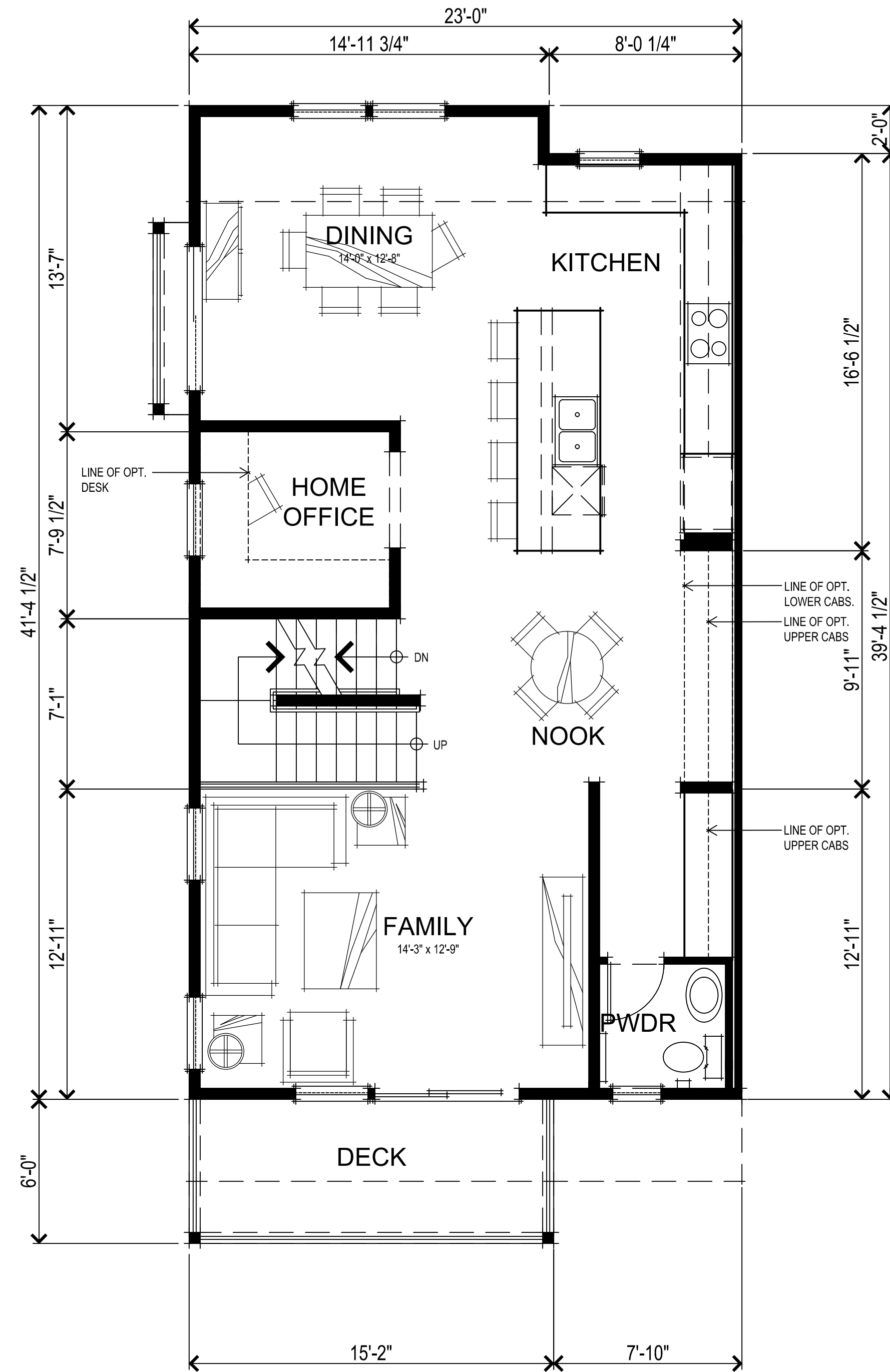


UNIT 8 THIRD FLOOR & ROOF DECK PLANS

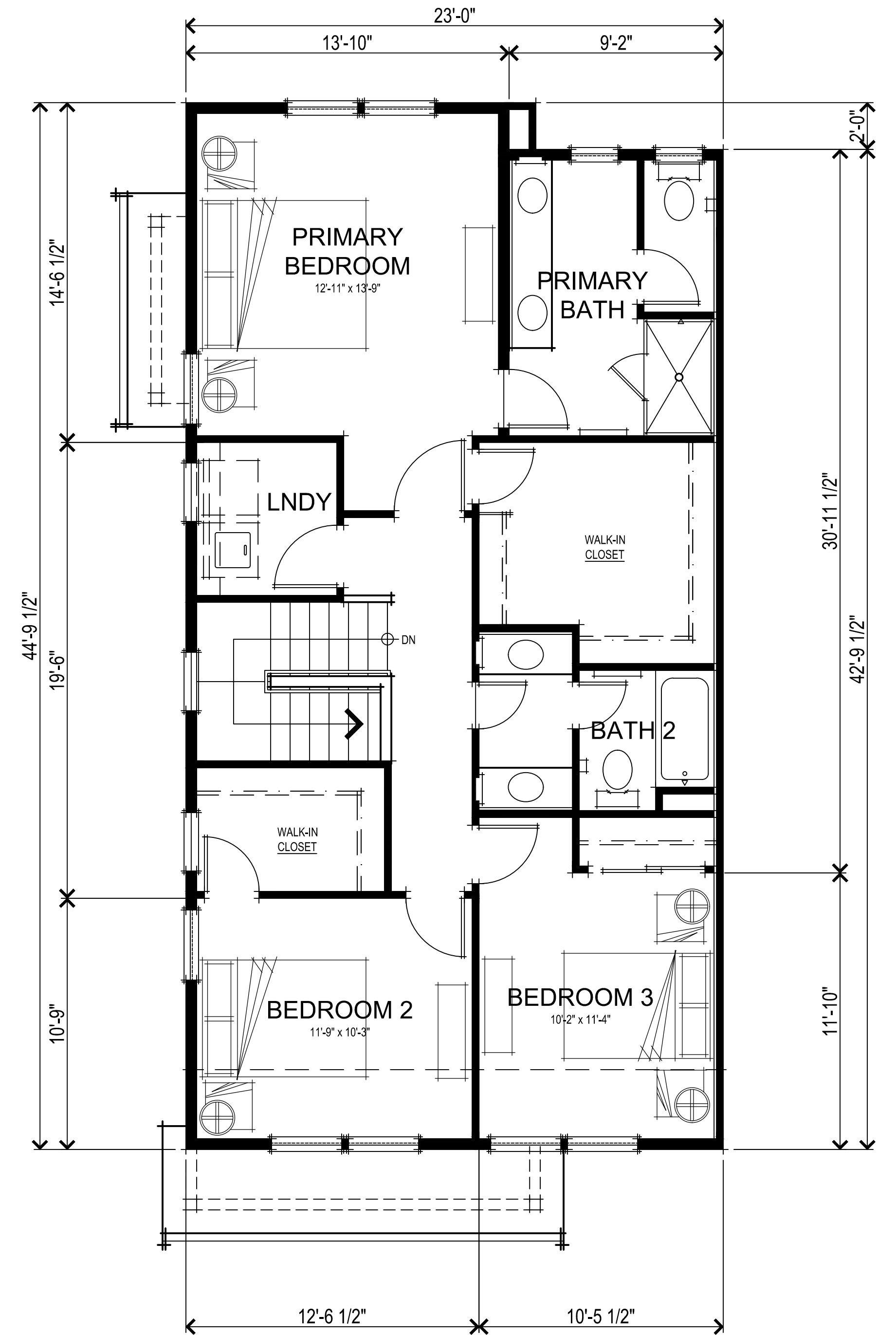
A16



FIRST FLOOR PLAN

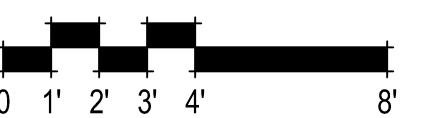


SECOND FLOOR PLAN

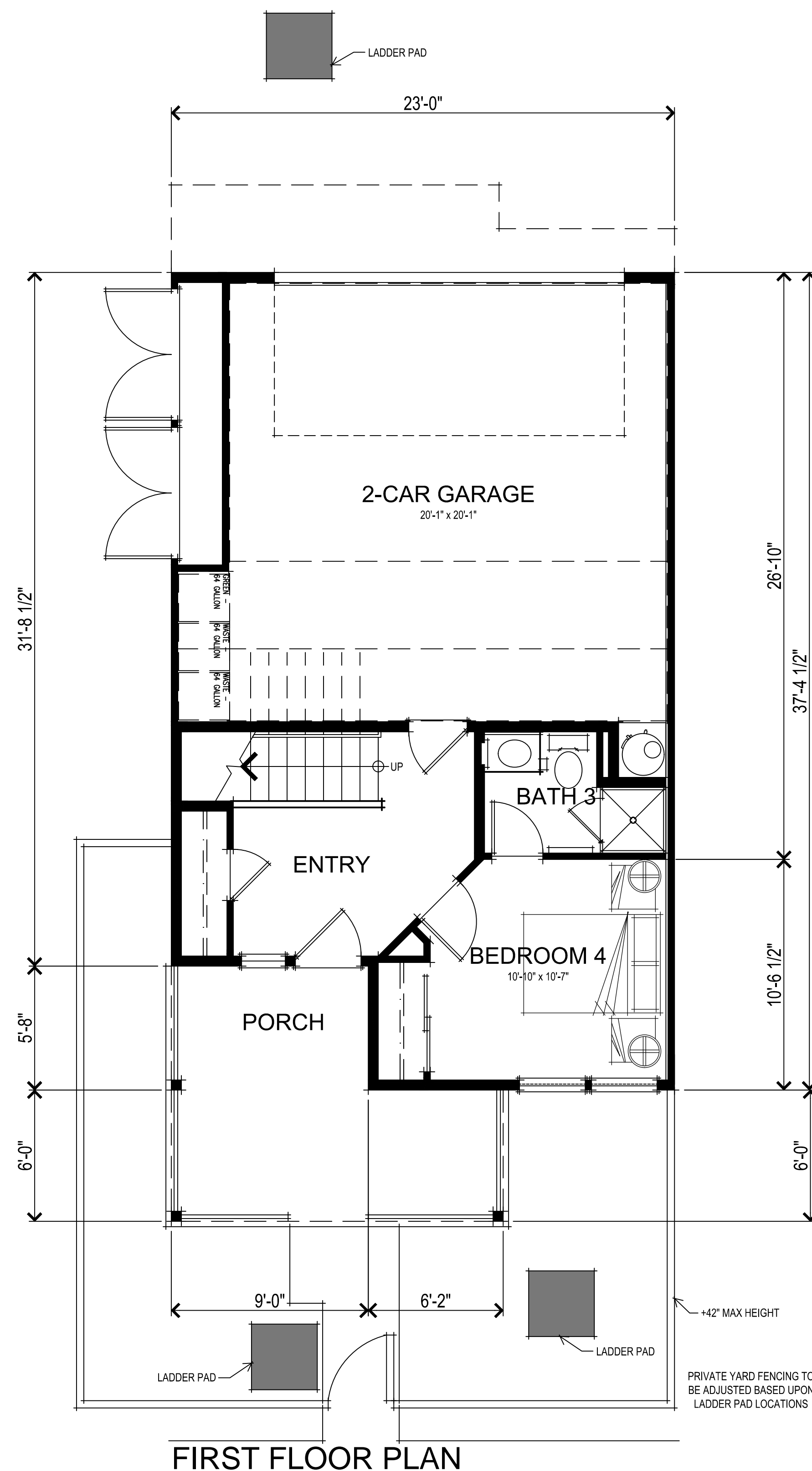


THIRD FLOOR PLAN

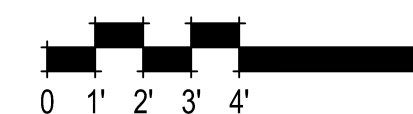
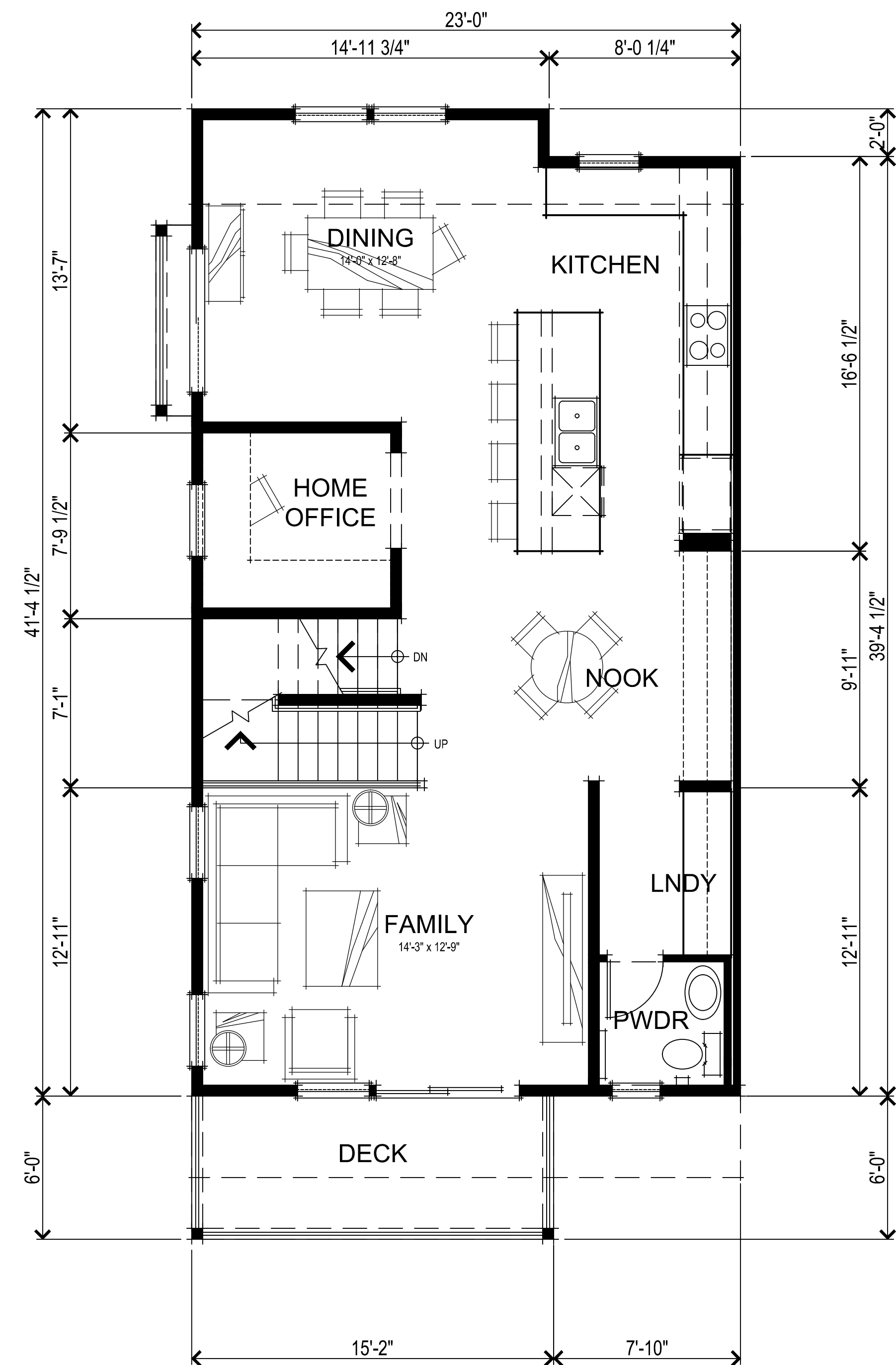
UNIT 9 SQUARE FOOTAGES	
FIRST FLOOR	330 SQ. FT.
SECOND FLOOR	937 SQ. FT.
THIRD FLOOR	983 SQ. FT.
TOTAL LIVING	2250 SQ. FT.
2-CAR GARAGE	449 SQ. FT.
PORCH	142 SQ. FT.
DECK	91 SQ. FT.



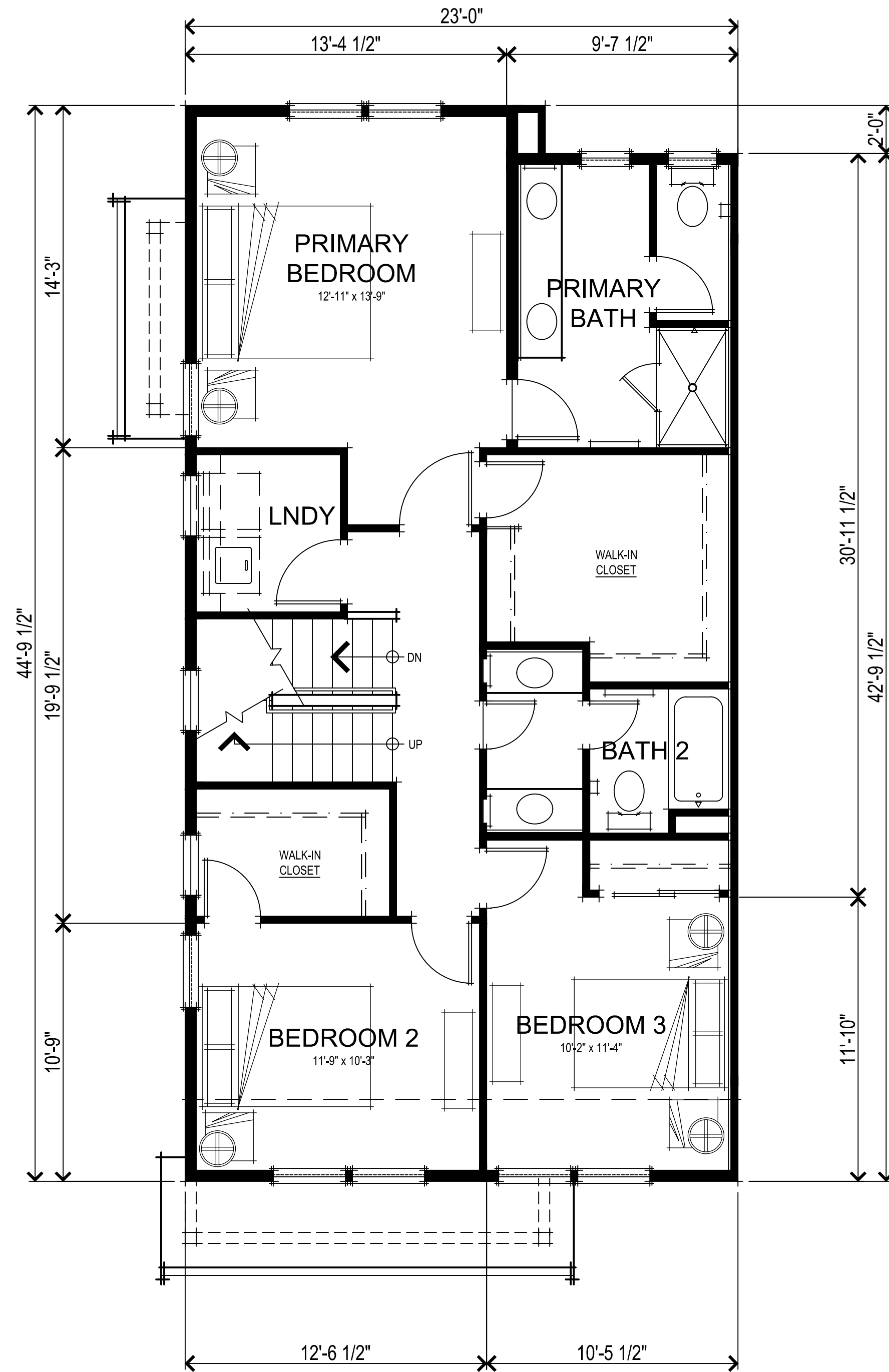
UNIT 9 FLOOR PLANS
A17



UNIT 10 SQUARE FOOTAGES	
FIRST FLOOR	330 SQ. FT.
SECOND FLOOR	937 SQ. FT.
THIRD FLOOR	1014 SQ. FT.
FOURTH FLOOR	73 SQ. FT.
TOTAL LIVING	2281 SQ. FT.
2-CAR GARAGE	449 SQ. FT.
PORCH	142 SQ. FT.
DECK	91 SQ. FT.
ROOF DECK	176 SQ. FT.

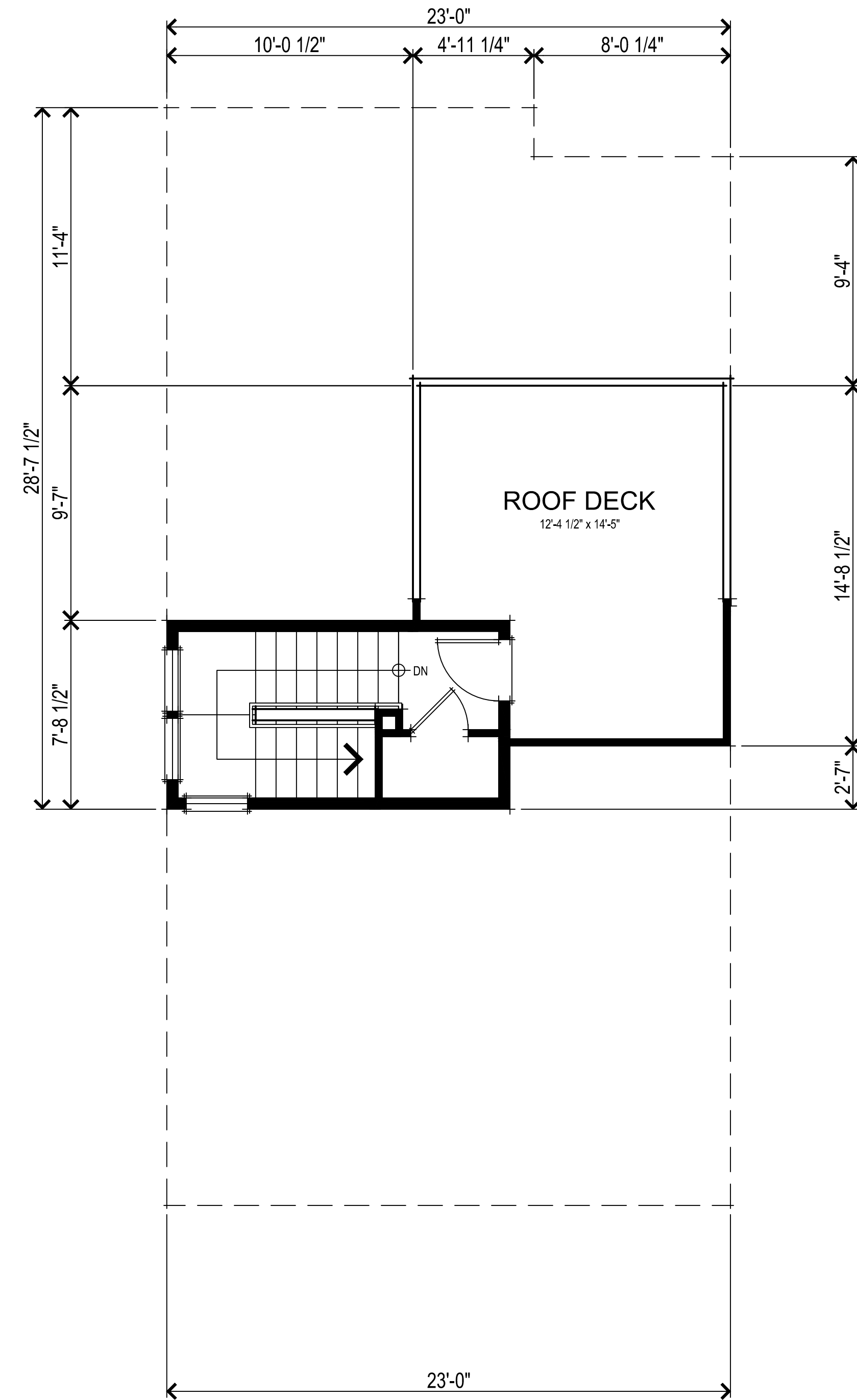


381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

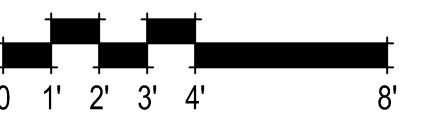


THIRD FLOOR PLAN

NET SQUARE FOOTAGES	
FIRST FLOOR	330 SQ. FT.
SECOND FLOOR	937 SQ. FT.
THIRD FLOOR	1014 SQ. FT.
FOURTH FLOOR	73 SQ. FT.
TOTAL LIVING	2281 SQ. FT.
2-CAR GARAGE	449 SQ. FT.
PORCH	142 SQ. FT.
DECK	91 SQ. FT.
ROOF DECK	161 SQ. FT.

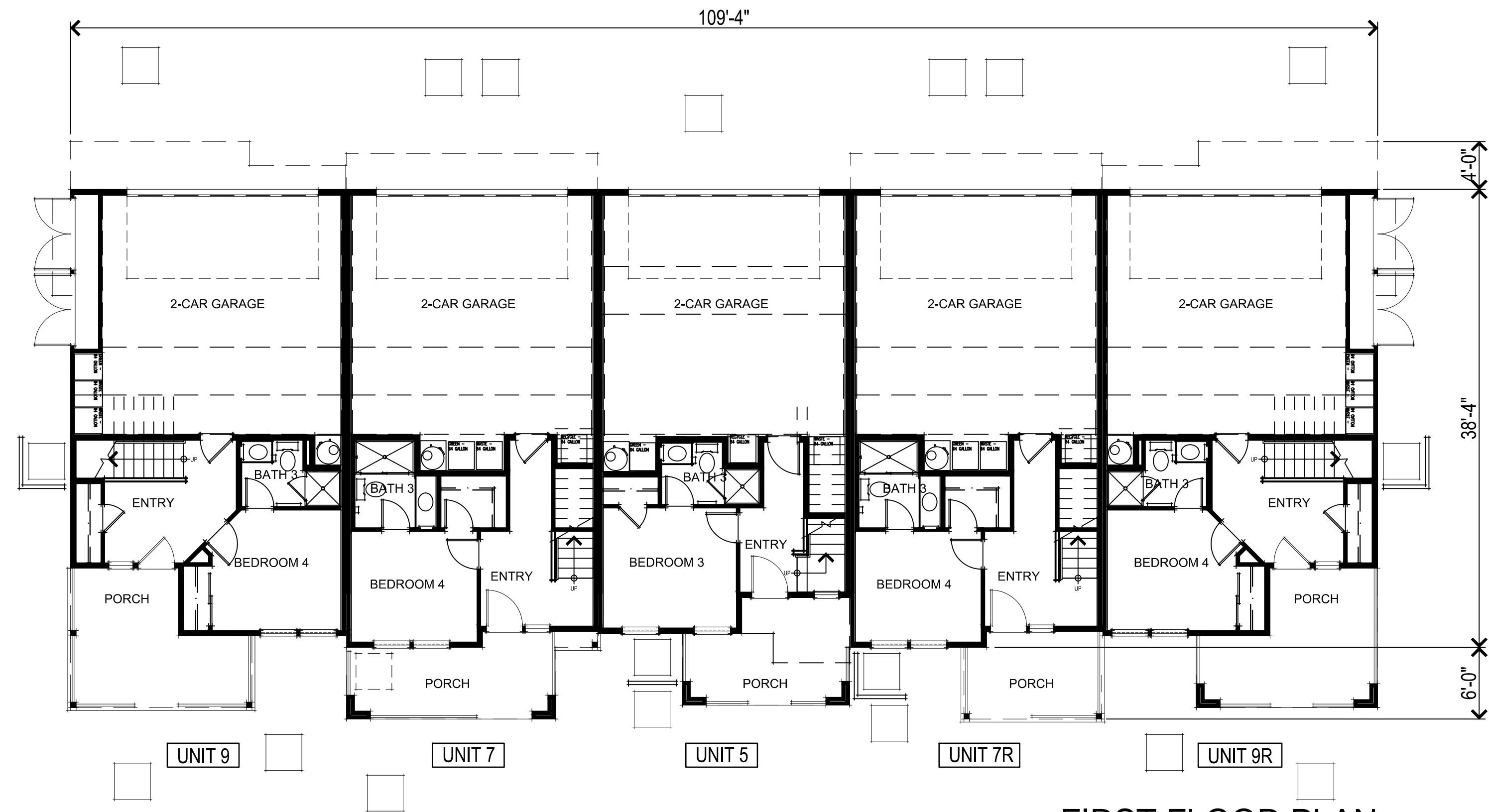


ROOF DECK PLAN



UNIT 10 THIRD FLOOR & ROOF DECK PLANS
A19

381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

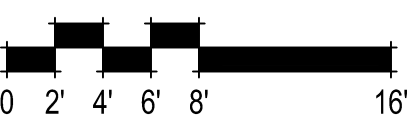
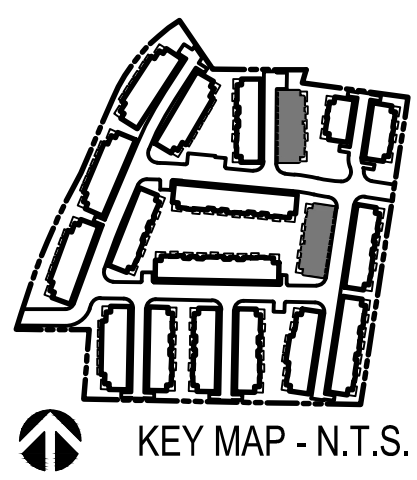


FIRST FLOOR PLAN

REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS

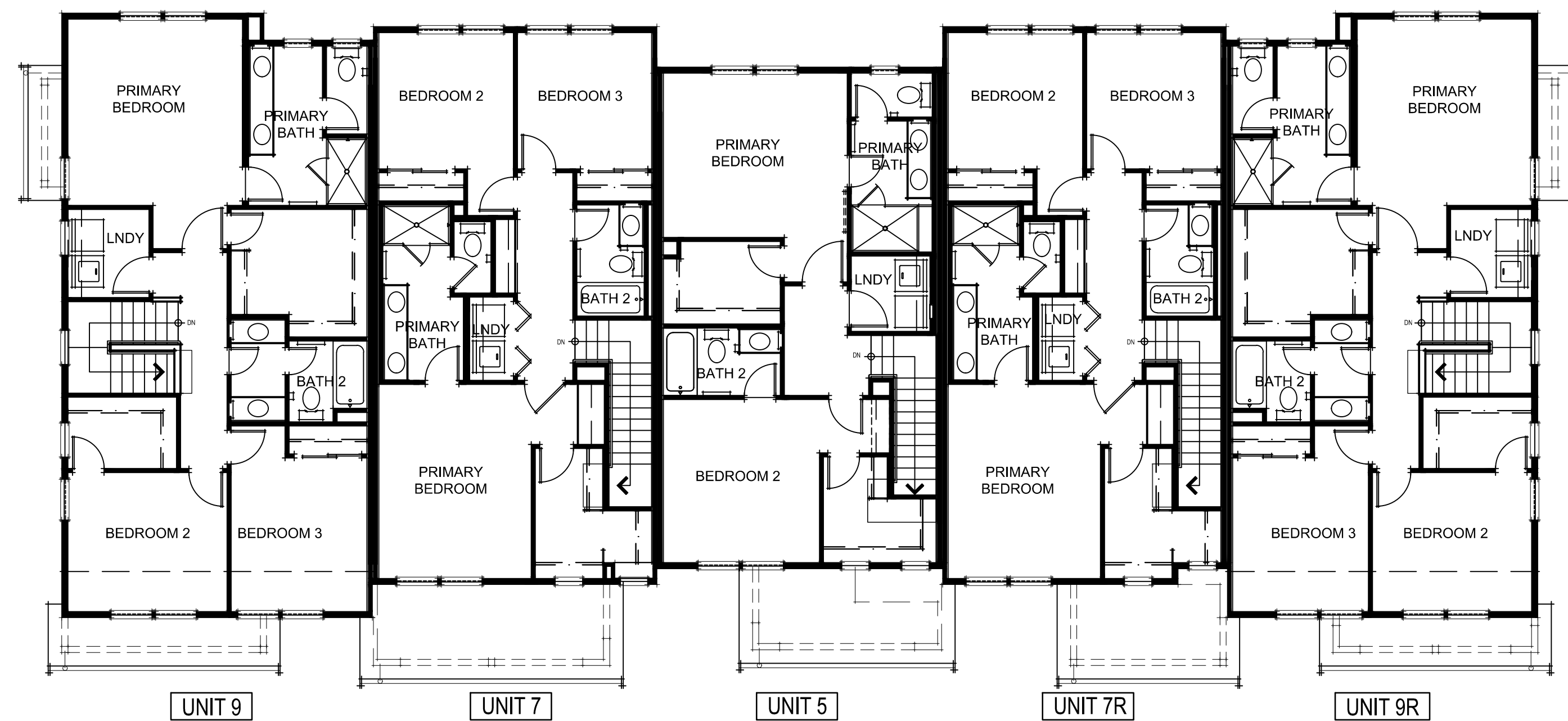


SECOND FLOOR PLAN



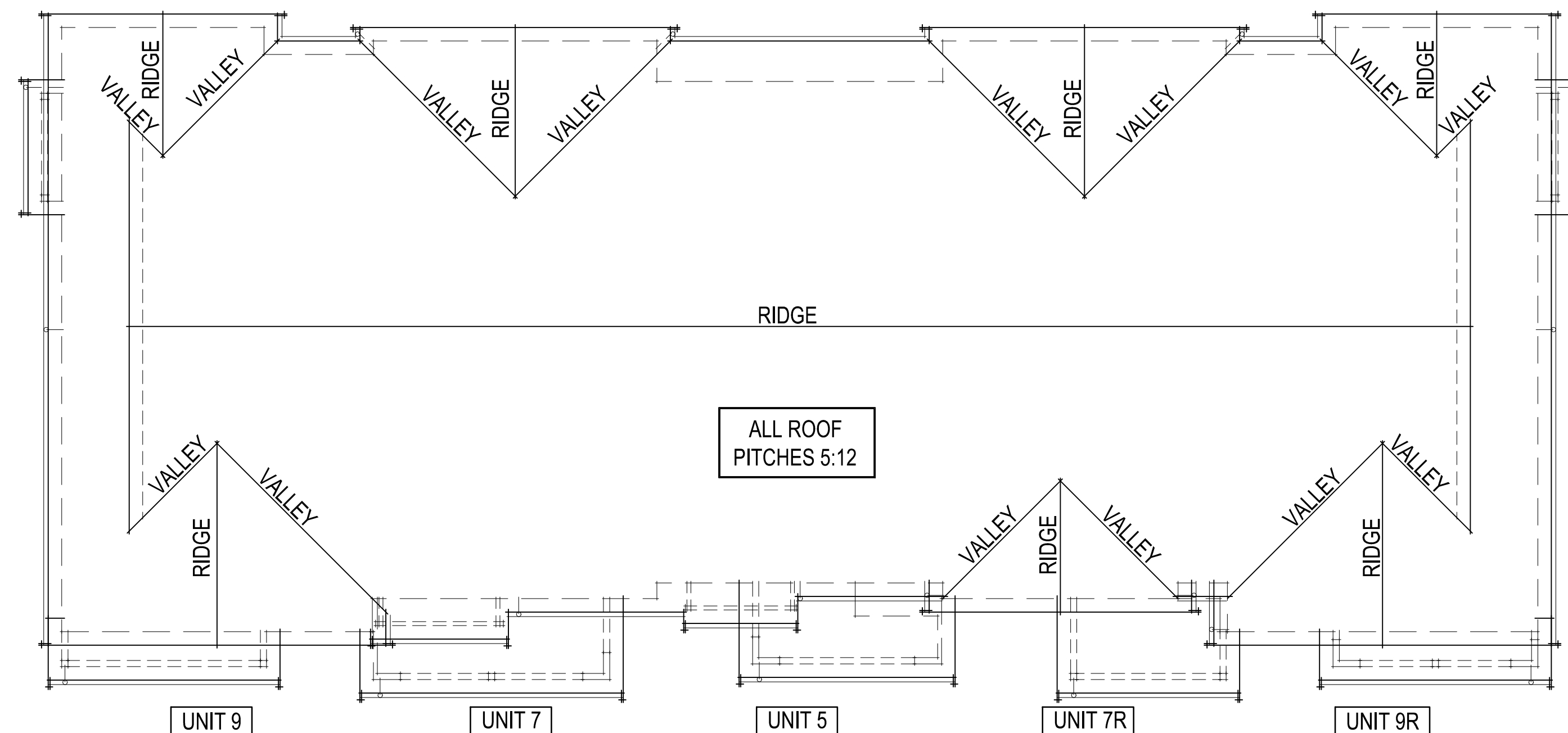
381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

5 UNIT BUILDING FLOOR PLANS
LOCATIONS: BUILDINGS F & R A20

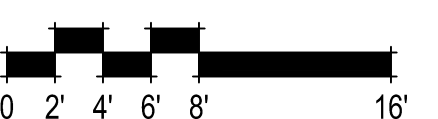
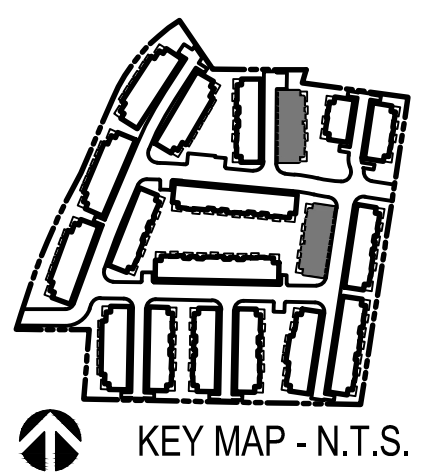


THIRD FLOOR PLAN

REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



ROOF PLAN

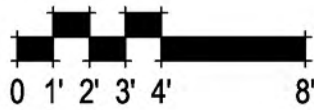




ARTIST'S CONCEPTION. PLEASE REFER TO PLANS FOR PROJECT SPECIFICATIONS.



FRONT ELEVATION



5 UNIT BUILDING FRONT ELEVATION
LOCATIONS: BUILDINGS F & R A22

381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021



UNIT 9

UNIT 7

UNIT 5

UNIT 7

UNIT 9R

FRONT ELEVATION



UNIT 9R

RIGHT ELEVATION



UNIT 9R

UNIT 7

UNIT 5

UNIT 7

UNIT 9

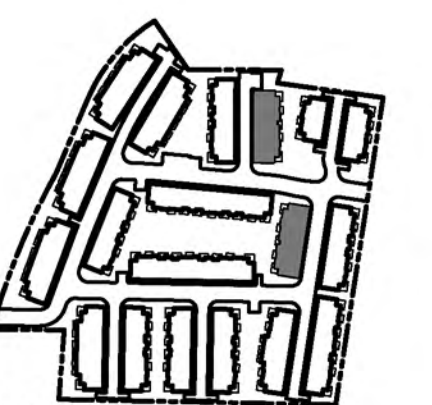
REAR ELEVATION



UNIT 9

LEFT ELEVATION

- MATERIALS LEGEND**
1. STUCCO
 2. BOARD AND BATT SIDING
 3. FIBER CEMENT HORIZONTAL SIDING
 4. COMPOSITION SHINGLE ROOF
 5. FIBER CEMENT TRIM
 6. HIGH-DENSITY FOAM TRIM
 7. BRACKET
 8. CORBELS
 9. CORBEL AND KICKER
 10. PAINTED METAL RAILING
 11. METAL AWNING
 12. GARAGE DOOR



KEY MAP - N.T.S.



381.054
Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

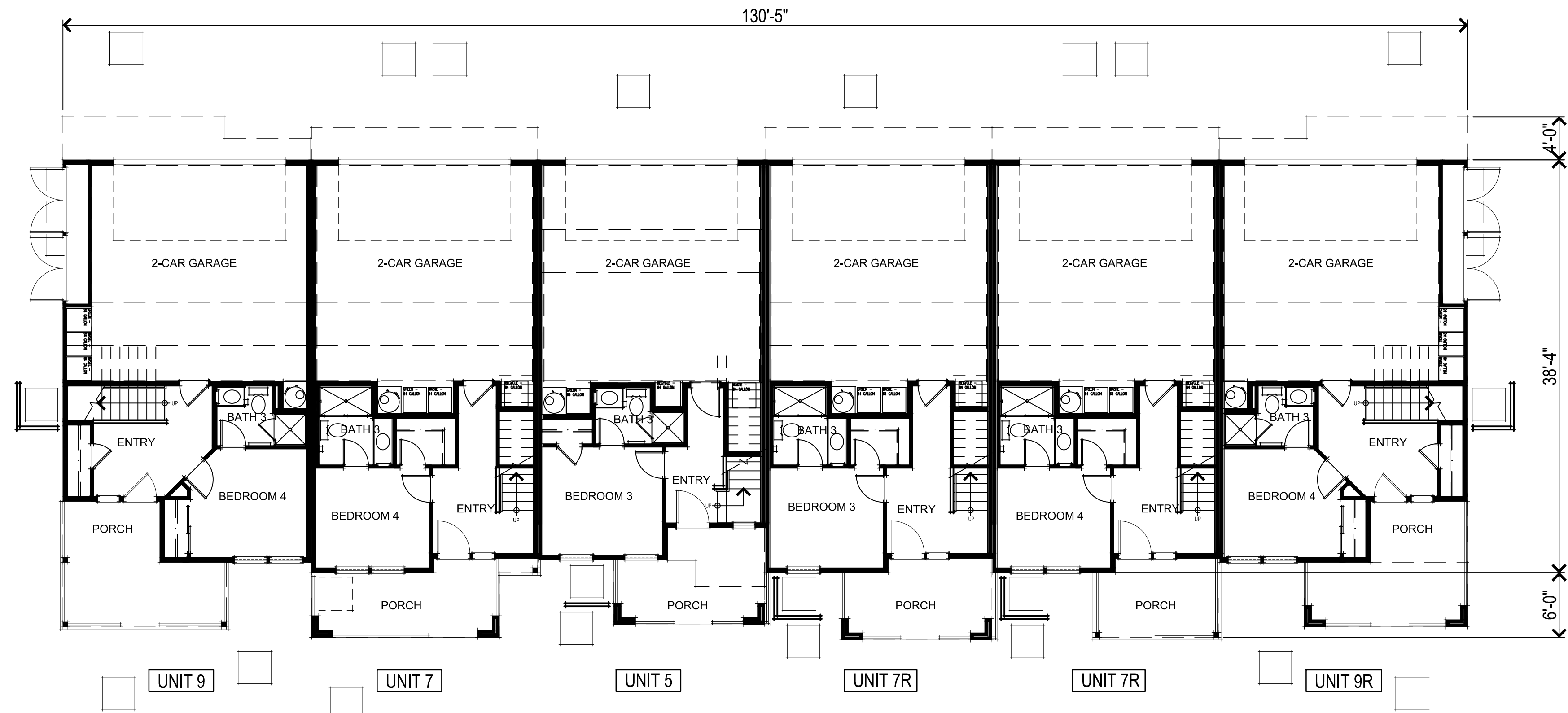
SUMMERHILL HOMES
COMMUNITIES OF DISTINCTION

3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
925.244.7513

5 UNIT BUILDING EXTERIOR ELEVATIONS
LOCATIONS: BUILDINGS F & R A23

SDG Architects, Inc.
3361 Walnut Blvd. Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com



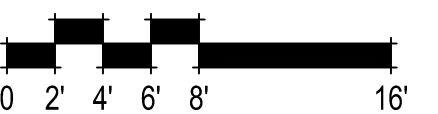
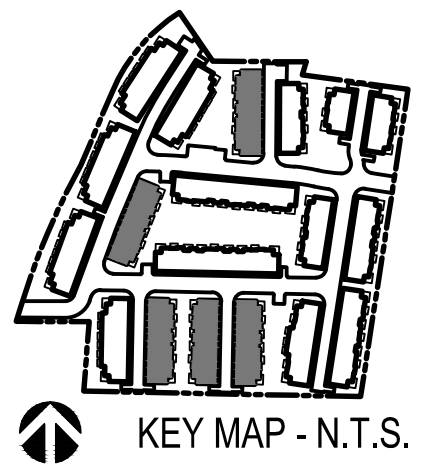


FIRST FLOOR PLAN

REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



SECOND FLOOR PLAN



381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

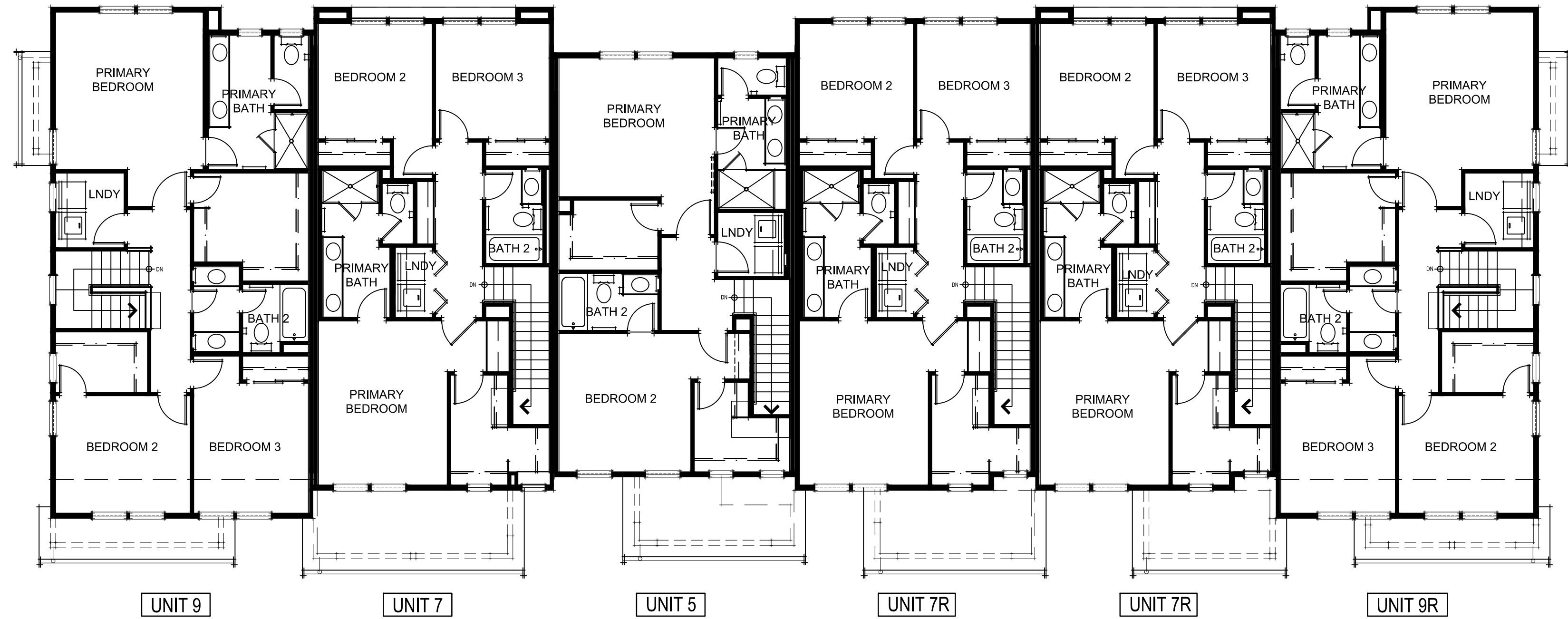
SUMMERHILL HOMESSM
COMMUNITIES OF DISTINCTION

3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
925.244.7513

6 UNIT BUILDING FLOOR PLANS
LOCATIONS: BUILDINGS E, L, M, N, & P A24

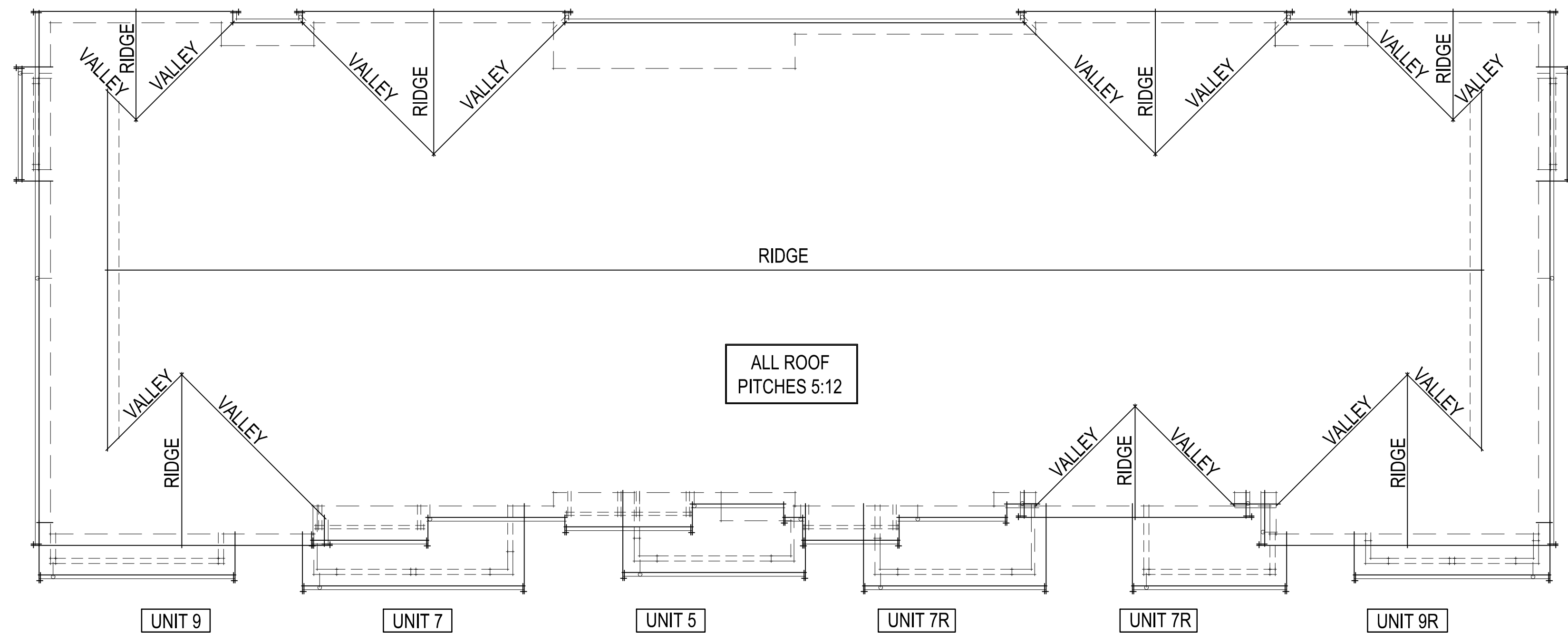
SDG Architects, Inc.
3361 Walnut Blvd. Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com



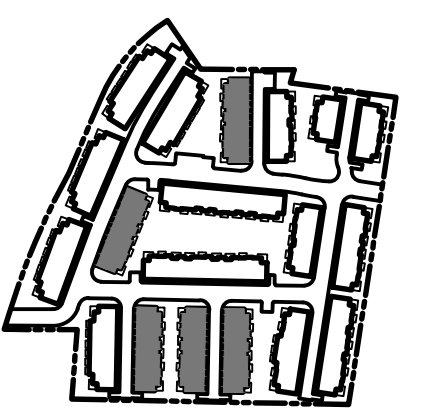


THIRD FLOOR PLAN

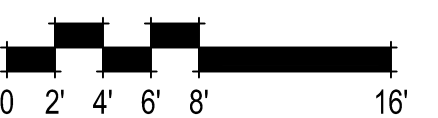
REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



ROOF PLAN

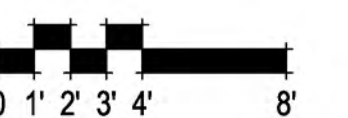


KEY MAP - N.T.S.





FRONT ELEVATION



6 UNIT BUILDING FRONT ELEVATION
LOCATIONS: BUILDINGS E, L, M, N, & P A26

381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021



UNIT 9

UNIT 7

UNIT 5

UNIT 7

UNIT 7

UNIT 9R

FRONT ELEVATION



UNIT 9R

RIGHT ELEVATION



UNIT 9R

UNIT 7

UNIT 7

UNIT 5

UNIT 7

UNIT 9

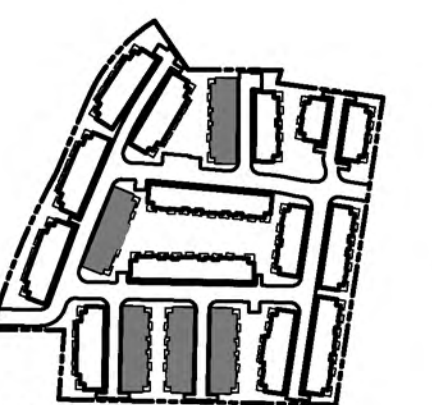
REAR ELEVATION



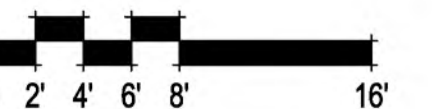
UNIT 9

LEFT ELEVATION

- MATERIALS LEGEND**
1. STUCCO
 2. BOARD AND BATT SIDING
 3. FIBER CEMENT HORIZONTAL SIDING
 4. COMPOSITION SHINGLE ROOF
 5. FIBER CEMENT TRIM
 6. HIGH-DENSITY FOAM TRIM
 7. BRACKET
 8. CORBELS
 9. CORBEL AND KICKER
 10. PAINTED METAL RAILING
 11. METAL AWNING
 12. GARAGE DOOR



KEY MAP - N.T.S.



381.054
Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

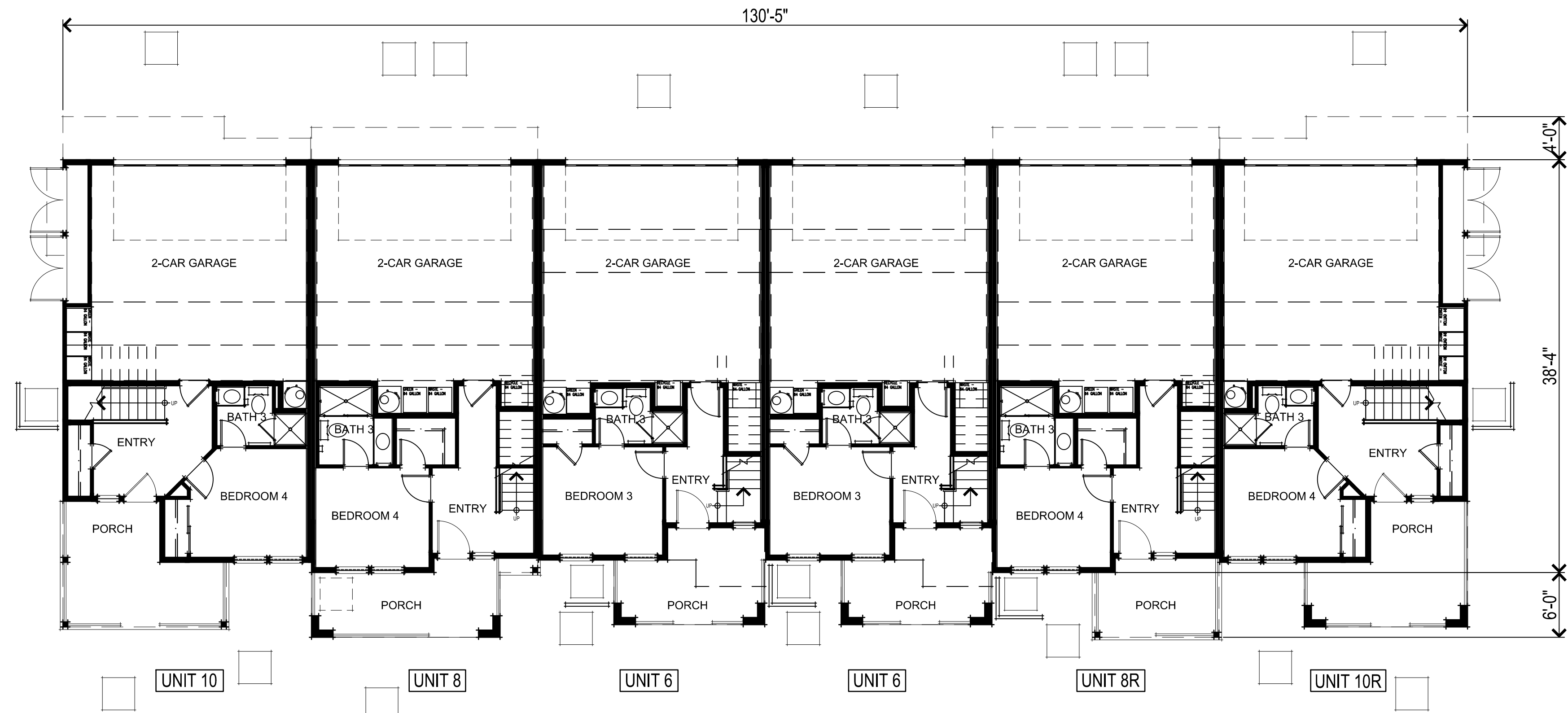
SUMMERHILL HOMES
COMMUNITIES OF DISTINCTION

3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
925.244.7513

6 UNIT BUILDING EXTERIOR ELEVATIONS
LOCATIONS: BUILDINGS E, L, M, N, & P A27

SDG Architects, Inc.
3361 Walnut Blvd. Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com



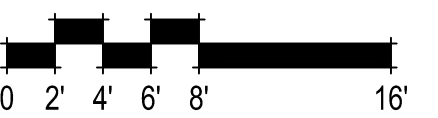
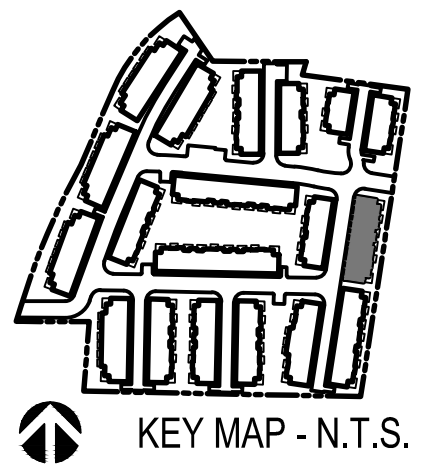


FIRST FLOOR PLAN

REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



SECOND FLOOR PLAN



381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

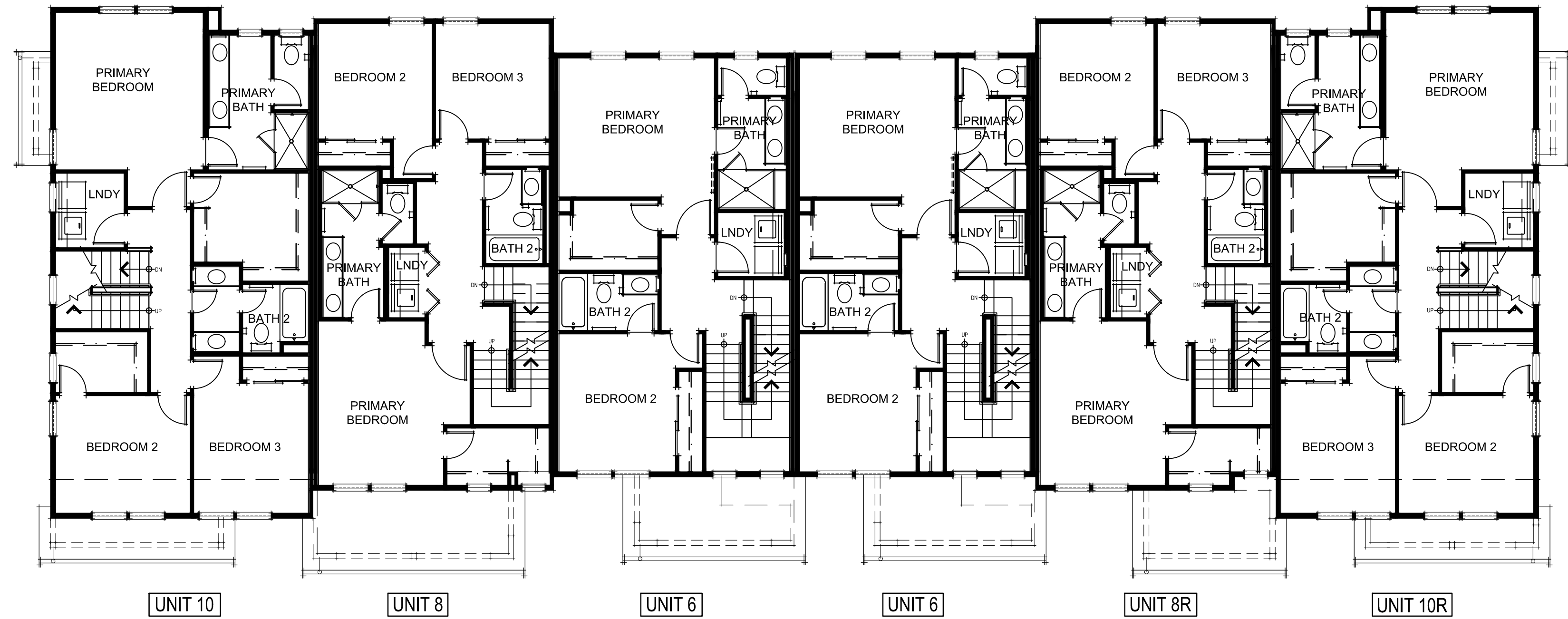
SUMMERHILL HOMES™
COMMUNITIES OF DISTINCTION

3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
925.244.7513

6 ALT UNIT BUILDING FLOOR PLANS
LOCATION: BUILDING I A28

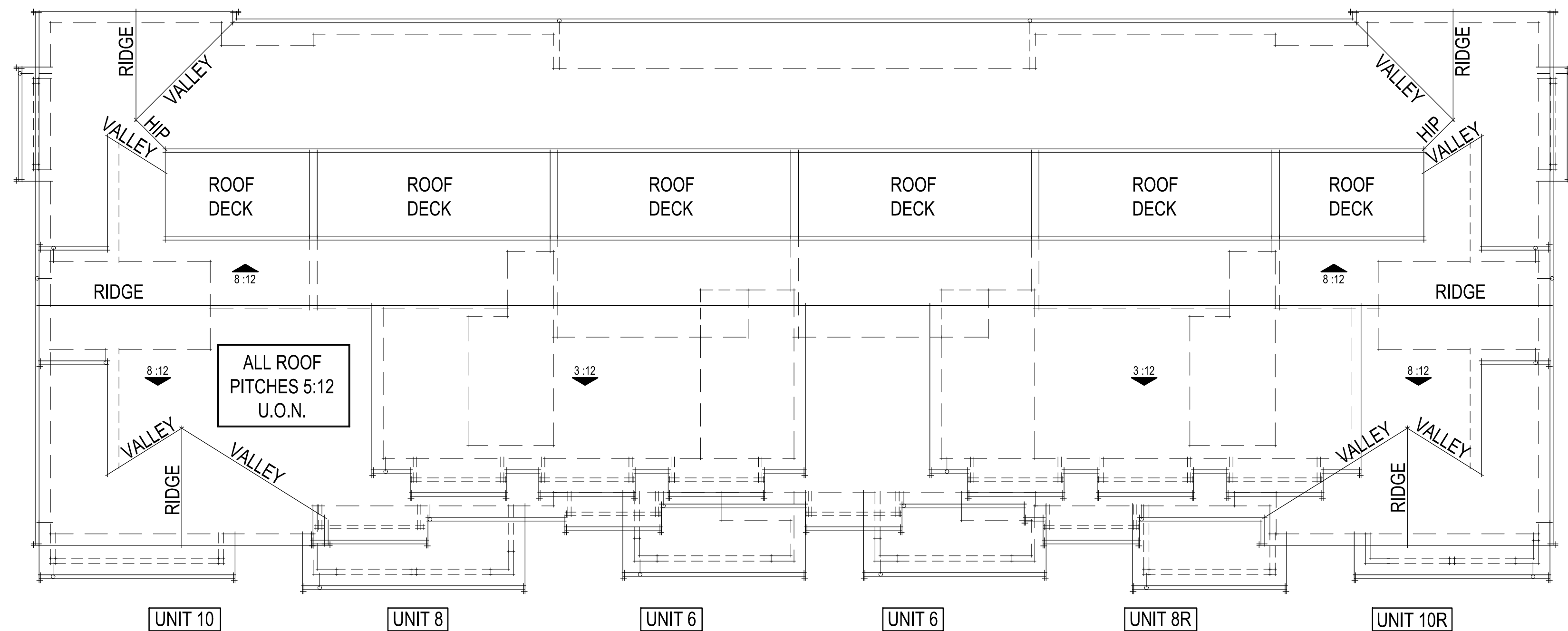
SDG Architects, Inc.
3361 Walnut Blvd. Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com



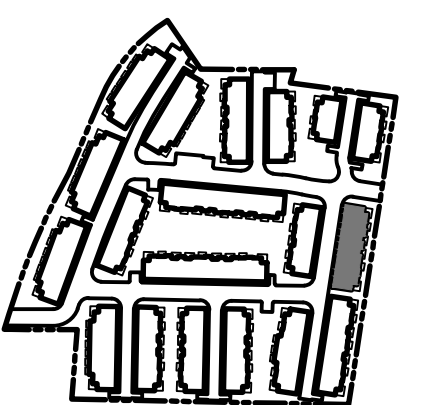


THIRD FLOOR PLAN

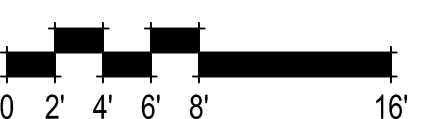
REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



ROOF PLAN



KEY MAP - N.T.S.





381.054 Oak Road Townhouse Condos
 Contra Costa County, CA
 October 28, 2021

SUMMERHILL HOMESSM
 COMMUNITIES OF DISTINCTION 3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
 925.244.7513

FRONT ELEVATION
 6 ALT UNIT BUILDING FRONT ELEVATION
 LOCATION: BUILDING I A30

SDG Architects, Inc.
 3361 Walnut Blvd. Suite 120
 Brentwood, CA 94513
 925.634.7000 | sdgarchitectsinc.com





UNIT 10

UNIT 8

UNIT 6

UNIT 6

UNIT 8

UNIT 10R

FRONT ELEVATION



UNIT 10R

RIGHT ELEVATION



UNIT 10R

UNIT 8

UNIT 6

UNIT 6

UNIT 8

UNIT 10

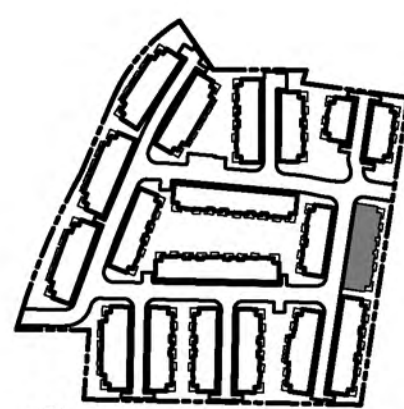
REAR ELEVATION



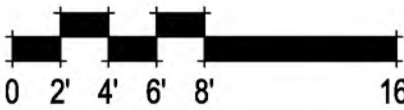
UNIT 10

LEFT ELEVATION

- MATERIALS LEGEND**
- 1. STUCCO
 - 2. BOARD AND BATT SIDING
 - 3. FIBER CEMENT HORIZONTAL SIDING
 - 4. COMPOSITION SHINGLE ROOF
 - 5. FIBER CEMENT TRIM
 - 6. HIGH-DENSITY FOAM TRIM
 - 7. BRACKET
 - 8. CORBELS
 - 9. CORBEL AND KICKER
 - 10. PAINTED METAL RAILING
 - 11. METAL AWNING
 - 12. GARAGE DOOR



KEY MAP - N.T.S.



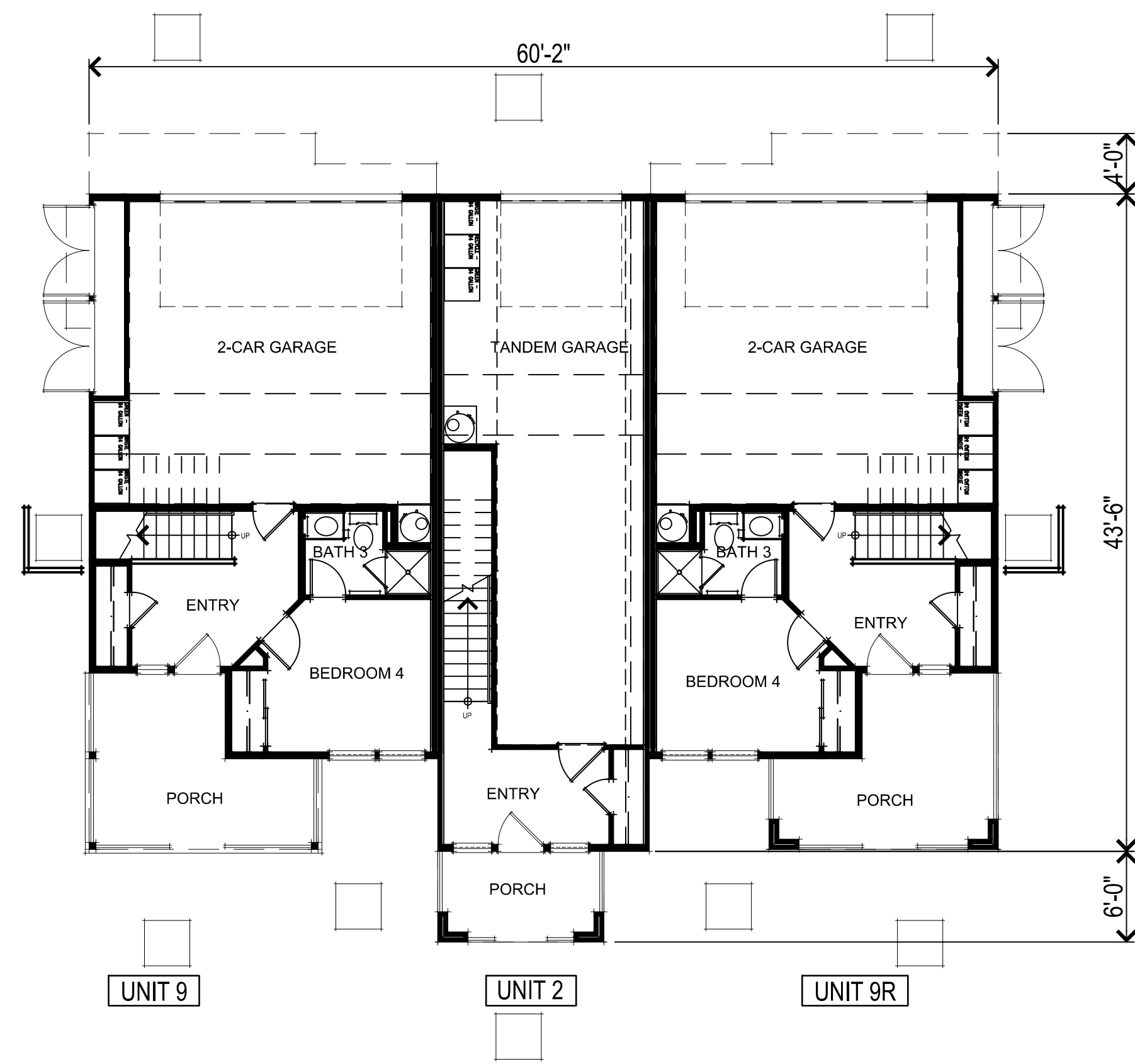
381.054
Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

SUMMERHILL HOMES
COMMUNITIES OF DISTINCTION
3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
925.244.7513

6 ALT UNIT BUILDING EXTERIOR ELEVATIONS
LOCATION: BUILDING I
A31

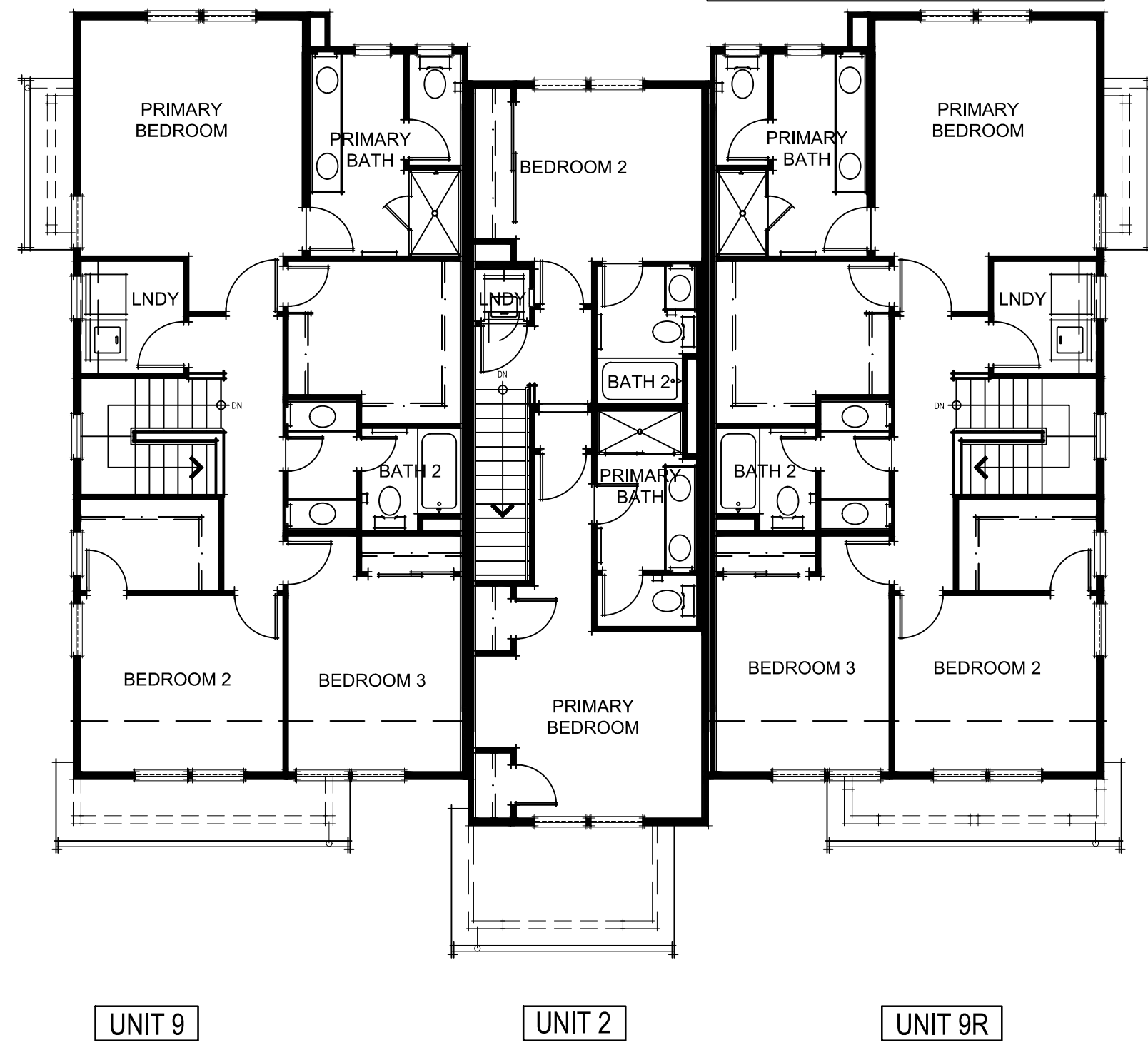
SDG Architects, Inc.
3361 Walnut Blvd. Suite 120
Brentwood, CA 94513
925.634.7000 | sdgarchitectsinc.com



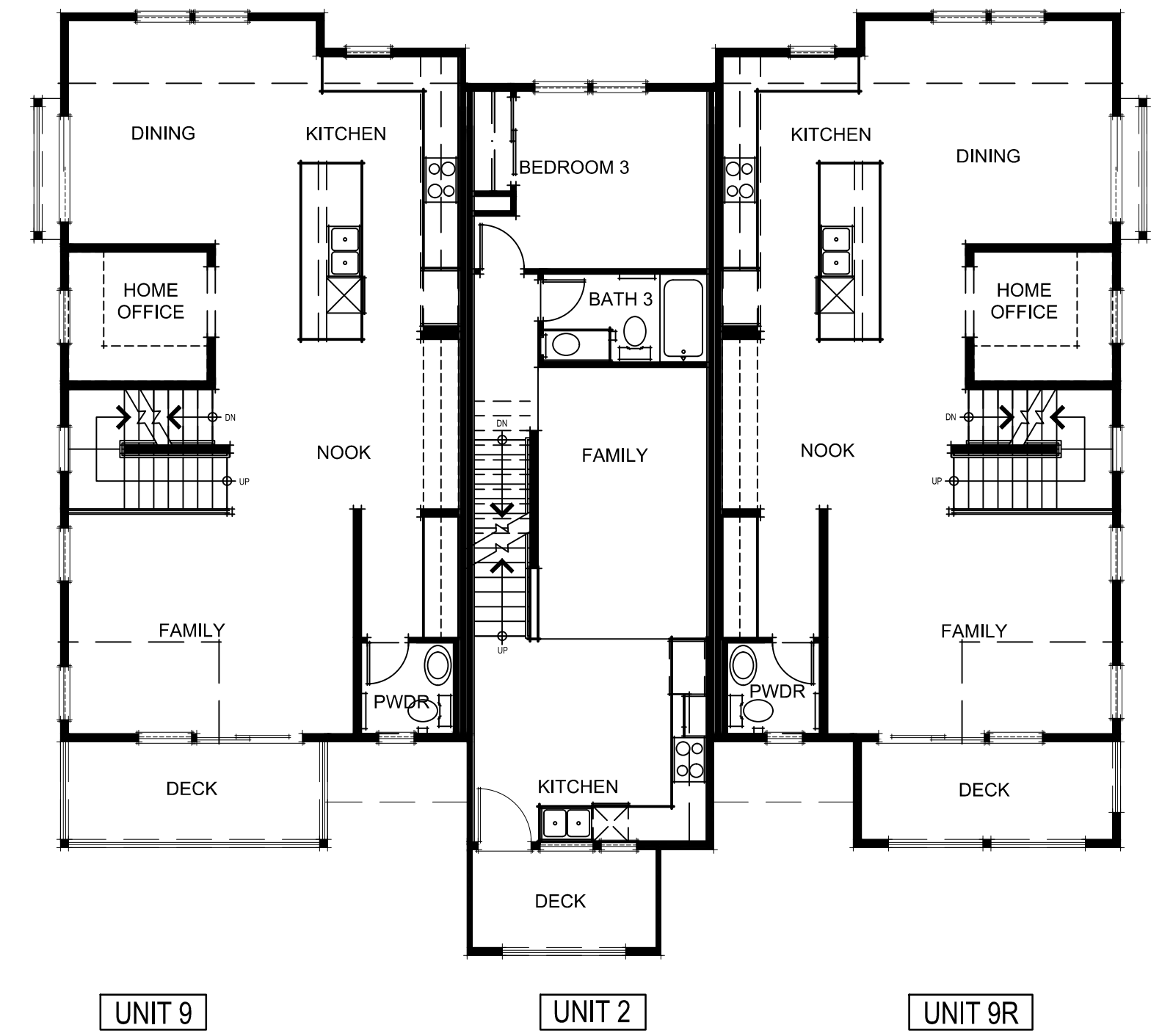


FIRST FLOOR PLAN

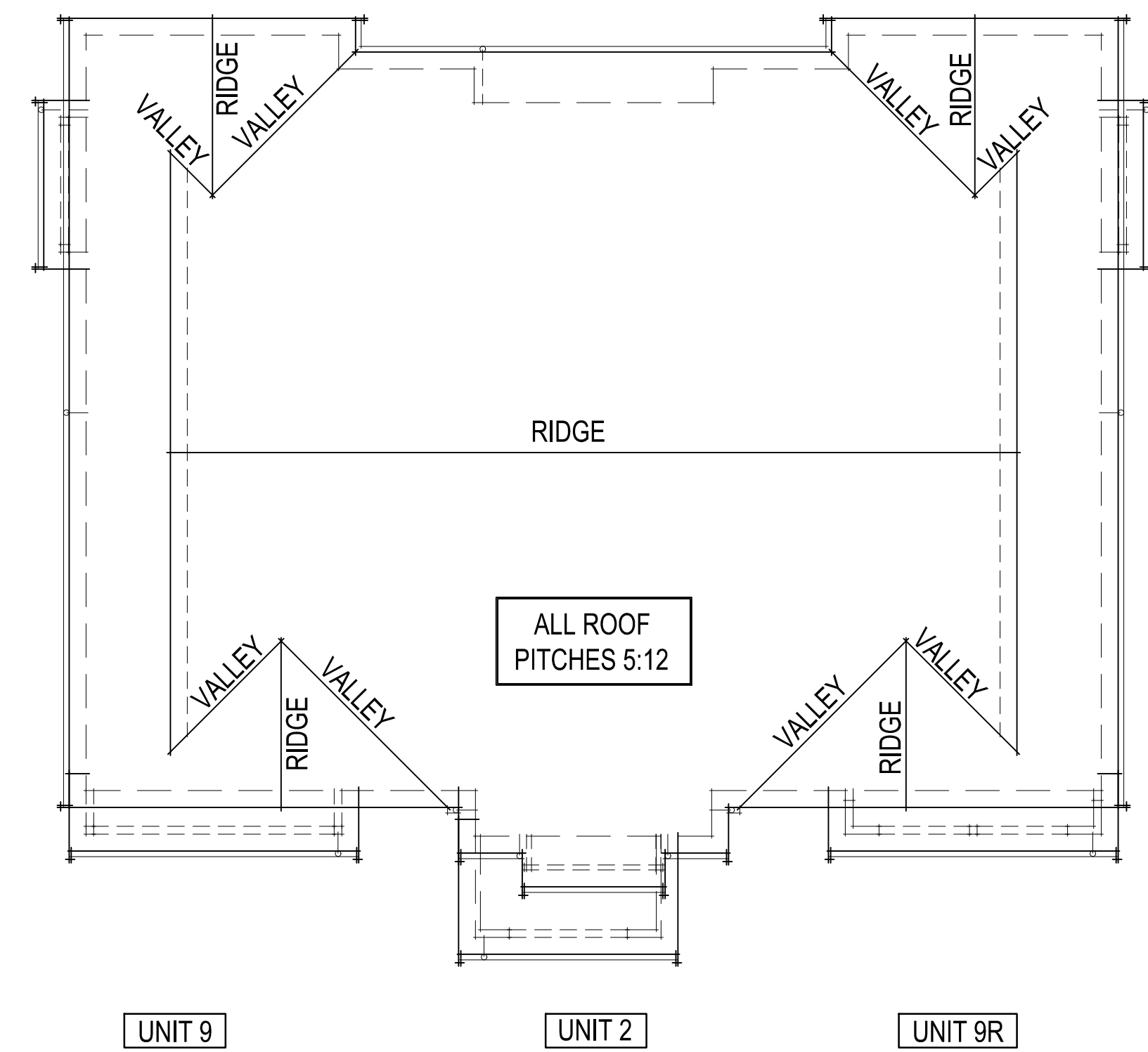
REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



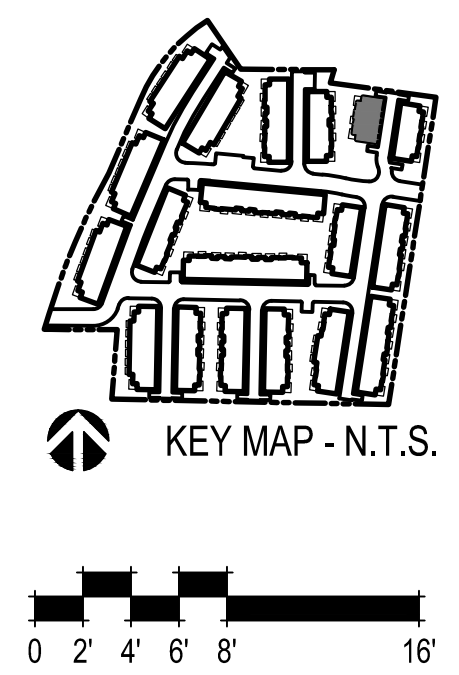
THIRD FLOOR PLAN



SECOND FLOOR PLAN



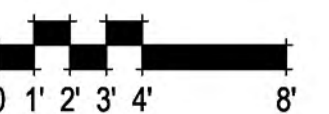
ROOF PLAN



381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021



FRONT ELEVATION



3 UNIT BUILDING FRONT ELEVATION
LOCATION: BUILDING G A33

381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

- MATERIALS LEGEND**
- 1. STUCCO
 - 2. BOARD AND BATT SIDING
 - 3. FIBER CEMENT HORIZONTAL SIDING
 - 4. COMPOSITION SHINGLE ROOF
 - 5. FIBER CEMENT TRIM
 - 6. HIGH-DENSITY FOAM TRIM
 - 7. BRACKET
 - 8. CORBELS
 - 9. CORBEL AND KICKER
 - 10. PAINTED METAL RAILING
 - 11. METAL AWNING
 - 12. GARAGE DOOR



UNIT 9 UNIT 2 UNIT 9R

FRONT ELEVATION



UNIT 9R

RIGHT ELEVATION



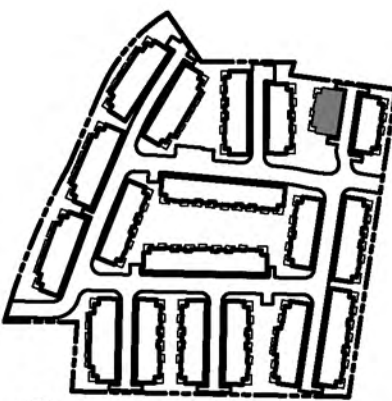
UNIT 9R UNIT 2 UNIT 9

REAR ELEVATION

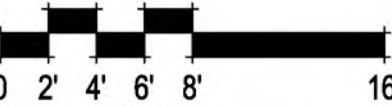


UNIT 9

LEFT ELEVATION



KEY MAP - N.T.S.



381.054 **Oak Road Townhouse Condos**
 Contra Costa County, CA
 October 28, 2021

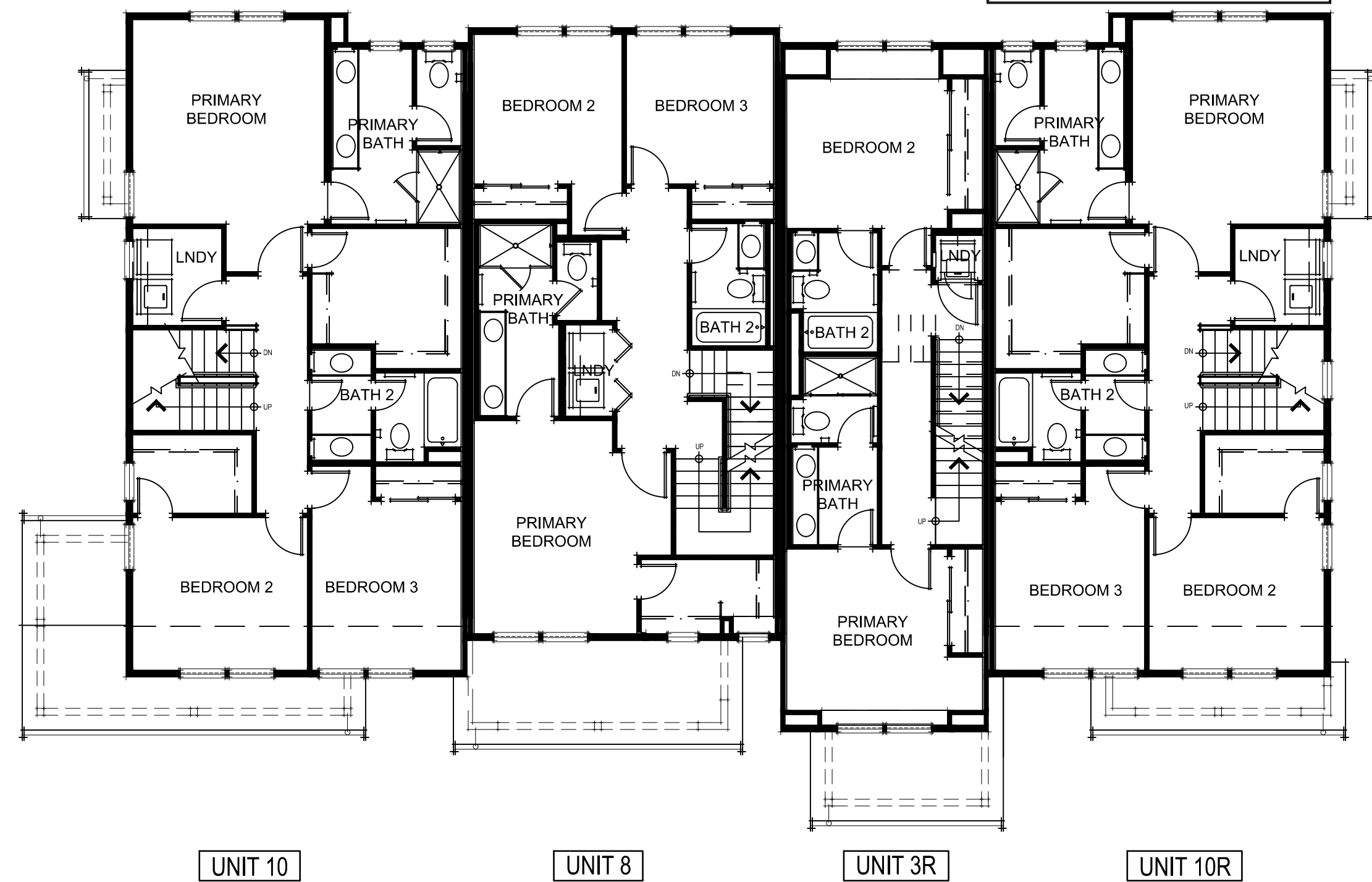
3 UNIT BUILDING EXTERIOR ELEVATIONS
LOCATION: BUILDING G **A34**





FIRST FLOOR PLAN

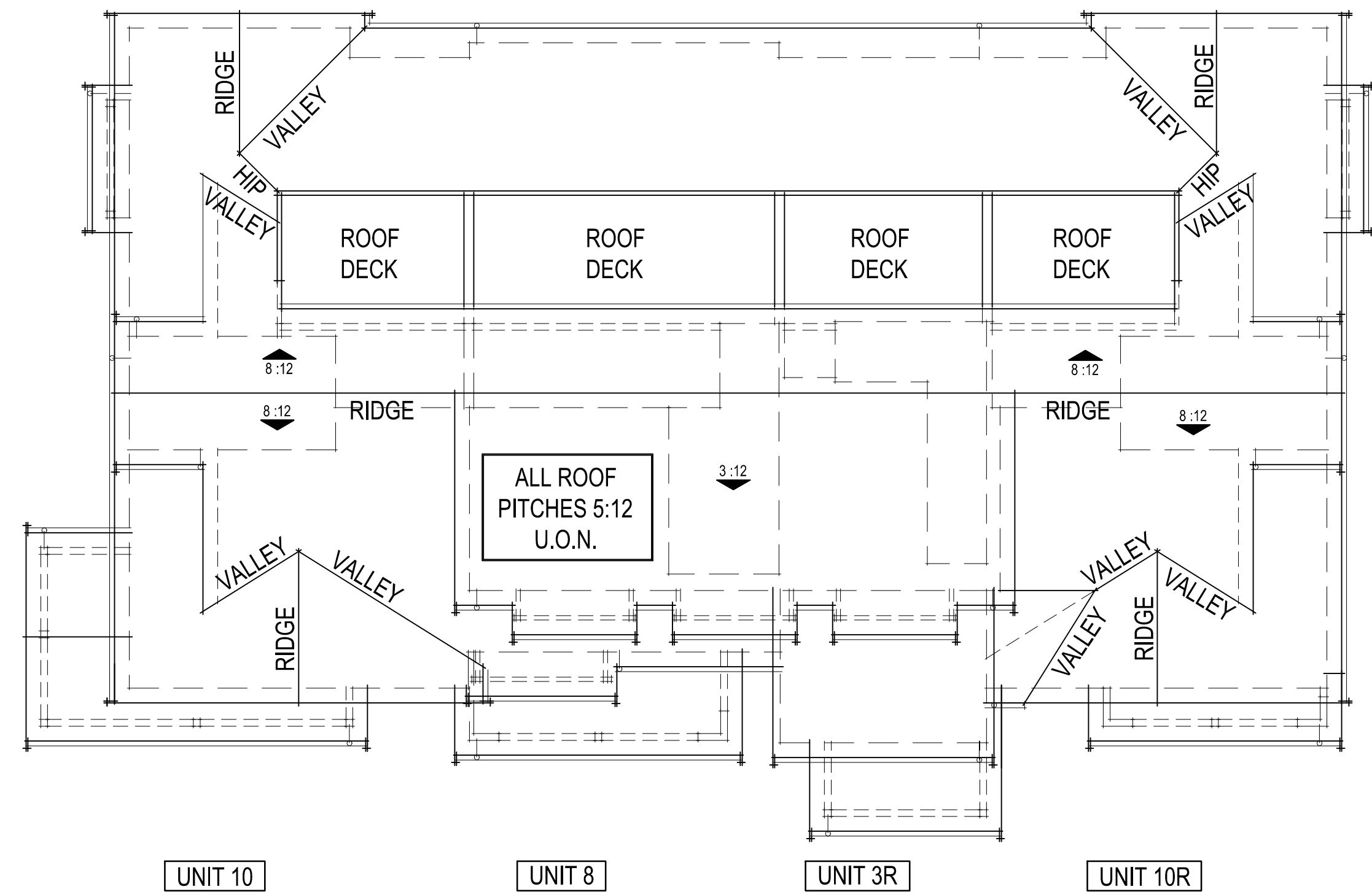
REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



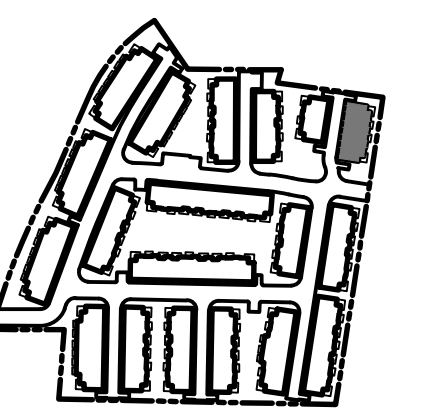
THIRD FLOOR PLAN



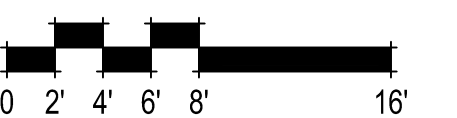
SECOND FLOOR PLAN



ROOF PLAN



KEY MAP - N.T.S.



381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

4 UNIT BUILDING FLOOR AND ROOF PLANS
LOCATION: BUILDING H
A35

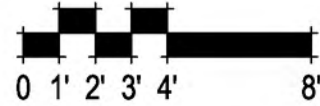




ARTIST'S CONCEPTION. PLEASE REFER TO PLANS FOR PROJECT SPECIFICATIONS.



FRONT ELEVATION



4 UNIT BUILDING FRONT ELEVATION
LOCATION: BUILDING H A36

381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

SUMMERHILL HOMESSM
COMMUNITIES OF DISTINCTION

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925.244.7513

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Brentwood, CA 94513
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- MATERIALS LEGEND**
1. STUCCO
 2. BOARD AND BATT SIDING
 3. FIBER CEMENT HORIZONTAL SIDING
 4. COMPOSITION SHINGLE ROOF
 5. FIBER CEMENT TRIM
 6. HIGH-DENSITY FOAM TRIM
 7. BRACKET
 8. CORBELS
 9. CORBEL AND KICKER
 10. PAINTED METAL RAILING
 11. METAL AWNING
 12. GARAGE DOOR



UNIT 10 UNIT 8 UNIT 3R UNIT 10R

FRONT ELEVATION



UNIT 10R

RIGHT ELEVATION



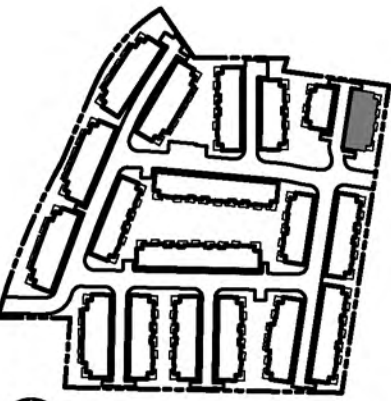
UNIT 10R UNIT 3R UNIT 8 UNIT 10

REAR ELEVATION



UNIT 10

LEFT ELEVATION



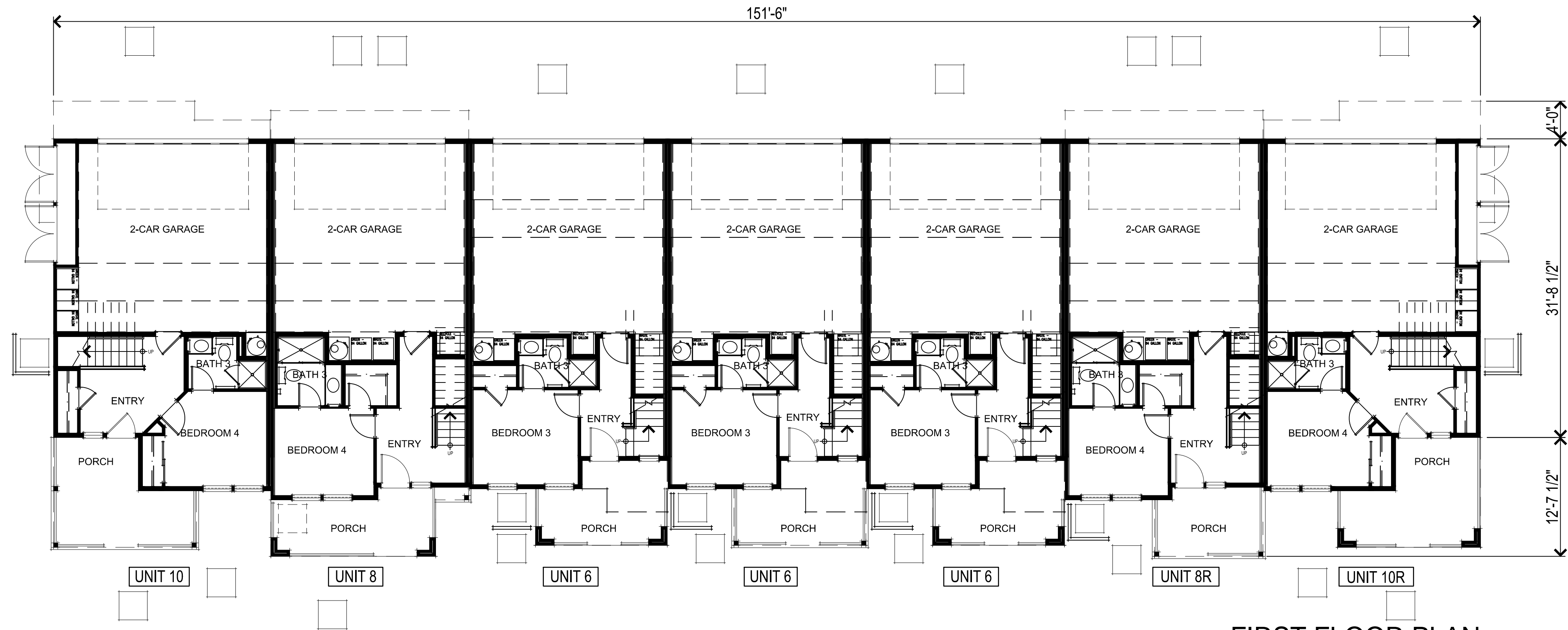
KEY MAP - N.T.S.



381.054 **Oak Road Townhouse Condos**
 Contra Costa County, CA
 October 28, 2021

4 UNIT BUILDING EXTERIOR ELEVATIONS
LOCATION: BUILDING H **A37**



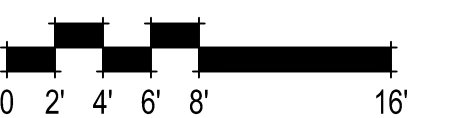
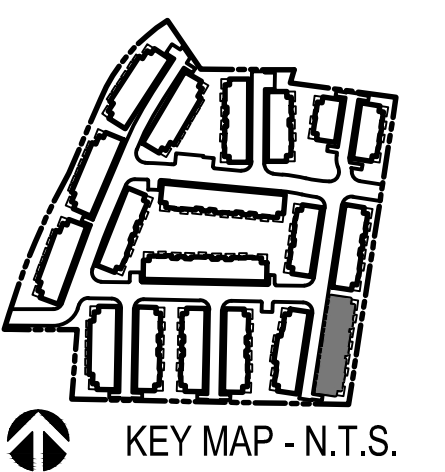


FIRST FLOOR PLAN

REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



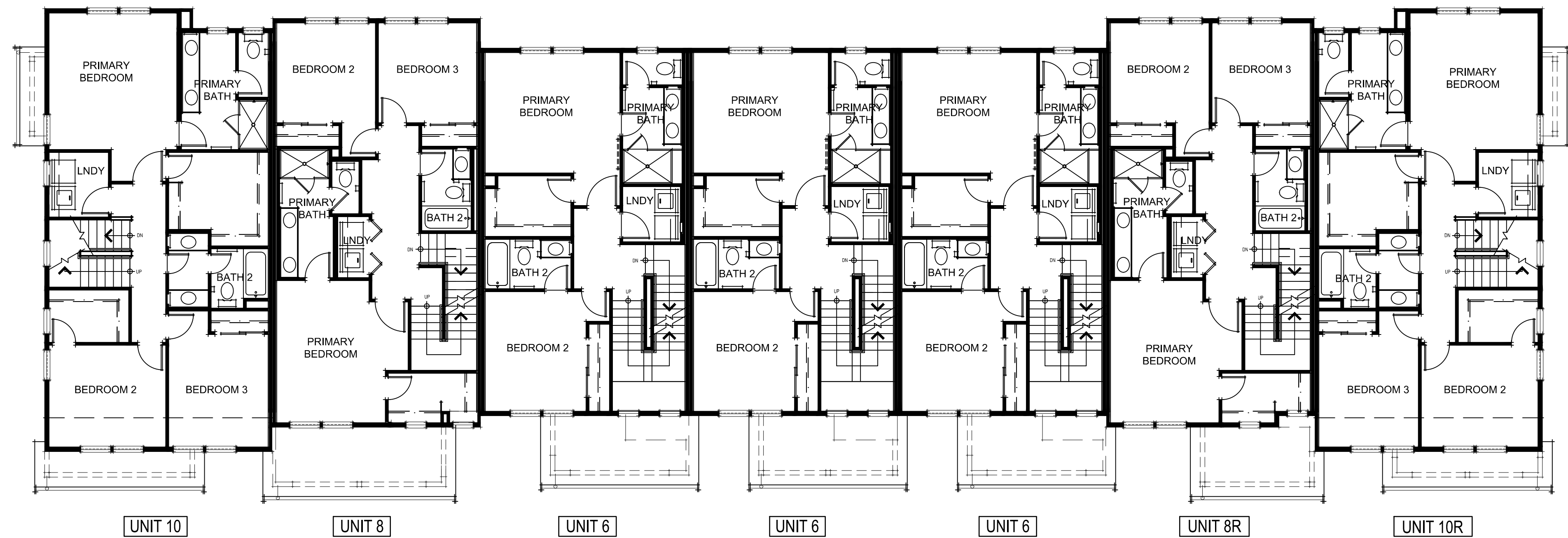
SECOND FLOOR PLAN



381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

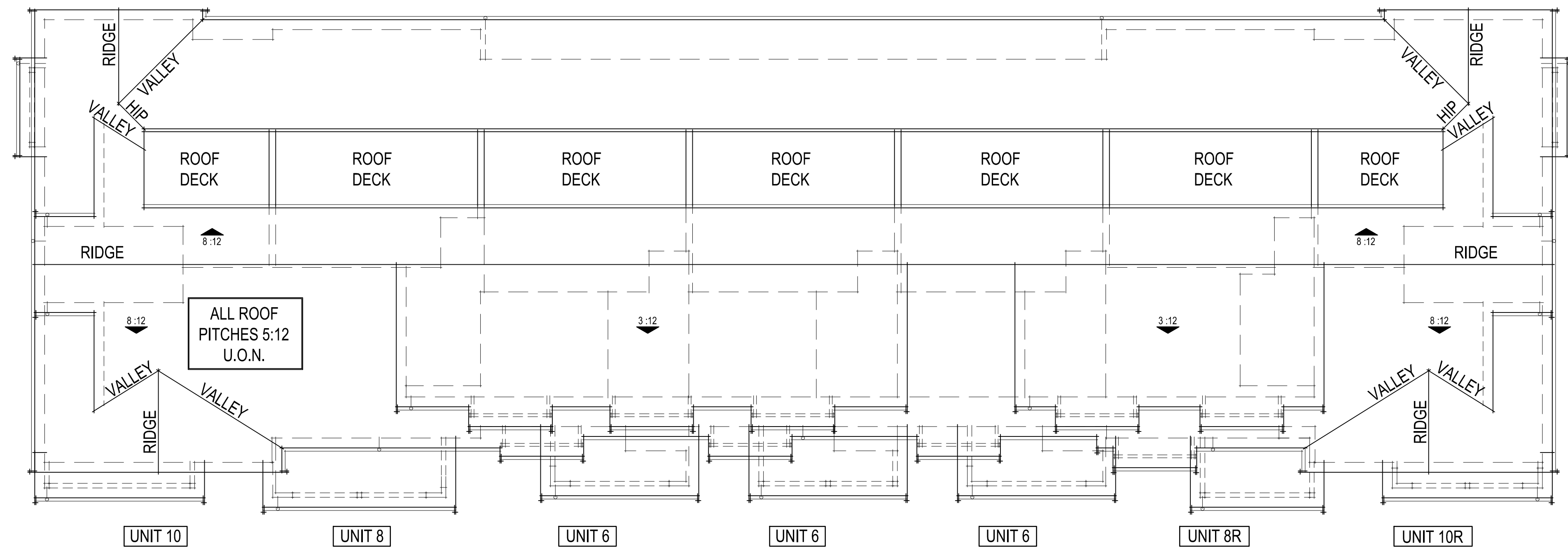
7 UNIT BUILDING FLOOR PLANS
LOCATION: BUILDING J A38



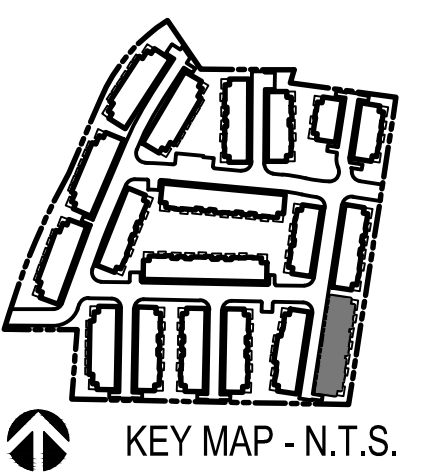


THIRD FLOOR PLAN

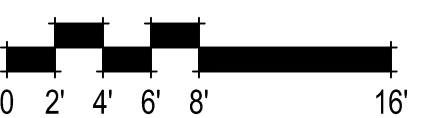
REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



ROOF PLAN



KEY MAP - N.T.S.





PRIVATE YARD FENCING - SEE LANDSCAPE DRAWINGS

FRONT ELEVATION



7 UNIT BUILDING FRONT ELEVATION
LOCATION: BUILDING J A40

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- MATERIALS LEGEND**
- 1. STUCCO
 - 2. BOARD AND BATT SIDING
 - 3. FIBER CEMENT HORIZONTAL SIDING
 - 4. COMPOSITION SHINGLE ROOF
 - 5. FIBER CEMENT TRIM
 - 6. HIGH-DENSITY FOAM TRIM
 - 7. BRACKET
 - 8. CORBELS
 - 9. CORBEL AND KICKER
 - 10. PAINTED METAL RAILING
 - 11. METAL AWNING
 - 12. GARAGE DOOR

UNIT 10 UNIT 8 UNIT 6 UNIT 6 UNIT 6 UNIT 8 UNIT 10R

FRONT ELEVATION

UNIT 10R

RIGHT ELEVATION

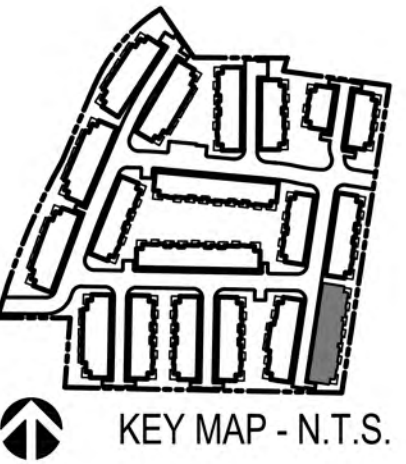


UNIT 10R UNIT 8 UNIT 6 UNIT 6 UNIT 6 UNIT 8 UNIT 10

REAR ELEVATION

UNIT 10

LEFT ELEVATION



381.054
Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

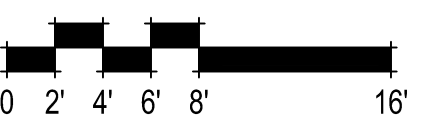
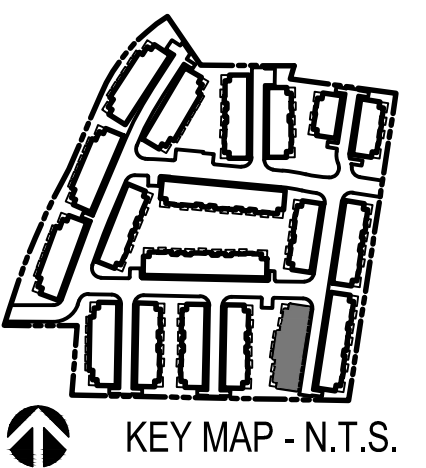
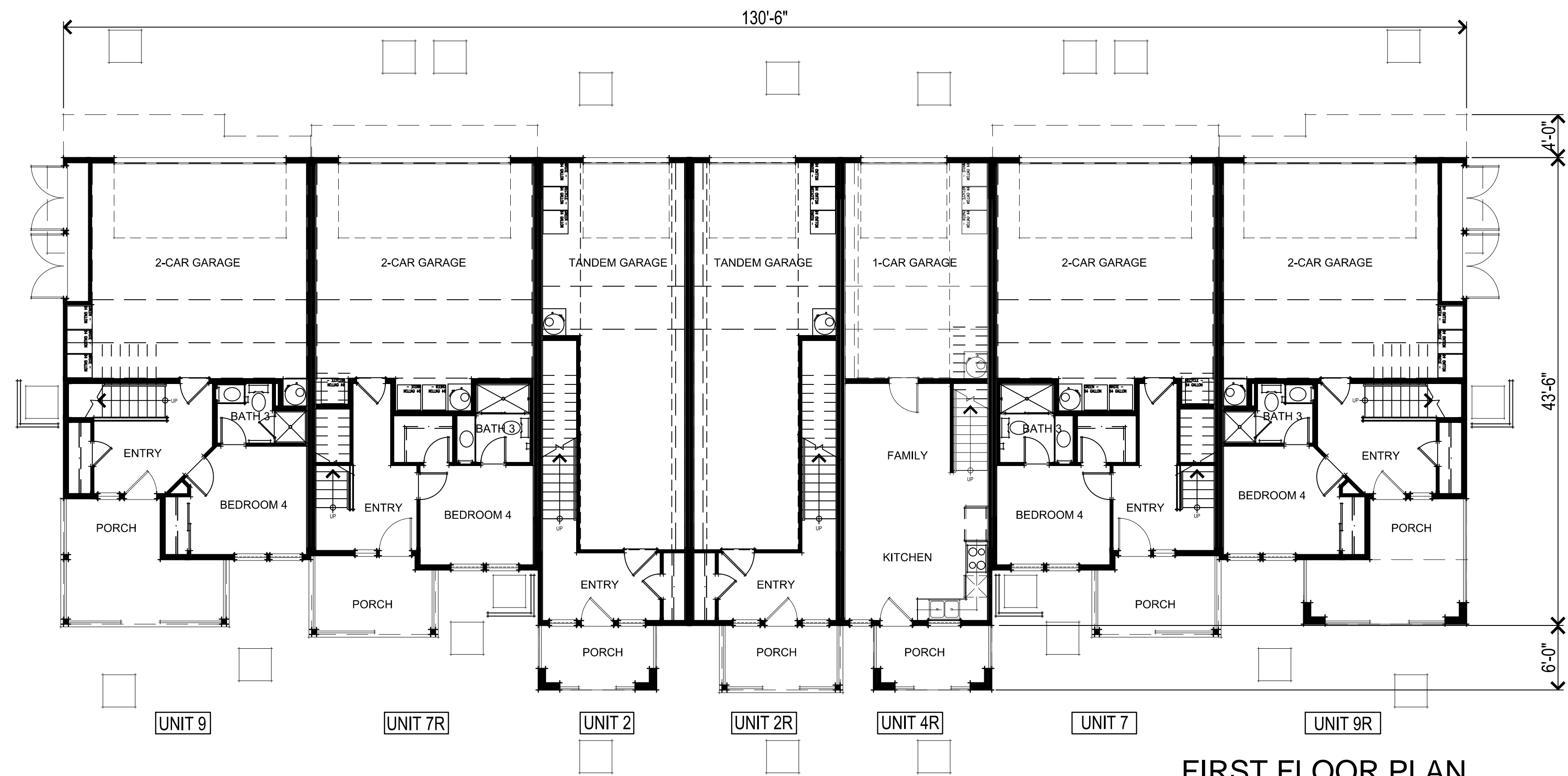
SUMMERHILL HOMESSM
COMMUNITIES OF DISTINCTION

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7 UNIT BUILDING EXTERIOR ELEVATIONS
LOCATION: BUILDING J A41

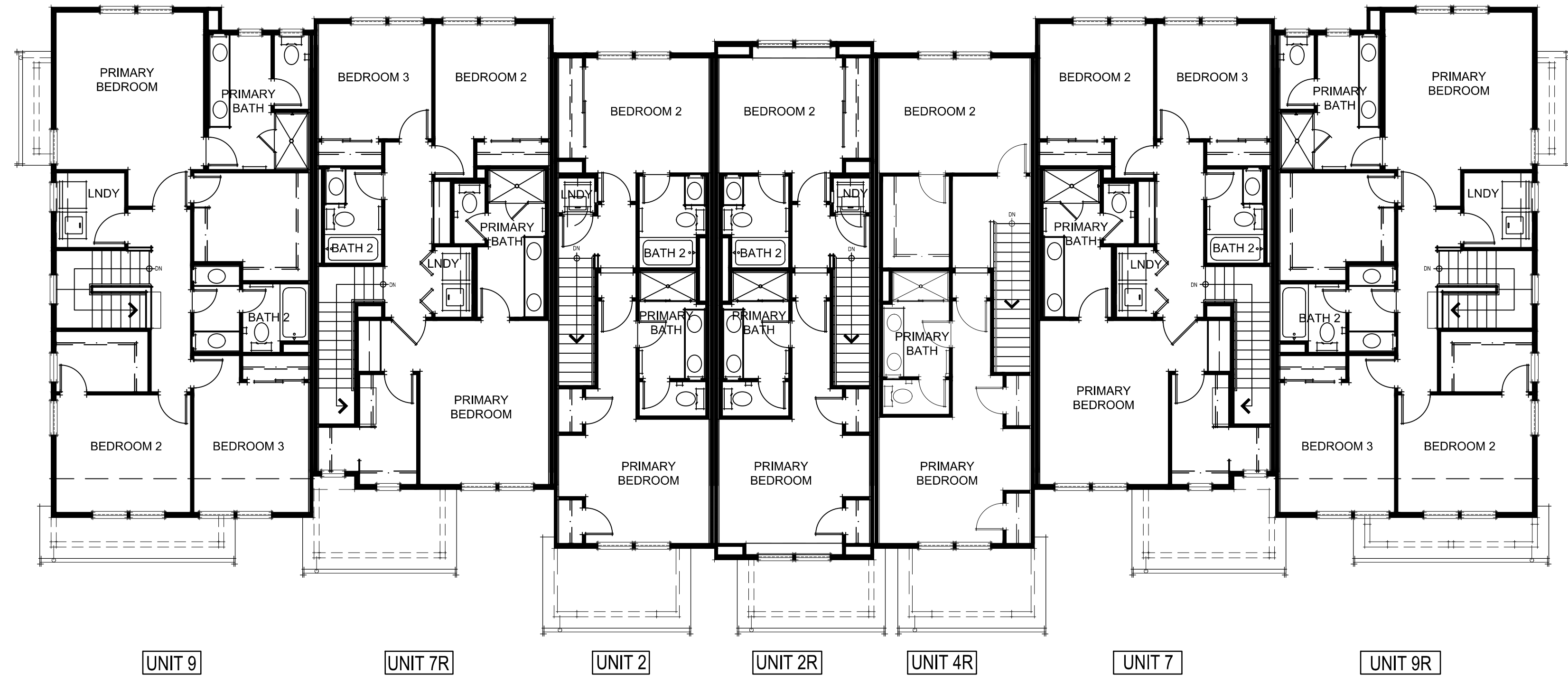
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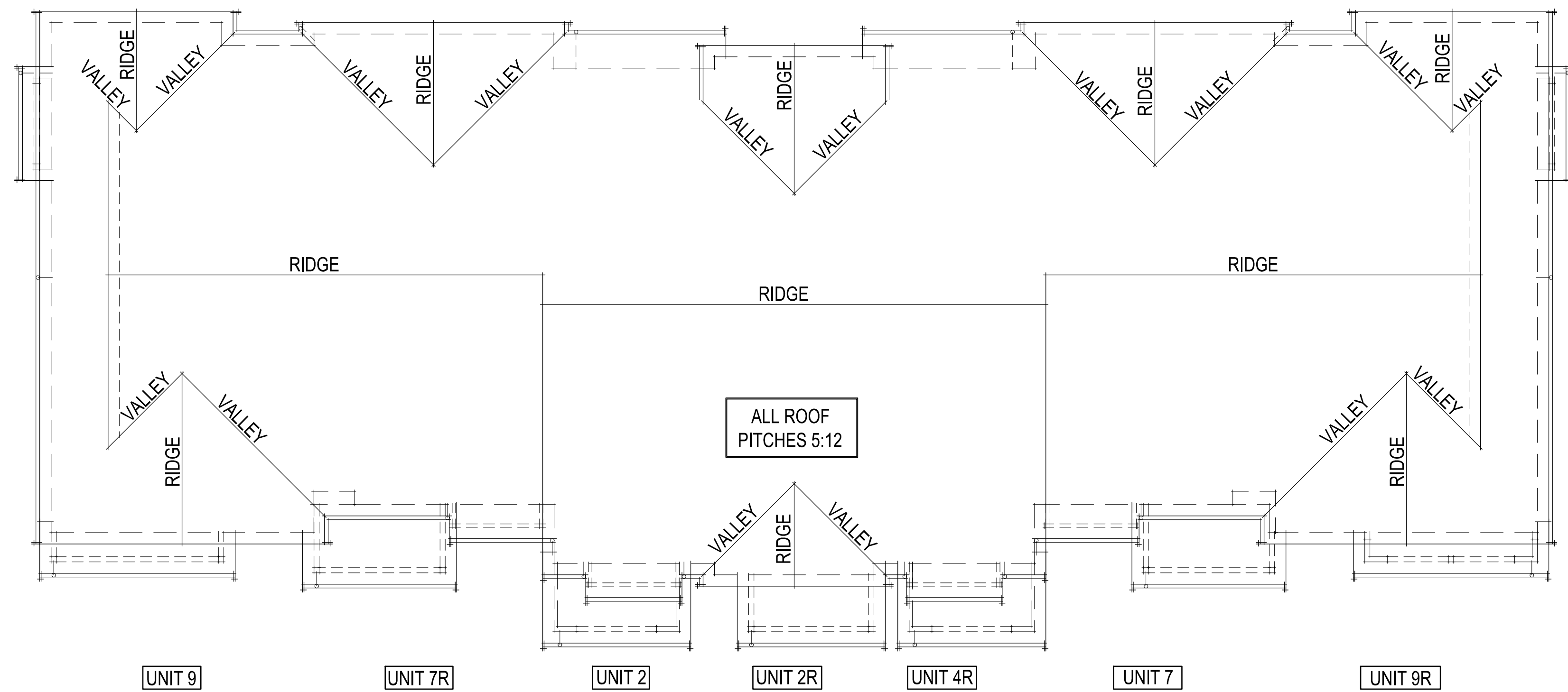
381.054
Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

7 ALT UNIT BUILDING FLOOR PLANS
LOCATION: BUILDING K A42

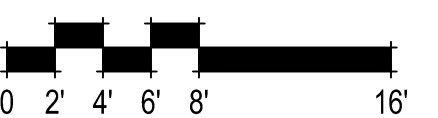
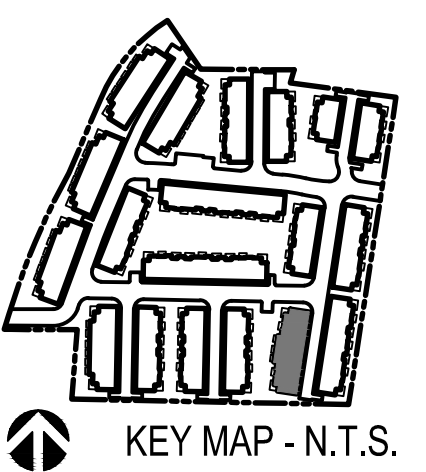


THIRD FLOOR PLAN

REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



ROOF PLAN





FRONT ELEVATION



7 ALT UNIT BUILDING FRONT ELEVATION
LOCATION: BUILDING K
A44

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UNIT 9 UNIT 7R UNIT 2 UNIT 2R UNIT 4R UNIT 7 UNIT 9R

FRONT ELEVATION



UNIT 9R

RIGHT ELEVATION



UNIT 9R UNIT 7 UNIT 4R UNIT 2R UNIT 2 UNIT 7R UNIT 9

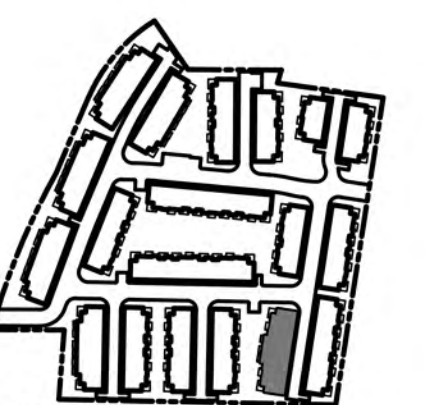
REAR ELEVATION



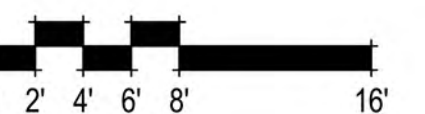
UNIT 9

LEFT ELEVATION

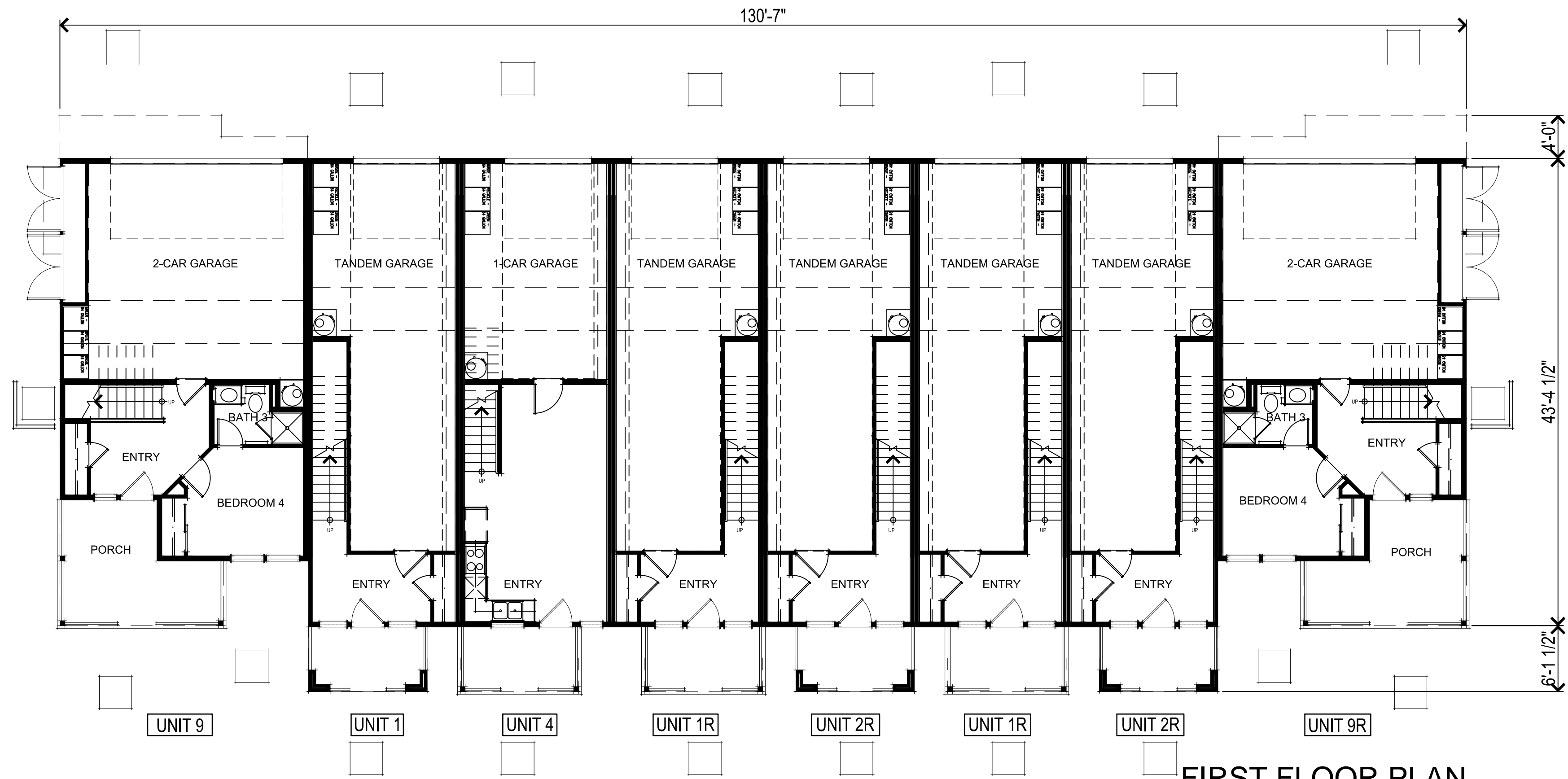
- MATERIALS LEGEND**
- 1. STUCCO
 - 2. BOARD AND BATT SIDING
 - 3. FIBER CEMENT HORIZONTAL SIDING
 - 4. COMPOSITION SHINGLE ROOF
 - 5. FIBER CEMENT TRIM
 - 6. HIGH-DENSITY FOAM TRIM
 - 7. BRACKET
 - 8. CORBELS
 - 9. CORBEL AND KICKER
 - 10. PAINTED METAL RAILING
 - 11. METAL AWNING
 - 12. GARAGE DOOR



KEY MAP - N.T.S.



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Contra Costa County, CA
October 28, 2021

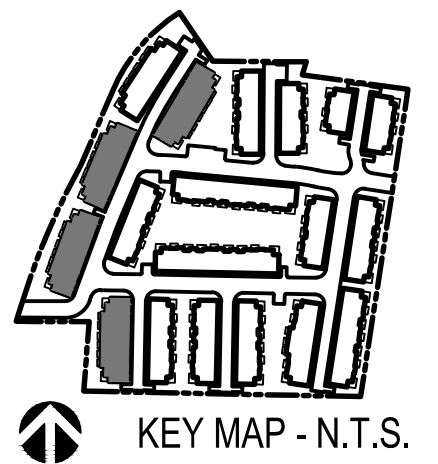


FIRST FLOOR PLAN

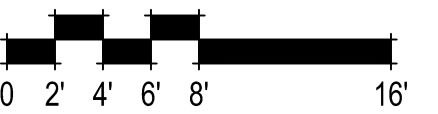
REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



SECOND FLOOR PLAN



KEY MAP - N.T.S.



381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

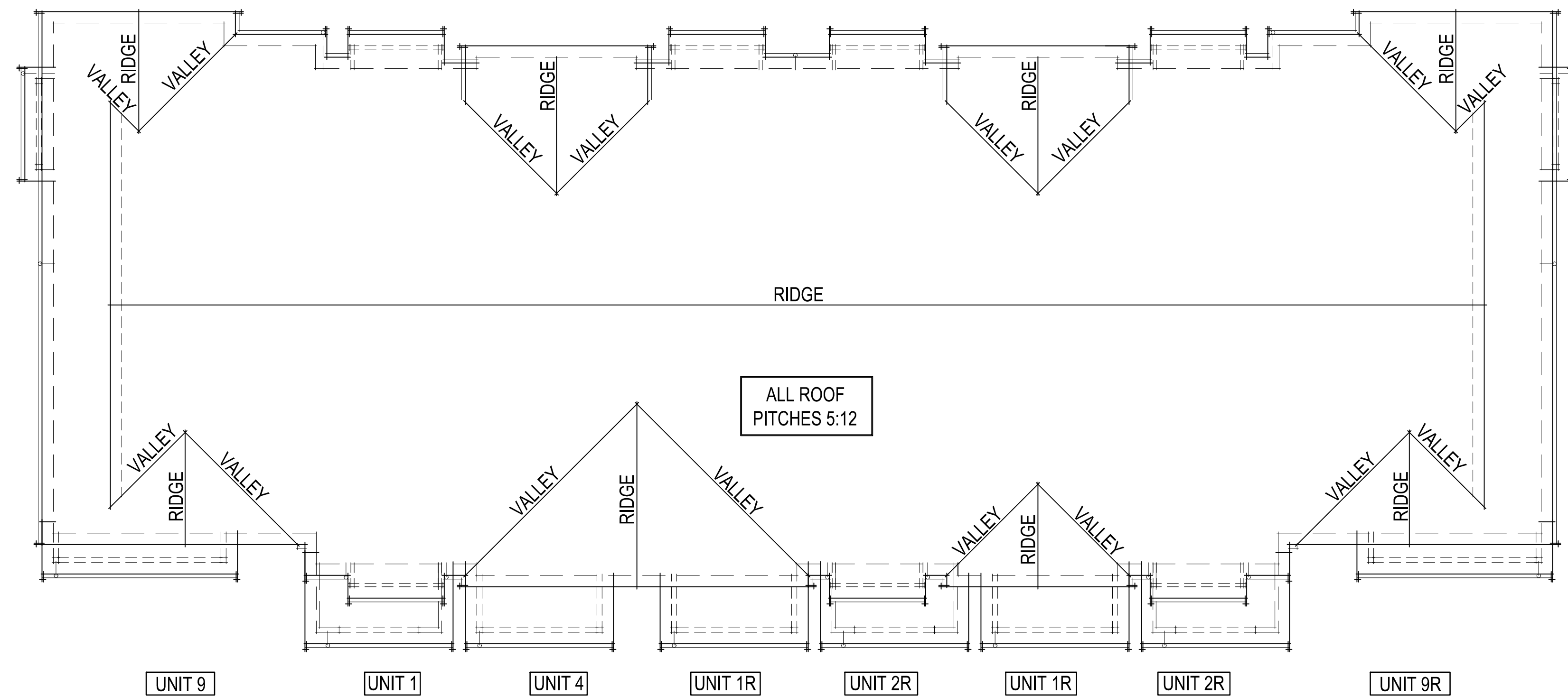
8 UNIT BUILDING FLOOR PLANS
LOCATIONS: BUILDINGS A, B, D, & O A46



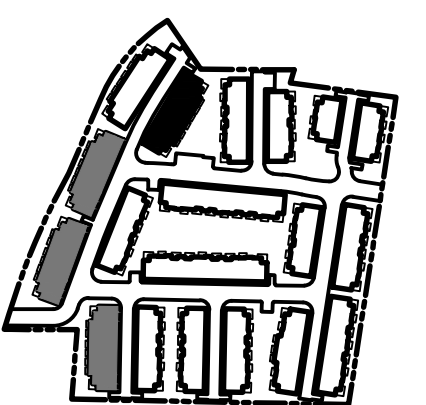


THIRD FLOOR PLAN

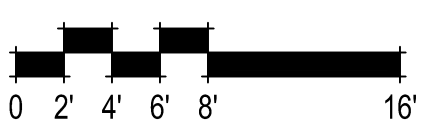
REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



ROOF PLAN



KEY MAP - N.T.S.





ARTIST'S CONCEPTION. PLEASE REFER TO PLANS FOR PROJECT SPECIFICATIONS.



PRIVATE YARD FENCING - SEE LANDSCAPE DRAWINGS

FRONT ELEVATION



8 UNIT BUILDING FRONT ELEVATION
LOCATIONS: BUILDINGS A, B, D, & O A48

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UNIT 9 UNIT 1 UNIT 4 UNIT 1R UNIT 2R UNIT 1R UNIT 2R UNIT 9R

FRONT ELEVATION



UNIT 9R

RIGHT ELEVATION

- MATERIALS LEGEND**
- 1. STUCCO
 - 2. BOARD AND BATT SIDING
 - 3. FIBER CEMENT HORIZONTAL SIDING
 - 4. COMPOSITION SHINGLE ROOF
 - 5. FIBER CEMENT TRIM
 - 6. HIGH-DENSITY FOAM TRIM
 - 7. BRACKET
 - 8. CORBELS
 - 9. CORBEL AND KICKER
 - 10. PAINTED METAL RAILING
 - 11. METAL AWNING
 - 12. GARAGE DOOR



UNIT 9R UNIT 2R UNIT 1R UNIT 2R UNIT 1R UNIT 4 UNIT 1 UNIT 9

REAR ELEVATION



UNIT 9

LEFT ELEVATION

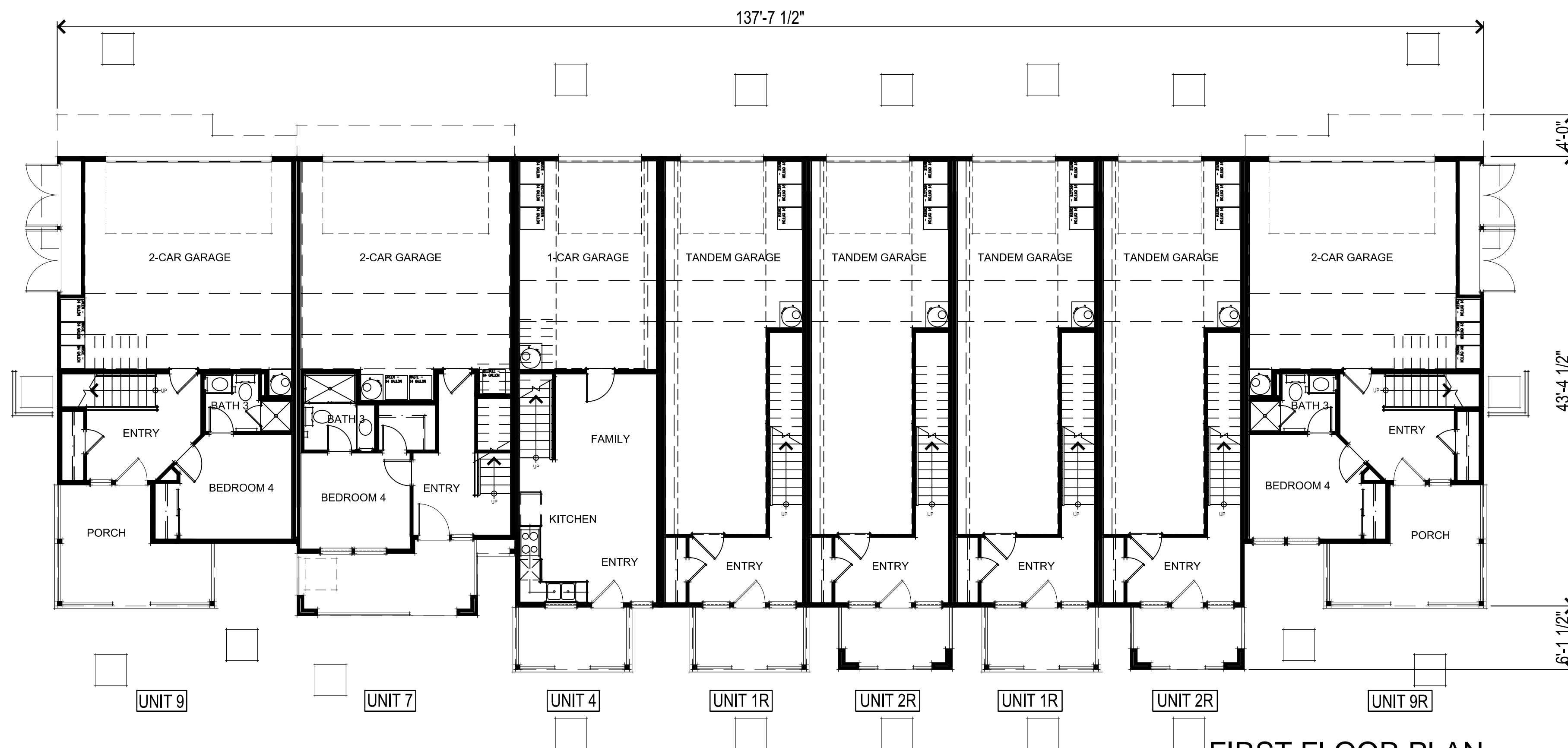


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Contra Costa County, CA
October 28, 2021

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8 UNIT BUILDING EXTERIOR ELEVATIONS
LOCATIONS: BUILDINGS A, B, D, & O A49

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SDG
architects

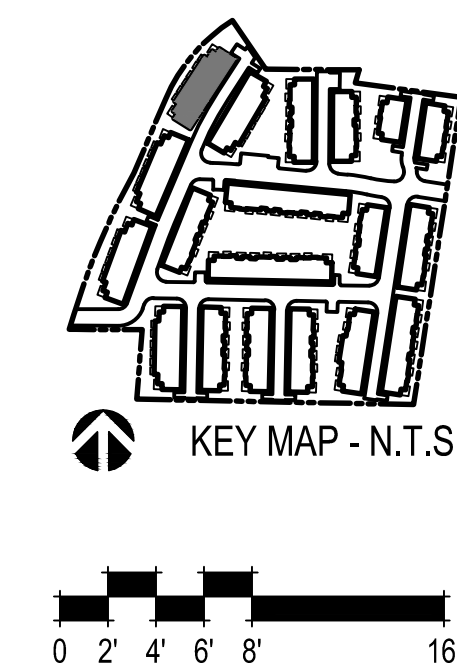


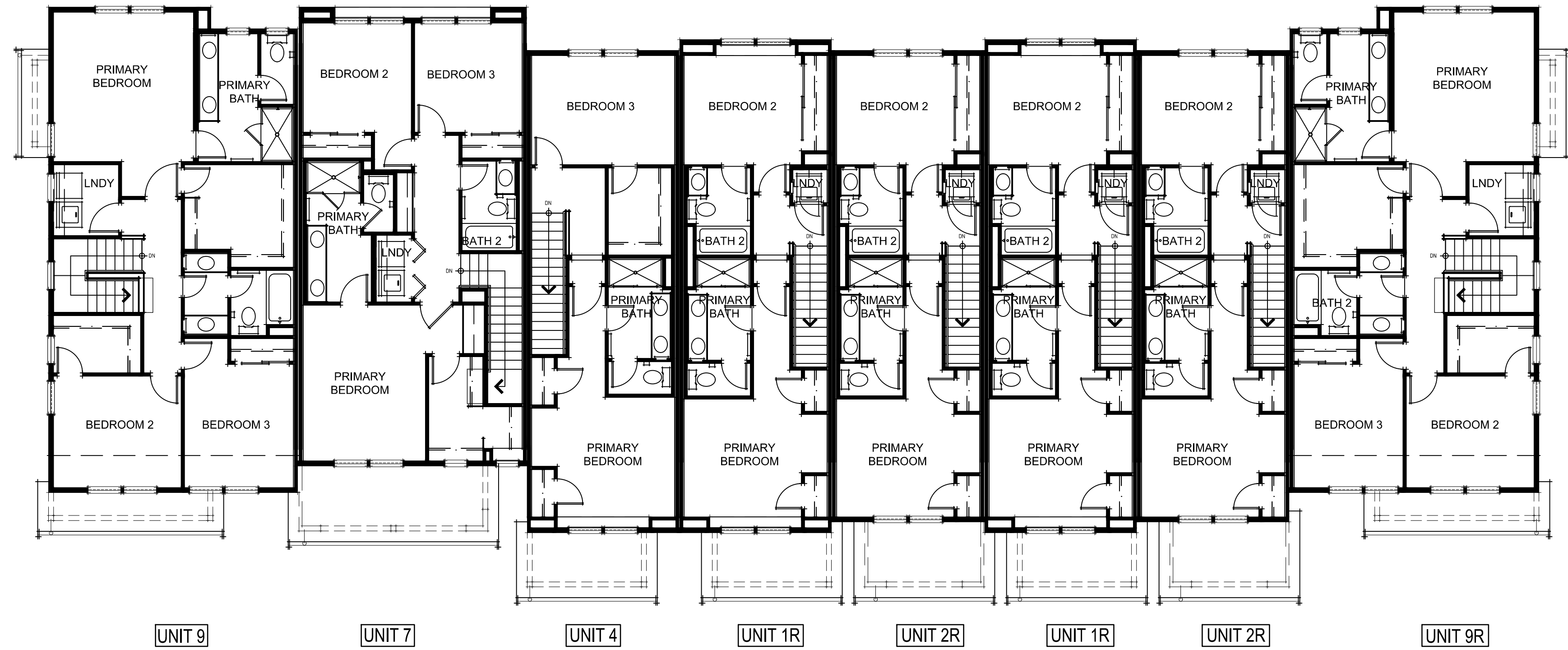
FIRST FLOOR PLAN

REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



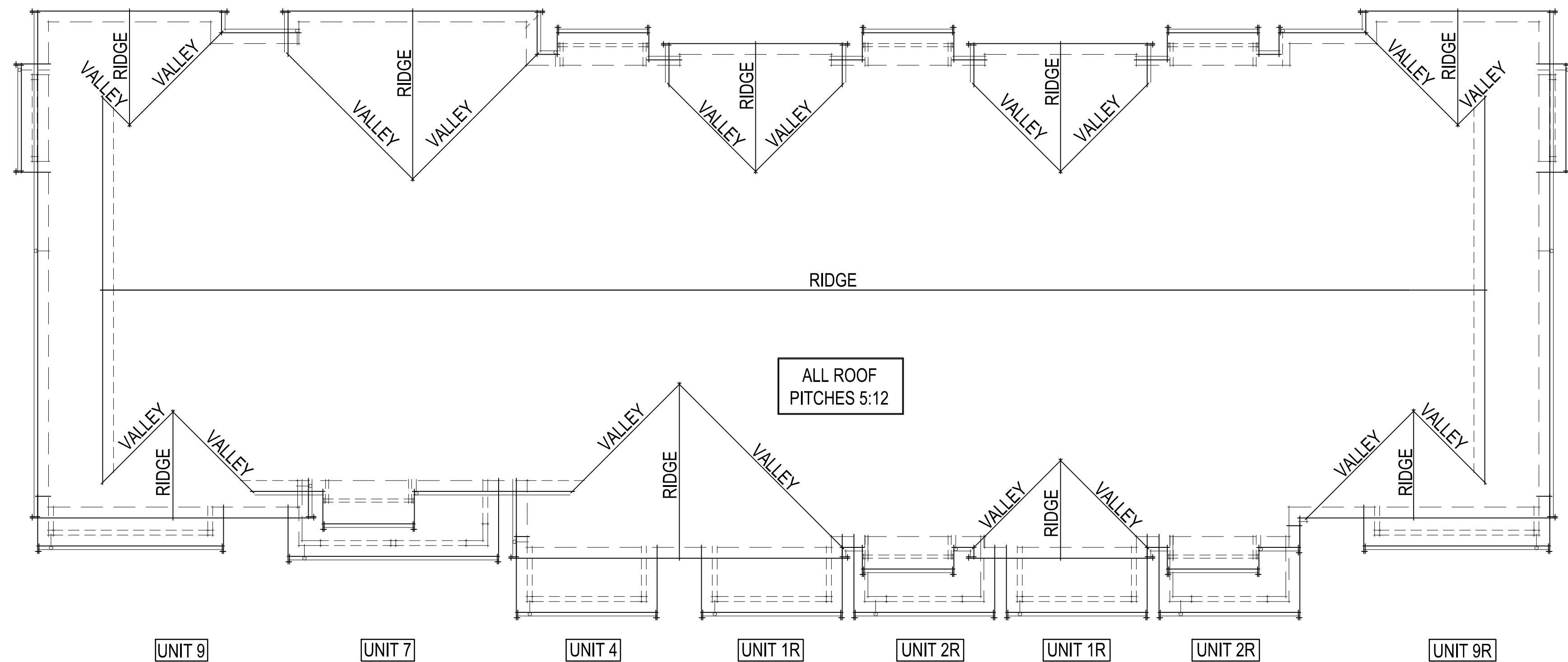
SECOND FLOOR PLAN



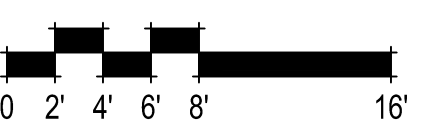
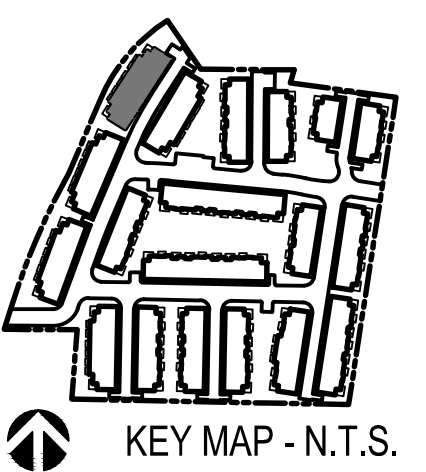


THIRD FLOOR PLAN

REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



ROOF PLAN



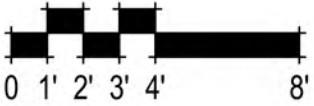


ARTIST'S CONCEPTION. PLEASE REFER TO PLANS FOR PROJECT SPECIFICATIONS.



PRIVATE YARD FENCING - SEE LANDSCAPE DRAWINGS

FRONT ELEVATION



8 ALT UNIT BUILDING FRONT ELEVATION
LOCATION: BUILDING C
A52

381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021



UNIT 9 UNIT 7 UNIT 4 UNIT 1R UNIT 2R UNIT 1R UNIT 2R UNIT 9R

FRONT ELEVATION



UNIT 9R

RIGHT ELEVATION

- MATERIALS LEGEND**
- 1. STUCCO
 - 2. BOARD AND BATT SIDING
 - 3. FIBER CEMENT HORIZONTAL SIDING
 - 4. COMPOSITION SHINGLE ROOF
 - 5. FIBER CEMENT TRIM
 - 6. HIGH-DENSITY FOAM TRIM
 - 7. BRACKET
 - 8. CORBELS
 - 9. CORBEL AND KICKER
 - 10. PAINTED METAL RAILING
 - 11. METAL AWNING
 - 12. GARAGE DOOR



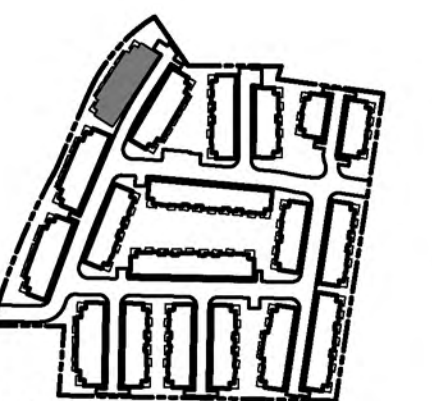
UNIT 9R UNIT 2R UNIT 1R UNIT 2R UNIT 1R UNIT 4 UNIT 7 UNIT 9

REAR ELEVATION

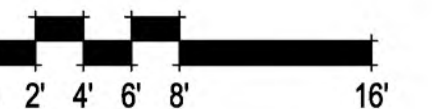


UNIT 9

LEFT ELEVATION



KEY MAP - N.T.S.



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 Contra Costa County, CA
 October 28, 2021

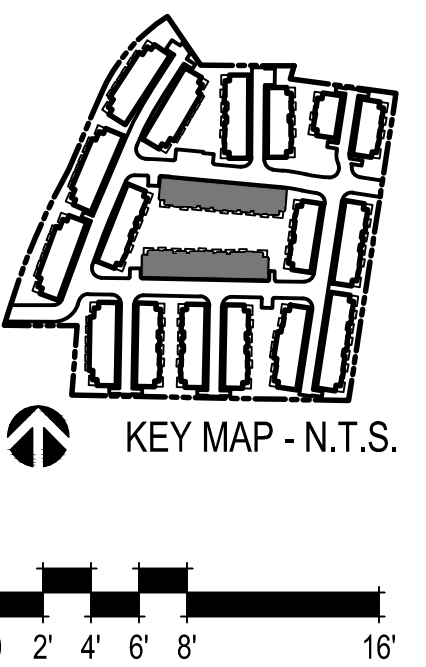
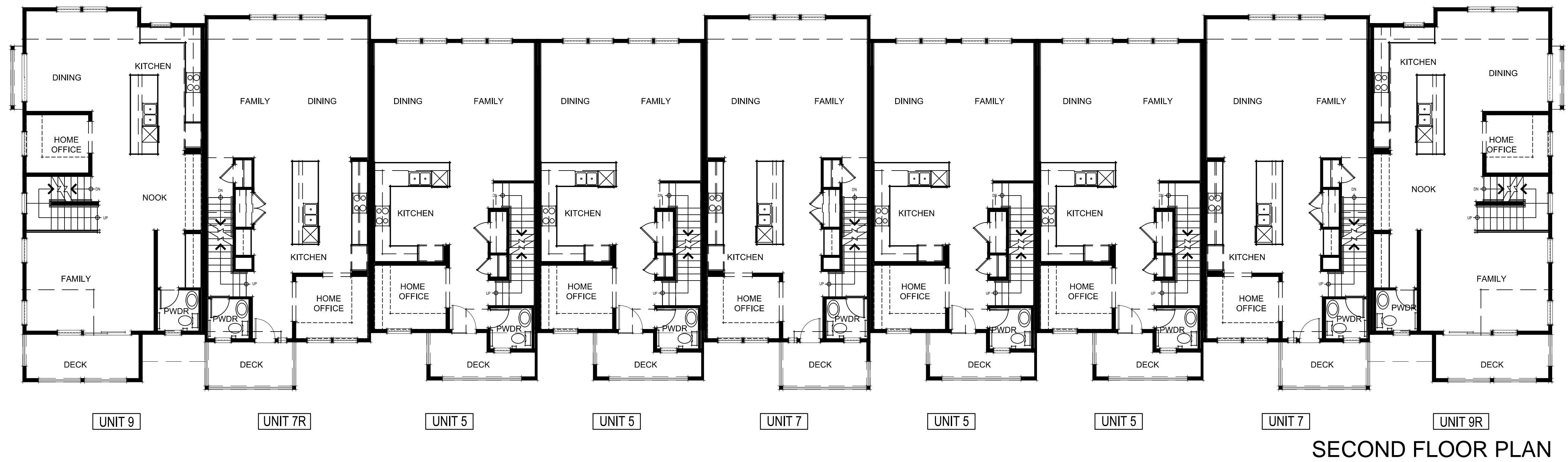
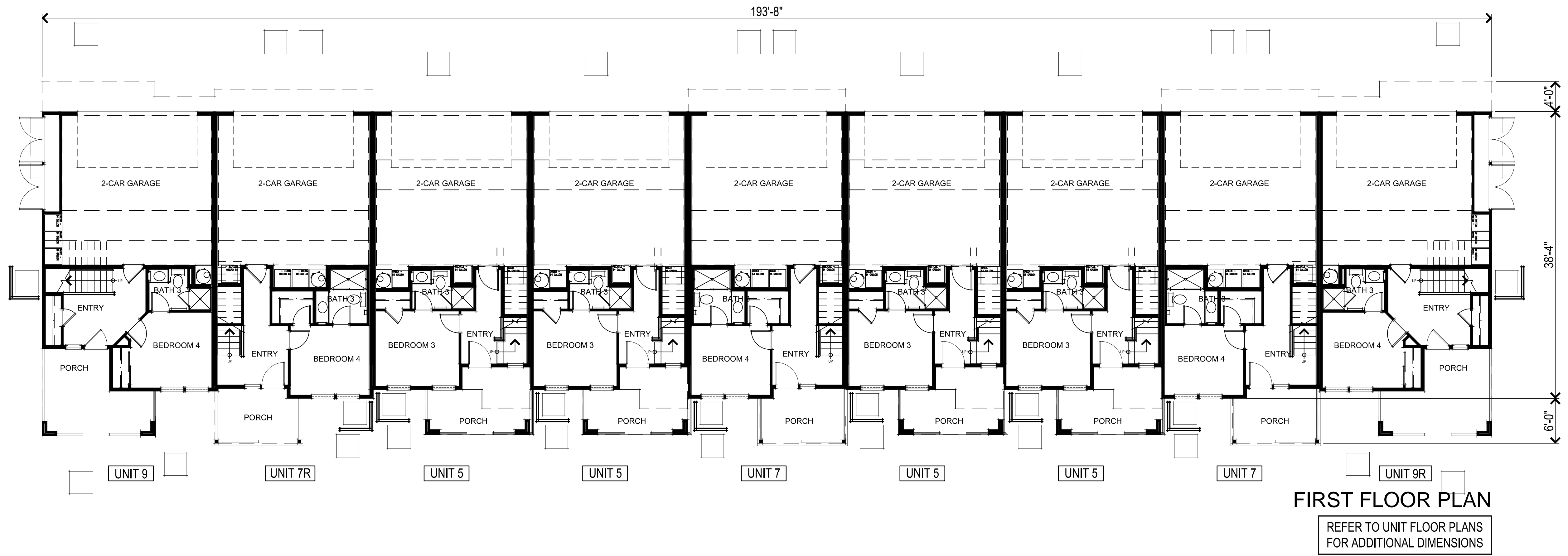
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8 ALT UNIT BUILDING EXTERIOR ELEVATIONS
LOCATION: BUILDING C
A53

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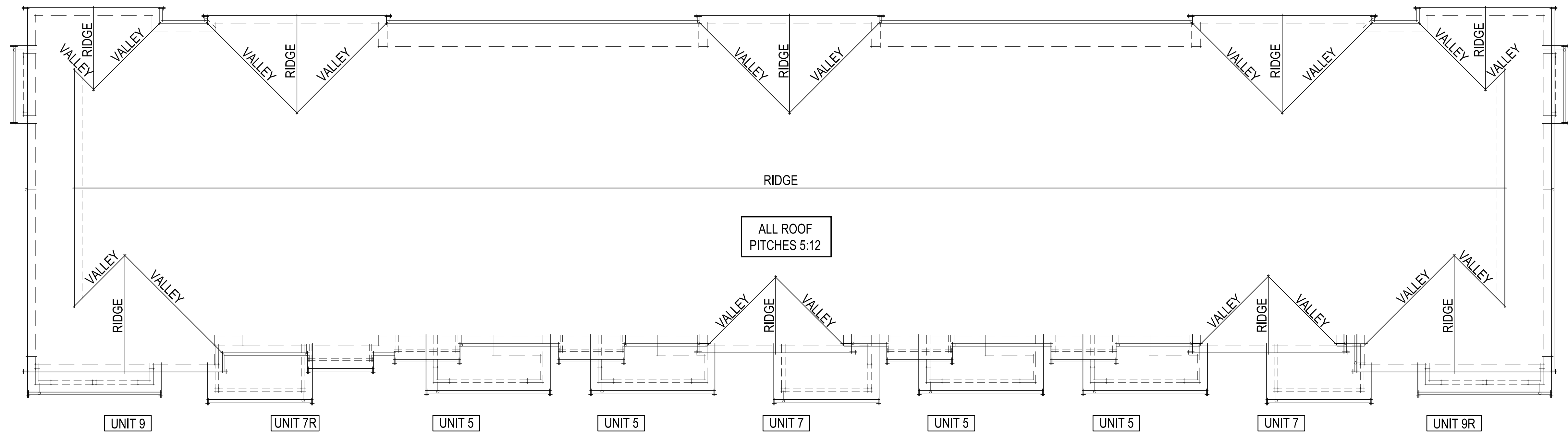
381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

9 UNIT BUILDING FLOOR PLANS
LOCATIONS: BUILDINGS S & Q A54

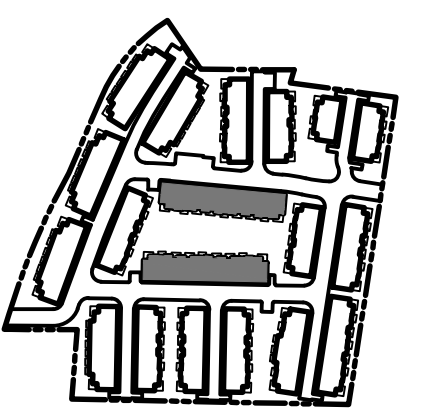


THIRDFLOOR PLAN

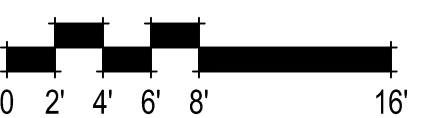
REFER TO UNIT FLOOR PLANS
FOR ADDITIONAL DIMENSIONS



ROOF PLAN



KEY MAP - N.T.S.



381.054
Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

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9 UNIT BUILDING FLOOR AND ROOF PLANS
LOCATIONS: BUILDINGS S & Q
A55

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FRONT ELEVATION



381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

9 UNIT BUILDING FRONT ELEVATION
LOCATIONS: BUILDINGS S & Q A56



- MATERIALS LEGEND**
- 1. STUCCO
 - 2. BOARD AND BATT SIDING
 - 3. FIBER CEMENT HORIZONTAL SIDING
 - 4. COMPOSITION SHINGLE ROOF
 - 5. FIBER CEMENT TRIM
 - 6. HIGH-DENSITY FOAM TRIM
 - 7. BRACKET
 - 8. CORBELS
 - 9. CORBEL AND KICKER
 - 10. PAINTED METAL RAILING
 - 11. METAL AWNING
 - 12. GARAGE DOOR



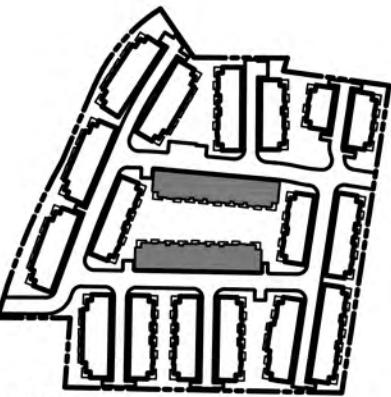
UNIT 9 UNIT 7R UNIT 5 UNIT 5 UNIT 7 UNIT 5 UNIT 5 UNIT 7 UNIT 9R

FRONT ELEVATION

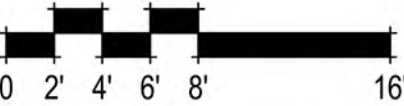


UNIT 9R

RIGHT ELEVATION



KEY MAP - N.T.S.



381.054
Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

9 UNIT BUILDING EXTERIOR ELEVATIONS
LOCATIONS: BUILDINGS S & Q A57



UNIT 9R UNIT 7 UNIT 5 UNIT 5 UNIT 7 UNIT 5 UNIT 5 UNIT 7R UNIT 9

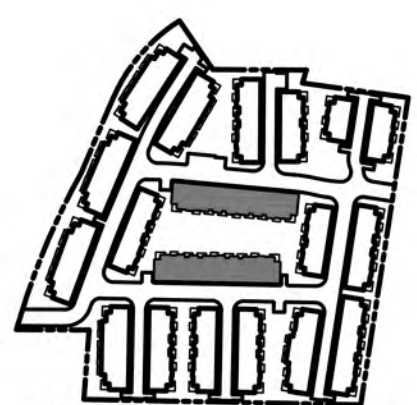
REAR ELEVATION

- MATERIALS LEGEND**
- 1. STUCCO
 - 2. BOARD AND BATT SIDING
 - 3. FIBER CEMENT HORIZONTAL SIDING
 - 4. COMPOSITION SHINGLE ROOF
 - 5. FIBER CEMENT TRIM
 - 6. HIGH-DENSITY FOAM TRIM
 - 7. BRACKET
 - 8. CORBELS
 - 9. CORBEL AND KICKER
 - 10. PAINTED METAL RAILING
 - 11. METAL AWNING
 - 12. GARAGE DOOR

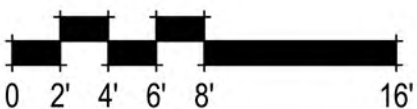


UNIT 9

LEFT ELEVATION



KEY MAP - N.T.S.



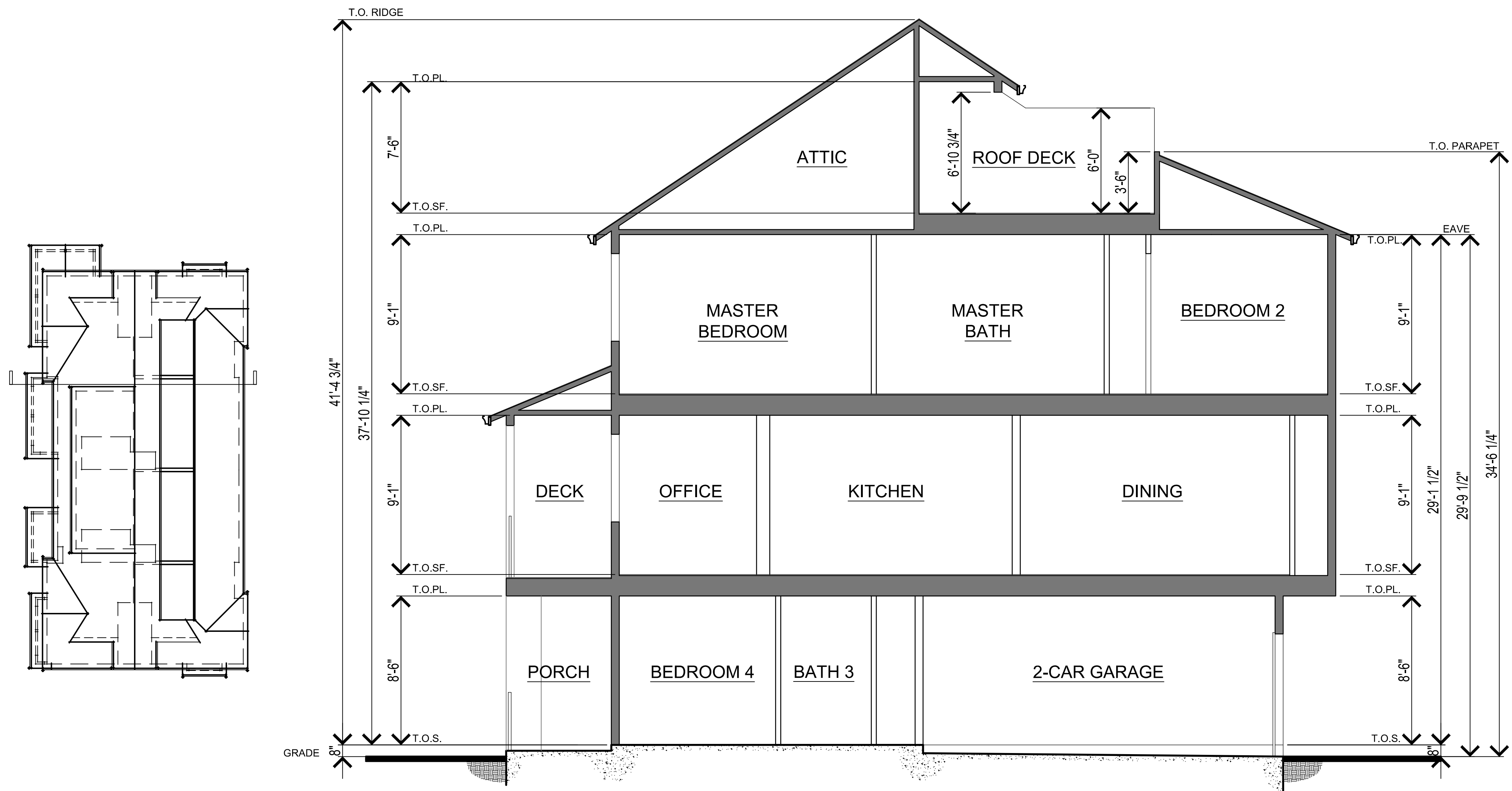
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Contra Costa County, CA
October 28, 2021

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9 UNIT BUILDING EXTERIOR ELEVATIONS
LOCATIONS: BUILDINGS S & Q A58

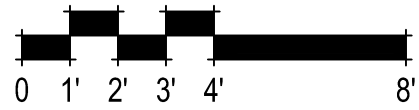
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TYPICAL BUILDING SECTION

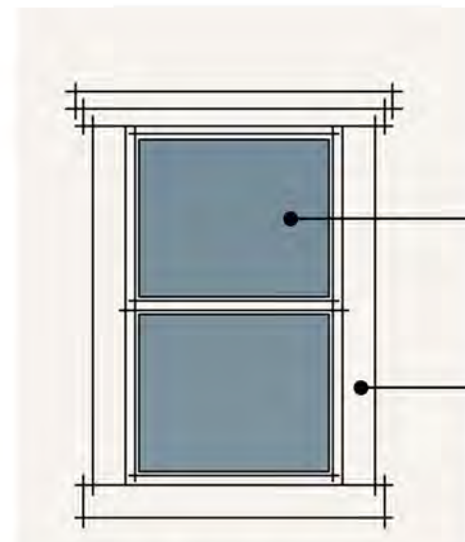
BUILDING SECTION AT ROOF DECK AT BUILDINGS H, I, & J



381.054 Oak Road Townhouse Condos
 Contra Costa County, CA
 October 28, 2021

BUILDING SECTION
 A60

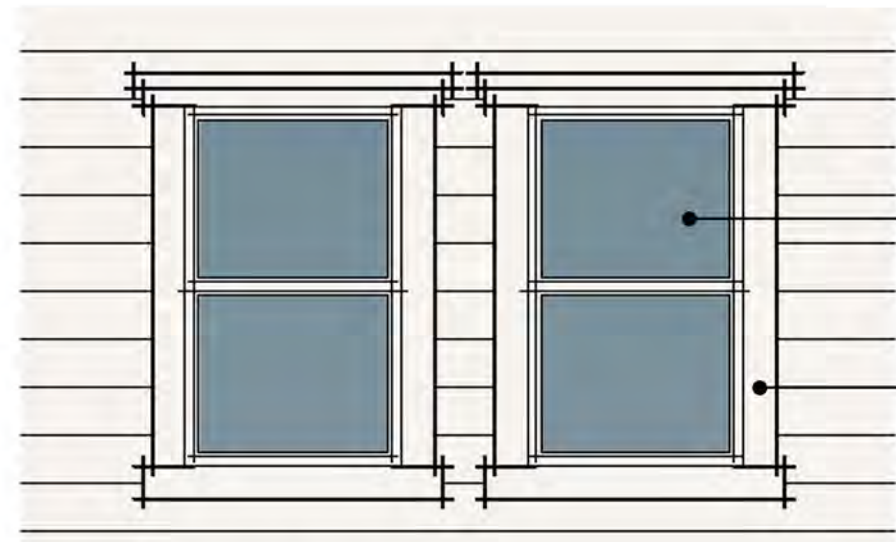




WINDOW IN 2X6
EXTERIOR WALL

2X6 FOAM TRIM
WITH LIGHT
SAND FINISH

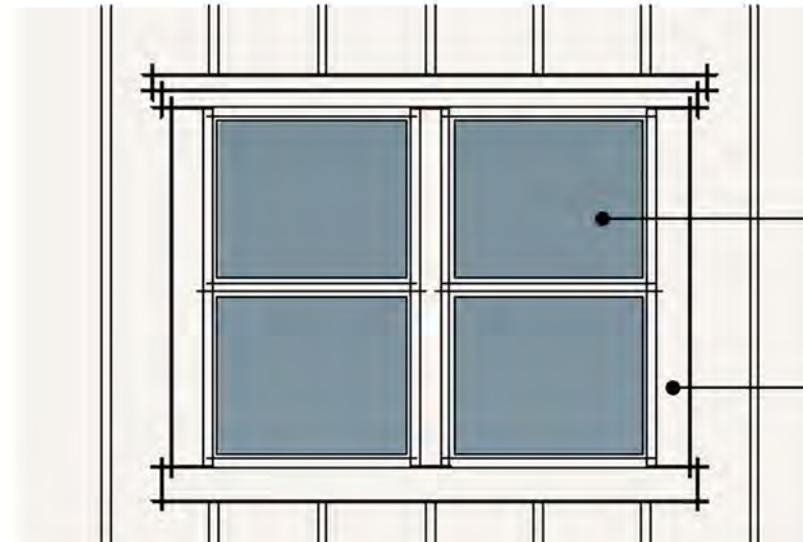
WINDOW DETAILS
AT STUCCO



WINDOW IN 2X6
EXTERIOR WALL

2X6 WOOD TRIM
ALL AROUND

WINDOW DETAILS
AT FIBER CEMENT SIDING



WINDOW IN 2X6
EXTERIOR WALL

2X6 WOOD TRIM
ALL AROUND

WINDOW DETAILS
AT BOARD & BATTEN SIDING



EXTERIOR STUCCO
DASH FINISH WITH LIGHT
SAND FINISH FOAM TRIM

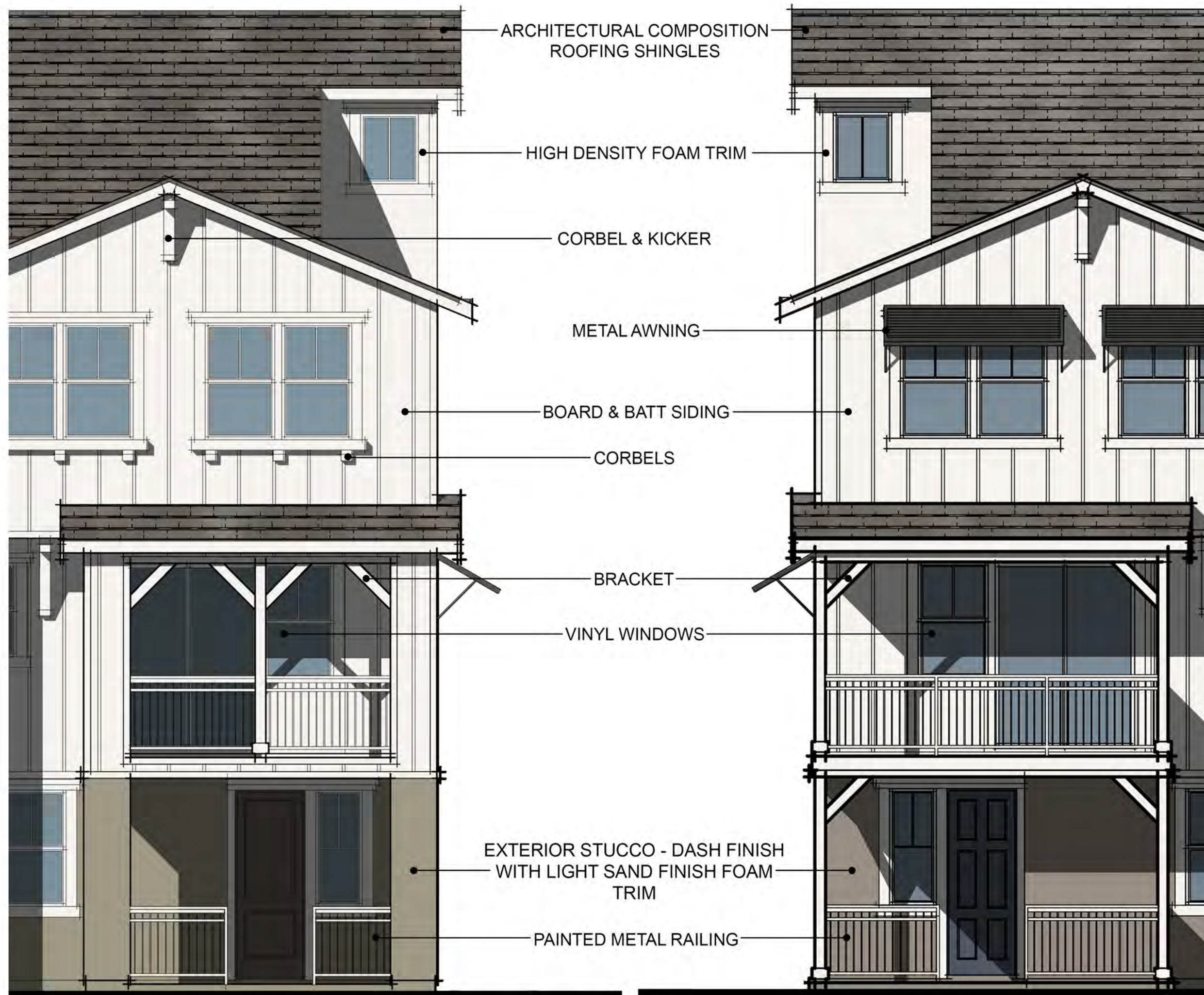
HORIZONTAL LAP SIDING

ROOF DECK

ARCHITECTURAL COMPOSITION
ROOFING SHINGLES

BOARD & BATT SIDING

ALT ROOF DECK MATERIALS



FRONT TYPICAL EXTERIOR MATERIALS



REAR TYPICAL EXTERIOR MATERIALS

ARCHITECTURAL COMPOSITION
ROOFING SHINGLES

CORBEL & KICKER

VINYL WINDOWS

BOARD & BATT SIDING

2X6 WOOD TRIM
ALL AROUND

CORBELS

EXTERIOR STUCCO - DASH FINISH
WITH LIGHT SAND FINISH FOAM TRIM

GARAGE DOORS



TDM DISPLAY

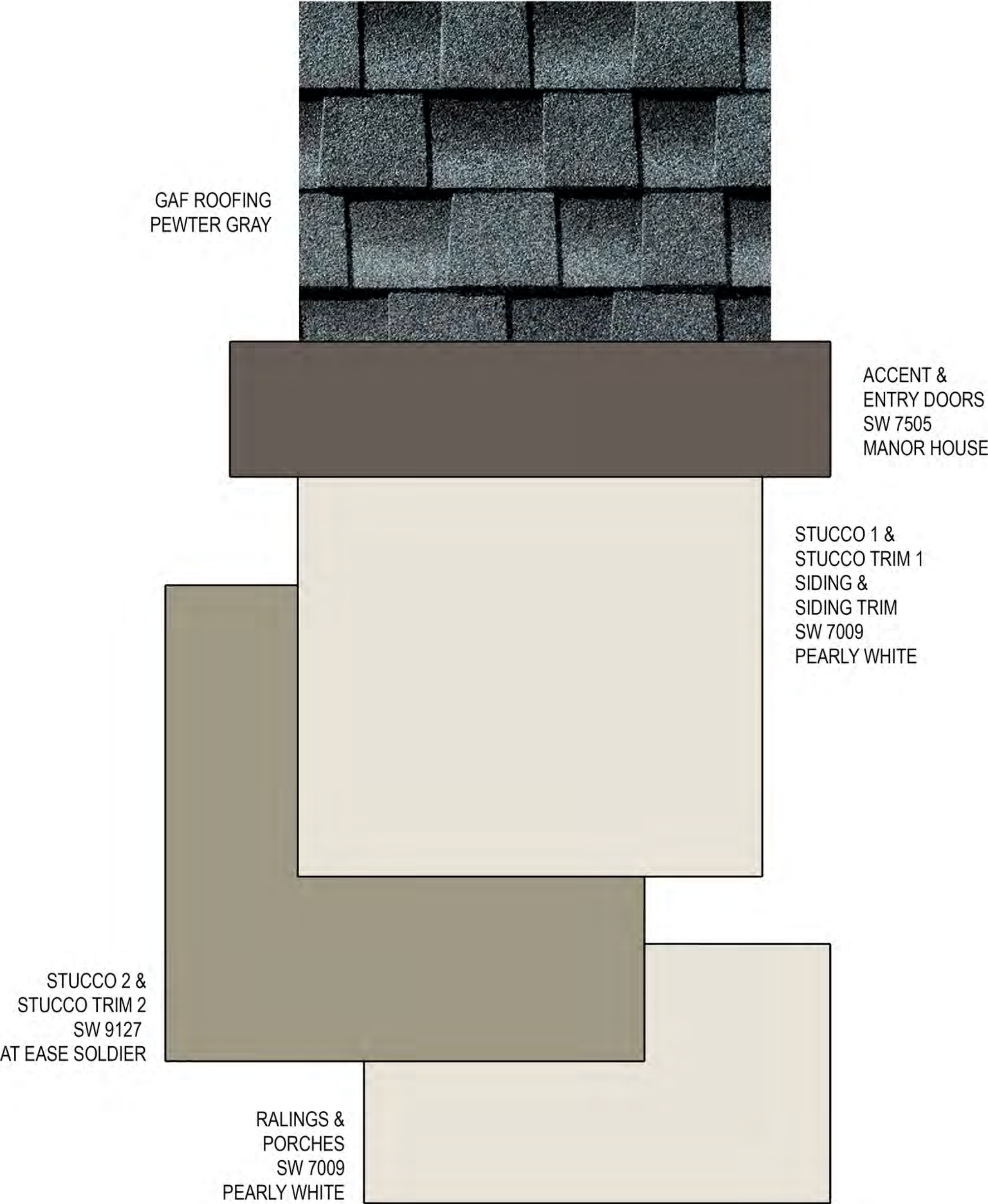
NOTE: ALL WOOD MEMBERS TO BE PRIMED AND PAINTED

381.054 Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

SCHEME 1 EXTERIOR COLOR & MATERIALS

MATERIAL	COLOR	MANUFACTURER
Roofing Composite Roofing	PEWTER GRAY	GAF
Vinyl Windows (Factory Finish)	ALMOND	AMSCO WINDOWS STUDIO SERIES
Gutters	SW 7009 PEARLY WHITE (254-C2)	SHERWIN WILLIAMS
Downspouts	PAINT TO MATCH ADJACENT BODY COLOR	SHERWIN WILLIAMS
Body 1 Stucco - Sand Finish Siding - Smooth Finish Board & Batten	SW 7009 PEARLY WHITE (254-C2)	SHERWIN WILLIAMS
Body 2 Stucco - Sand Finish Siding - Smooth Finish Board & Batten	SW 9127 AT EASE SOLDIER (212-C4)	SHERWIN WILLIAMS
Trim 1 Corbels Eaves Wood Trim	SW 7009 PEARLY WHITE (254-C2)	SHERWIN WILLIAMS
Trim 2 Corbels Eaves Wood Trim	SW 9127 AT EASE SOLDIER (212-C4)	SHERWIN WILLIAMS
Fascia	SW 7009 PEARLY WHITE (254-C2)	SHERWIN WILLIAMS
Garage Door	SW 9127 AT EASE SOLDIER (212-C4)	SHERWIN WILLIAMS
Entry Door	SW 7505 MANOR HOUSE (240-C7)	SHERWIN WILLIAMS
Utility Doors	PAINT TO MATCH ADJACENT BODY COLOR	SHERWIN WILLIAMS

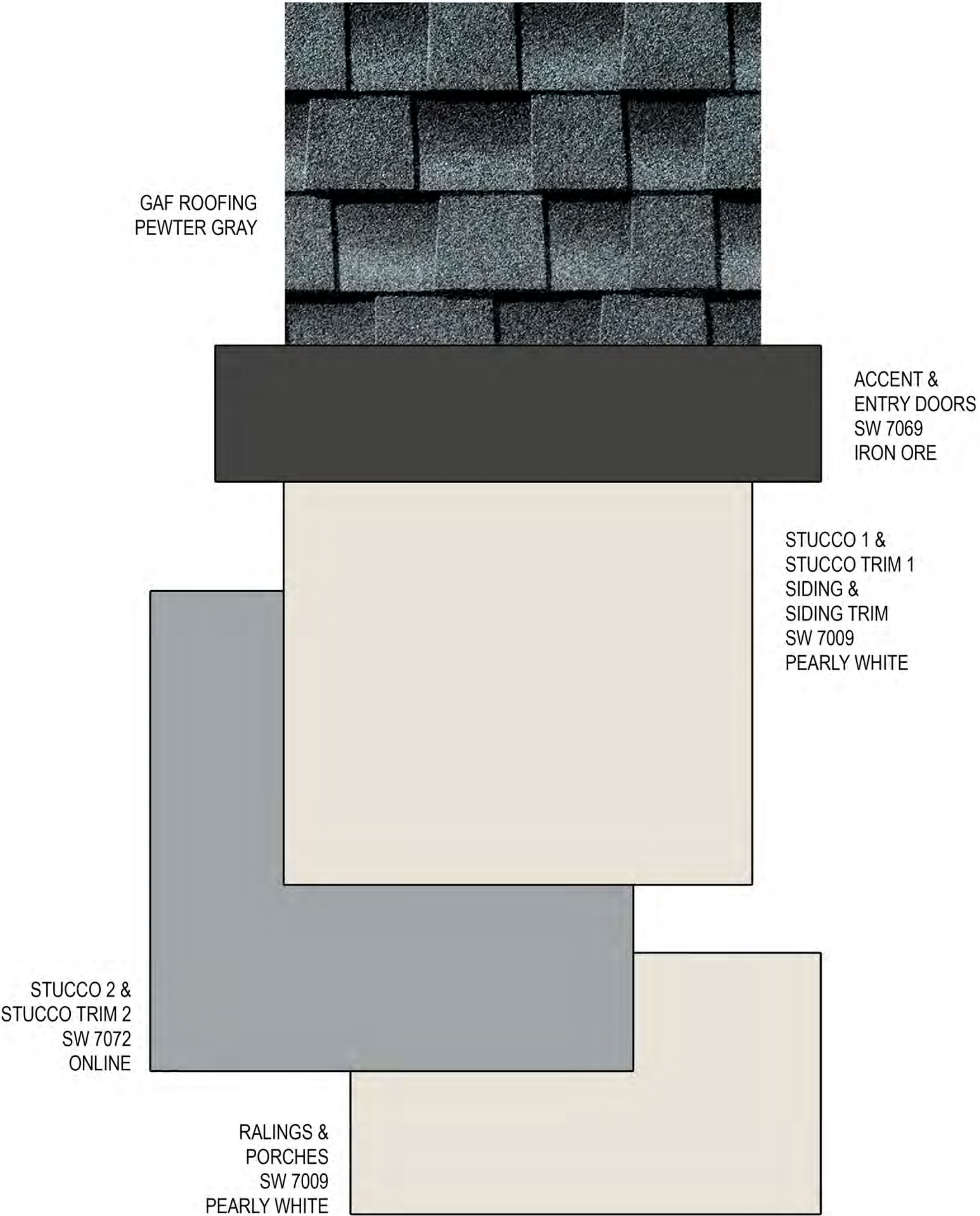
Note: All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.



SCHEME 2 EXTERIOR COLOR & MATERIALS

MATERIAL	COLOR	MANUFACTURER
Roofing Composite Roofing	PEWTER GRAY	GAF
Vinyl Windows (Factory Finish)	ALMOND	AMSCO WINDOWS STUDIO SERIES
Gutters	SW 7009 PEARLY WHITE (254-C2)	SHERWIN WILLIAMS
Downspouts	PAINT TO MATCH ADJACENT BODY COLOR	SHERWIN WILLIAMS
Body 1 Stucco - Sand Finish Siding - Smooth Finish Board & Batten	SW 7009 PEARLY WHITE (254-C2)	SHERWIN WILLIAMS
Body 2 Stucco - Sand Finish Siding - Smooth Finish Board & Batten	SW 7072 ONLINE (235-C2)	SHERWIN WILLIAMS
Trim 1 Corbels Eaves Wood Trim	SW 7009 PEARLY WHITE (254-C2)	SHERWIN WILLIAMS
Trim 2 Corbels Eaves Wood Trim	SW 7072 ONLINE (235-C2)	SHERWIN WILLIAMS
Fascia	SW 7009 PEARLY WHITE (254-C2)	SHERWIN WILLIAMS
Garage Door	SW 7072 ONLINE (235-C2)	SHERWIN WILLIAMS
Entry Door	SW 7069 IRON ORE (251-C7)	SHERWIN WILLIAMS
Utility Doors	PAINT TO MATCH ADJACENT BODY COLOR	SHERWIN WILLIAMS

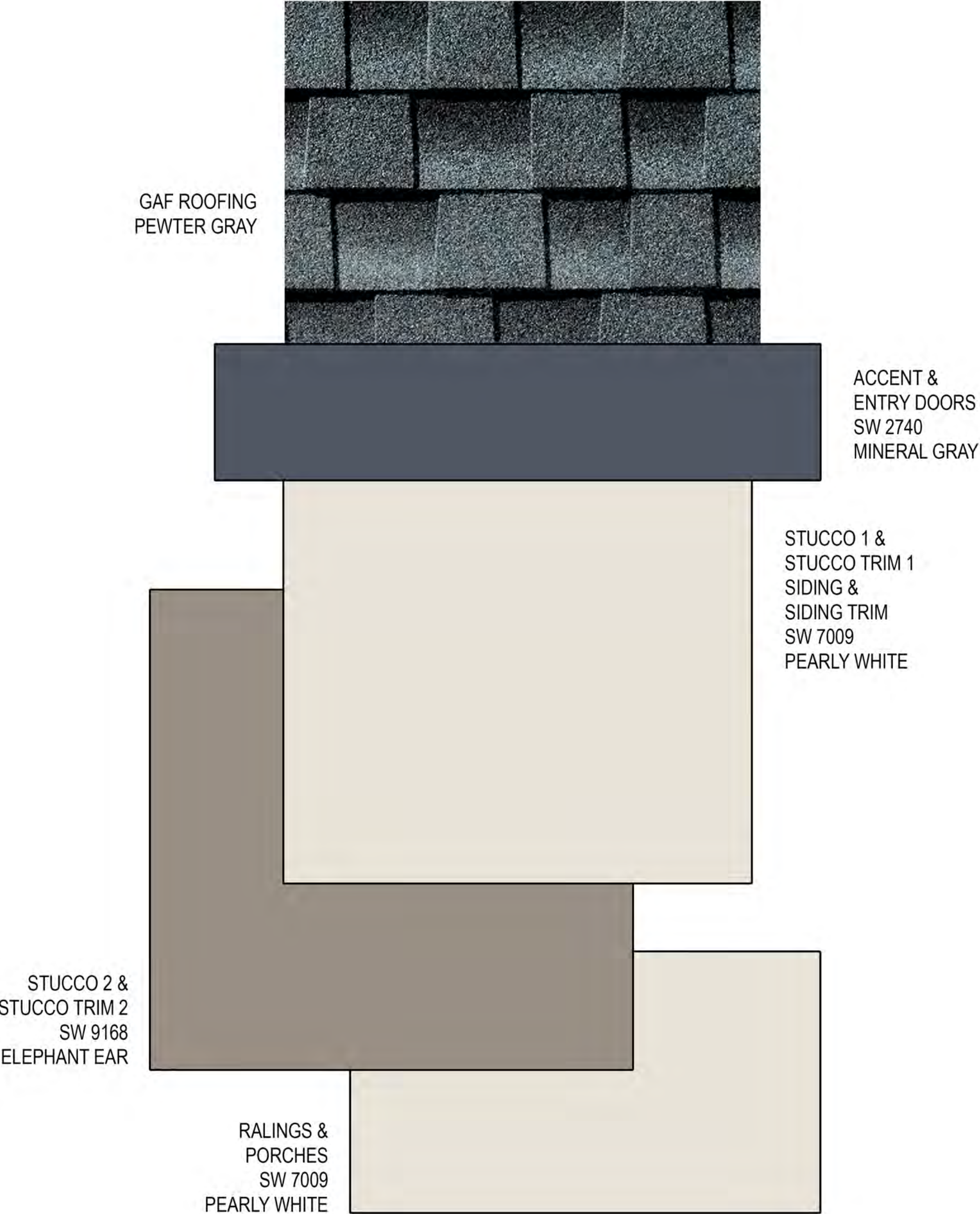
Note: All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.

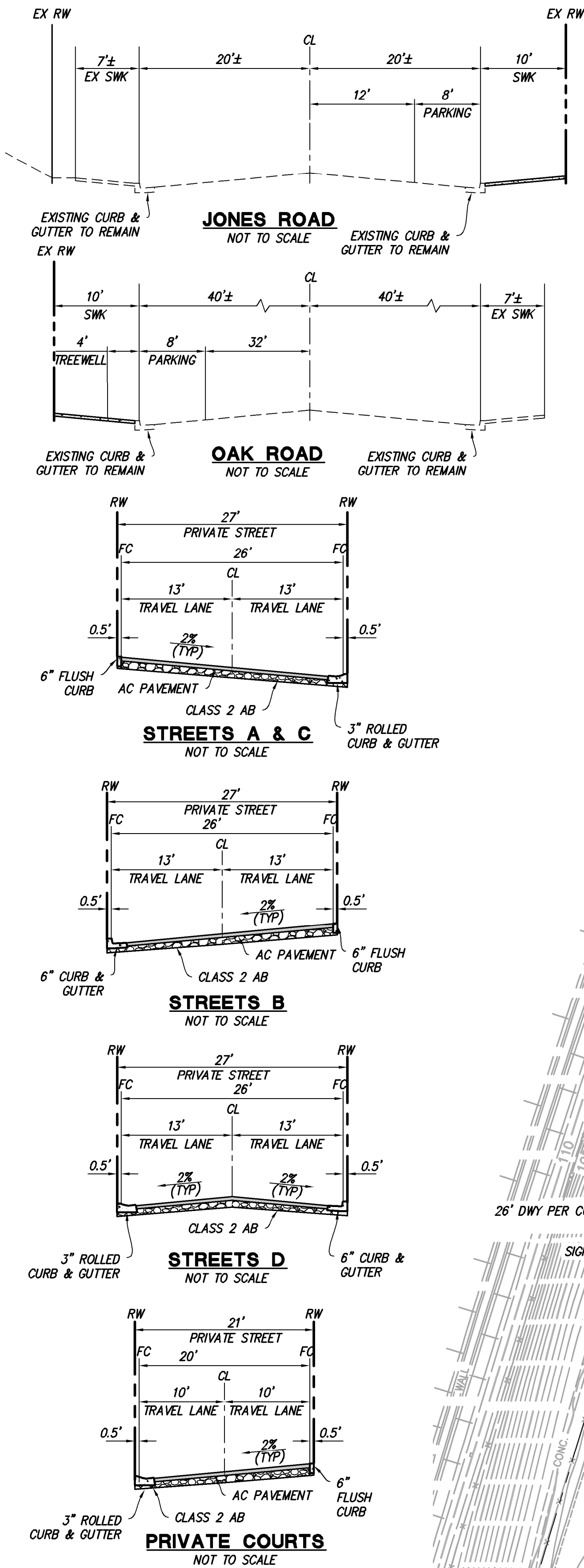


SCHEME 3 EXTERIOR COLOR & MATERIALS

MATERIAL	COLOR	MANUFACTURER
Roofing Composite Roofing	PEWTER GRAY	GAF
Vinyl Windows (Factory Finish)	ALMOND	AMSCO WINDOWS STUDIO SERIES
Gutters	SW 7009 PEARLY WHITE (254-C2)	SHERWIN WILLIAMS
Downspouts	PAINT TO MATCH ADJACENT BODY COLOR	SHERWIN WILLIAMS
Body 1 Stucco - Sand Finish Siding - Smooth Finish Board & Batten	SW 7009 PEARLY WHITE (254-C2)	SHERWIN WILLIAMS
Body 2 Stucco - Sand Finish Siding - Smooth Finish Board & Batten	SW 9168 ELEPHANT EAR (241-C4)	SHERWIN WILLIAMS
Trim 1 Corbels Eaves Wood Trim	SW 7009 PEARLY WHITE (254-C2)	SHERWIN WILLIAMS
Trim 2 Corbels Eaves Wood Trim	SW 9168 ELEPHANT EAR (241-C4)	SHERWIN WILLIAMS
Fascia	SW 7009 PEARLY WHITE (254-C2)	SHERWIN WILLIAMS
Garage Door	SW 9168 ELEPHANT EAR (241-C4)	SHERWIN WILLIAMS
Entry Door	SW 2740 MINERAL GRAY (253-C5)	SHERWIN WILLIAMS
Utility Doors	PAINT TO MATCH ADJACENT BODY COLOR	SHERWIN WILLIAMS

Note: All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.





Oak Road Townhouse Condo's
Contra Costa County, CA
October 28, 2021



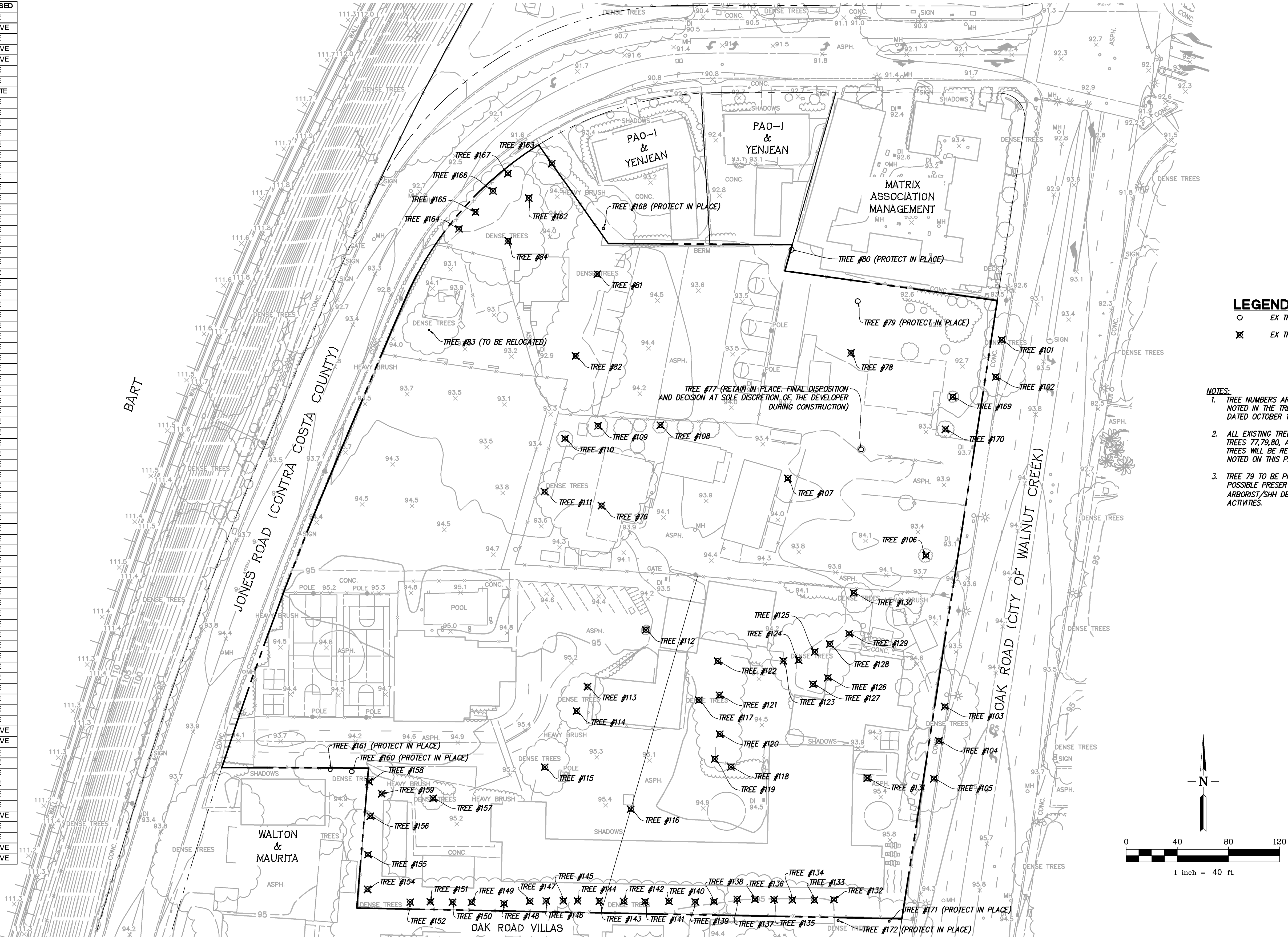
SITE DATA SUMMARY	
1. GROSS AREA:	255,535 SF (5.86± ACRES)
2. NET AREA:	204,428 SF (4.69± ACRES)
3. NUMBER OF UNITS:	125
4. NET DENSITY:	26.6 UNITS/ACRE
5. PROPOSED NUMBER OF LOTS:	30
6. PARKING SUMMARY:	
a. GARAGE	244
b. <u>ONSITE</u>	
STANDARD	18
EXCLUSIVE USE	6
ADA	2
EV	1
TOTAL=	27
c. <u>OFFSITE</u> (SEE NOTE 1 BELOW)	
OAK ROAD	12
JONES ROAD	16
TOTAL=	28
7. SITE COVERAGE CALCULATIONS:	
a. STREETS & COURTS	= 73,930 SF
b. BUILDING	= 127,788 SF
c. COMMON LANDSCAPED OPEN SPACE	= 55,093 SF
d. PRIVATE OPEN SPACE	= 33,760 SF
TOTAL =	290,551 SF

LEGEND	
⑨	LOT NUMBER
①	ADA STALL
⑪	STANDARD STALL
⚠	EV STALL
♿	ADA UNIT (13 TOTAL)
●	BMR UNIT - 4 BEDROOM (6 TOTAL)
●	BMR UNIT - 3 BEDROOM (4 TOTAL)
🏠	EXCLUSIVE USE SURFACE PARKING FOR 6-4 BEDROOM BMR UNITS (SEE NOTE 4 BELOW)
---	SIGHT LINE
🚗	CAR
---	RED CURB
■	AC UNIT

- NOTES:**
- A TOTAL OF 28 PARKING (UN-STRIPED) SPACES AREA AVAILABLE FOR RESIDENTS USE ALONG PROJECT FRONTAGE ON OAK ROAD AND JONES ROAD.
 - MODELS ARE TENTATIVELY PLANNED TO BE IN BUILDING I. TEMPORARY MODEL/SALES OFFICE TRAILER, PARKING, AND ACCESSIBLE RESTROOM ARE TENTATIVELY PLANNED TO BE AT BUILDING H AREA. AN ADA ACCESSIBLE PATH FROM THE TEMPORARY SALES TRAILER/PARKING WILL BE PROVIDED TO ACCESS THE MODELS IN BUILDING I. OTHER BUILDING AREAS MAY BE USED FOR CONSTRUCTION STAGING OR PARKING DURING THE COURSE OF SALES OPERATION.
 - LOCATIONS OF EXCLUSIVE USE SURFACE PARKING ARE TENTATIVE AND SUBJECT TO CHANGE DURING FINAL DESIGN.
 - ALL EXISTING RED CURB ALONG THE PROJECT FRONTAGE SHALL BE REMOVED THAT IS NOT SHOWN TO REMAIN ON THIS SHEET.
 - NOT ALL UNITS INCLUDE ENCLOSED FRONT PATIOS.
 - MODEL OVERFLOW GRAVEL PARKING LOT IS TENTATIVELY PLANNED TO BE AT BUILDING G AREA.
 - TREE 79 TO BE PRESERVED AND PROTECT IN PLACE. POSSIBLE PRESERVATION OF TREE 77 SUBJECT TO ARBORIST/SHH DEFEMINATION DURING CONSTRUCTION ACTIVITIES

FINAL SITE DEVELOPMENT PLAN
C1.0

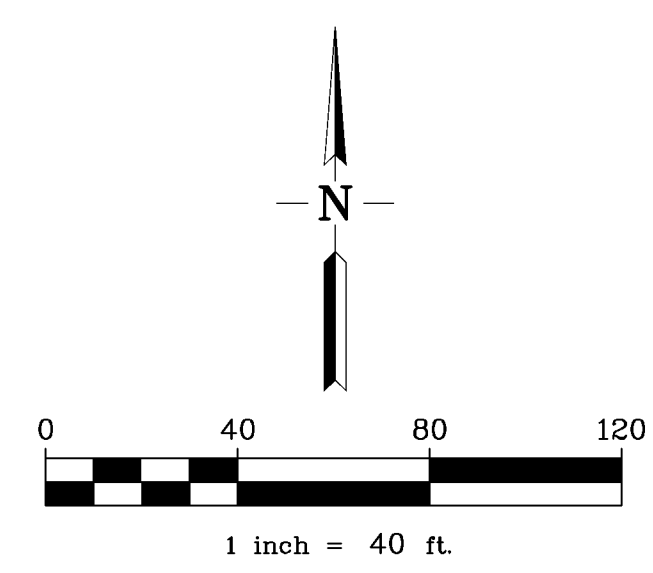
TREE NO.	COMMON NAME	PROPOSED
76	VALLEY OAK	REMOVE
77	VALLEY OAK	PRESERVE
78	VALLEY OAK	REMOVE
79	VALLEY OAK	PRESERVE
80	VALLEY OAK	PRESERVE
81	VALLEY OAK	REMOVE
82	VALLEY OAK	REMOVE
83	VALLEY OAK	RELOCATE
84	VALLEY OAK	REMOVE
101	SCARLET OAK	REMOVE
102	SCARLET OAK	REMOVE
103	SCARLET OAK	REMOVE
104	SCARLET OAK	REMOVE
105	SCARLET OAK	REMOVE
106	PEAR	REMOVE
107	GLOSSY PRIVET	REMOVE
108	ALMOND	REMOVE
109	GLOSSY PRIVET	REMOVE
110	APPLE	REMOVE
111	CHERRY	REMOVE
112	MULBERRY	REMOVE
113	COAST REDWOOD	REMOVE
114	COAST REDWOOD	REMOVE
115	COAST REDWOOD	REMOVE
116	MULBERRY	REMOVE
117	MULBERRY	REMOVE
118	MULBERRY	REMOVE
119	SOUTHERN MAGNOLIA	REMOVE
120	SOUTHERN MAGNOLIA	REMOVE
121	FIG	REMOVE
122	SOUTHERN MAGNOLIA	REMOVE
123	GLOSSY PRIVET	REMOVE
124	GLOSSY PRIVET	REMOVE
125	GLOSSY PRIVET	REMOVE
126	GLOSSY PRIVET	REMOVE
127	GLOSSY PRIVET	REMOVE
128	WHITE ASH	REMOVE
129	GLOSSY PRIVET	REMOVE
130	OLIVE	REMOVE
131	MULBERRY	REMOVE
132	COAST REDWOOD	REMOVE
133	COAST REDWOOD	REMOVE
134	COAST REDWOOD	REMOVE
135	COAST REDWOOD	REMOVE
136	COAST REDWOOD	REMOVE
137	COAST REDWOOD	REMOVE
138	COAST REDWOOD	REMOVE
139	COAST REDWOOD	REMOVE
140	COAST REDWOOD	REMOVE
141	COAST REDWOOD	REMOVE
142	COAST REDWOOD	REMOVE
143	COAST REDWOOD	REMOVE
144	COAST REDWOOD	REMOVE
145	PERSIMMON	REMOVE
146	COAST REDWOOD	REMOVE
147	COAST REDWOOD	REMOVE
148	COAST REDWOOD	REMOVE
149	COAST REDWOOD	REMOVE
150	COAST REDWOOD	REMOVE
151	COAST REDWOOD	REMOVE
152	PERSIMMON	REMOVE
153	PLUM	REMOVE
155	CALIF. BAY	REMOVE
156	CALIF. BAY	REMOVE
157	COAST REDWOOD	REMOVE
158	ORIENTAL	REMOVE
159	ORIENTAL	REMOVE
160	SILVER DOLLAR GUM	PRESERVE
161	SILVER DOLLAR GUM	PRESERVE
162	ENGLISH WALNUT	REMOVE
163	ENGLISH WALNUT	REMOVE
164	COAST REDWOOD	REMOVE
165	COAST REDWOOD	REMOVE
166	COAST REDWOOD	REMOVE
167	COAST REDWOOD	REMOVE
168	DEODAR CEDAR	PRESERVE
169	PLUM	REMOVE
170	POMEGRANATE	REMOVE
171	RED OAK	PRESERVE
172	RED OAK	PRESERVE





- LEGEND**
- ACCESSIBLE ROUTE
 - ♿ ACCESSIBLE UNIT
 - ♿ ADA PARKING

NOTE:
 1. TOTAL NUMBER OF ADA UNITS IS 10% OF TOTAL NUMBER OF UNITS.
 125 UNITS x 10% = 13 ADA UNITS



Oak Road Townhouse Condo's
 Contra Costa County, CA
 October 28, 2021

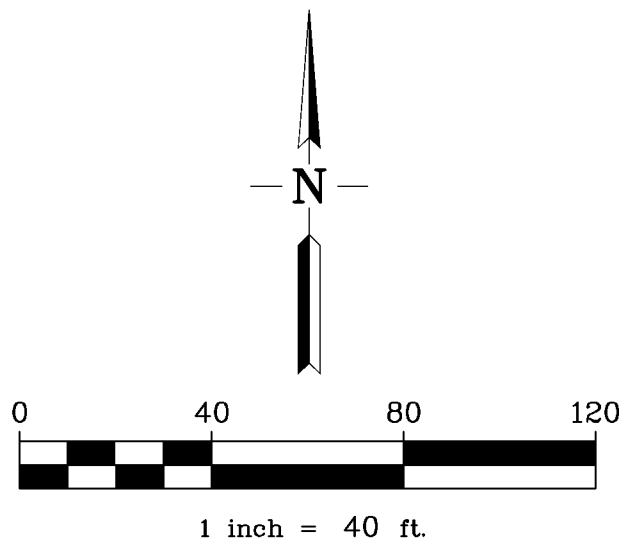
PRELIMINARY SITE ACCESSIBILITY PLAN
 C3.0



LEGEND

- FIRE ACCESS ROUTE
- FIRE HYDRANT
- EXISTING FIRE HYDRANT
- TURNING R
- 25' INSIDE TURNING RADIUS
- 45' OUTSIDE TURNING RADIUS

- NOTES:**
- FIRE ACCESS ROADWAYS SHALL HAVE "NO PARKING-FIRE LANE" SIGN POSTED OR CURB PAINTED RED WITH THE WORDS "NO PARKING-FIRE LANE" CLEARLY MARKED.
 - FIRE HYDRANTS SHALL BE EAST BAY TYPE IN COMPLIANCE WITH CHAPTER 5 AND APPENDIX B AND C OF THE CALIFORNIA FIRE CODE (C103.1).



Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021



Oak Road Townhouse Condo's
Contra Costa County, CA
October 28, 2021

PRELIMINARY SOLID WASTE MANAGEMENT PLAN
C5.0

BENCHMARK

BENCHMARK IS COUNTY BENCHMARK 3625, SET IN N.E. CORNER OF WALKWAY ON BRIDGE OVER WALNUT CREEK AT INTERSECTION WALNUT BOULEVARD, CHERRY LANE, AND WALDEN ROAD.

ELEVATION: 111.982 (NAVD 88)

LEGEND

PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	
---	LOT LINE	
---	RIGHT OF WAY	
---	CENTER LINE	
---	MATCH LINE	
---	RETAINING WALL	
---	EASEMENT LINE	
---	STORM DRAIN	EX 12" SD
---	SANITARY SEWER	EX 12" SS
---	POTABLE WATER	EX 12" W
---	RECYCLED WATER	EX 8" WR
---	CURB & GUTTER	EX FC
---	SAWCUT	
---	SIDEWALK	
---	EARTH OR GRASS SWALE	
---	VALLEY GUTTER	
---	STORM WATER INLET	
---	DROP INLET	
---	AREA DRAIN	
---	BUBBLE UP	
---	MANHOLE	
---	SANITARY SEWER CLEAN OUT	
---	SANITARY SEWER LATERAL	
---	FIRE HYDRANT	
---	BLOW OFF	
---	WATER SERVICE WITH METER BOX	
---	BACKFLOW DEVICE	
---	WATER VALVE	
---	AIR RELEASE VALVE	
---	POST INDICATOR VALVE	
---	FIRE DEPARTMENT CONNECTION	
---	SINGLE ARM STREET LIGHT	
---	DOUBLE ARM STREET LIGHT	
---	POST TOP LIGHT	
---	PEDESTRIAN LIGHT	
---	MONUMENT	
---	TRAFFIC SIGN	
---	STREET NAME SIGN	
---	FENCE	
---	BARRICADE	
---	CURB RAMP	
---	CONTOUR ELEVATIONS	
---	SPOT ELEVATION	
---	NEW ASPHALT PAVEMENT	
---	BIO-RETENTION AREA IN LANDSCAPE AREA	
---	BIO-RETENTION AREA ADJACENT TO SIDEWALK	
---	HYDROMOD VAULT	

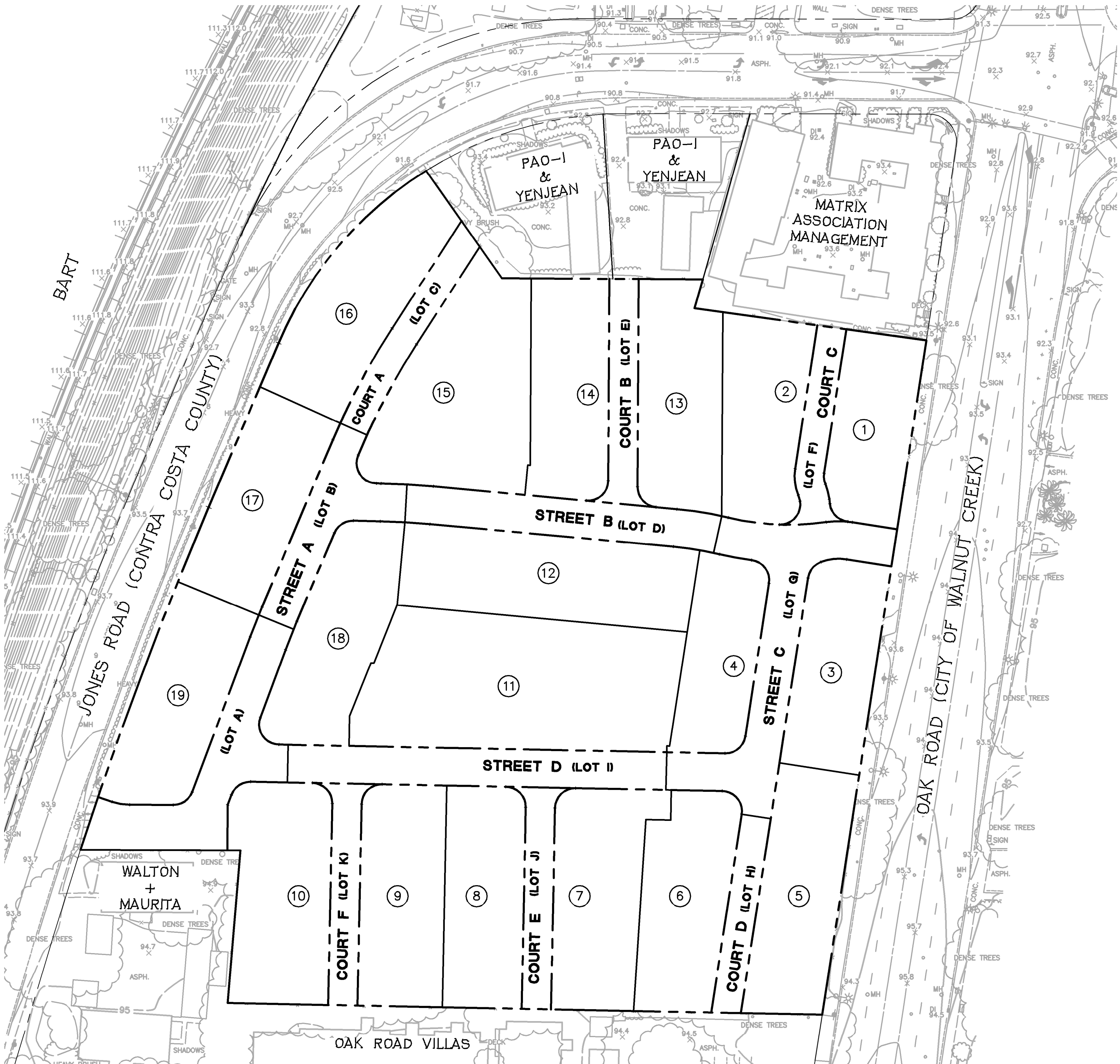
ABBREVIATIONS

AB	AGGREGATE BASE	P	PAD ELEVATION
AC	ASPHALT CONCRETE	PAE	PRIVATE ACCESS EASEMENT
AD	AREA DRAIN	PAV	PAVEMENT
BC	BEGINNING OF CURVE	PL	PROPERTY LINE
BOC	BACK OF CURVE	PL	PRIVATE VEHICULAR AND PEDESTRIAN
BNDY	BOUNDARY	PL	INGRESS AND EGRESS EASEMENT
BOT	BOTTOM	PSSE	PRIVATE SANITARY SEWER EASEMENT
BSW	BACK OF SIDEWALK	PSSE	PRIVATE STORM DRAIN EASEMENT
BW	BOTTOM OF WALL	PWLE	PRIVATE WATER LINE EASEMENT
CL	CENTER LINE	PUE	PUBLIC UTILITY EASEMENT
DI	DROP INLET	PVC	POLYVINYL CHLORIDE PIPE
DMA	DRAINAGE MANAGEMENT AREA	RET	CURB RETURN
DU	DWELLING UNITS	RW	RIGHT OF WAY
EC	END OF CURVE	SD	STORM DRAIN
ESMT	EASEMENT	SF	SQUARE FEET
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SL	STREET LIGHT
EX	EXISTING	SL	STREET NAME SIGN
FC	FACE OF CURB	SS	SANITARY SEWER
FF	FINISHED FLOOR	SSCO	SANITARY SEWER CLEANOUT
FG	FINISHED GRADE	STD	STANDARD
FH	FIRE HYDRANT	SWE	PUBLIC SIDEWALK EASEMENT
FL	FLOW LINE	SWK	SIDEWALK
GB	GRADE BREAK	SW	STORM WATER INLET
HP	HIGH POINT	TC	TOP OF CURB
INV	INVERT ELEVATION	TCM	TREATMENT CONTROL MEASURE
LAT	LATERAL	TG	TOP OF GRATE
LF	LINEAR FOOT	TW	TOP OF WALL
LP	LOW POINT	TYP	TYPICAL
JT	JOINT TRENCH	W	WATER LINE
MAX	MAXIMUM	WLE	WATER LINE EASEMENT
MH	MANHOLE	WM	WATER METER
MIN	MINIMUM	WS	WATER SERVICE
OH	OVERHEAD		

VESTING TENTATIVE MAP - SUB 9559
OAK ROAD TOWNHOUSE CONDOS

CONTRA COSTA COUNTY, CALIFORNIA

FOR: SUMMERHILL HOMES
(FOR 125 FOR SALE CONDOMINIUM UNITS)

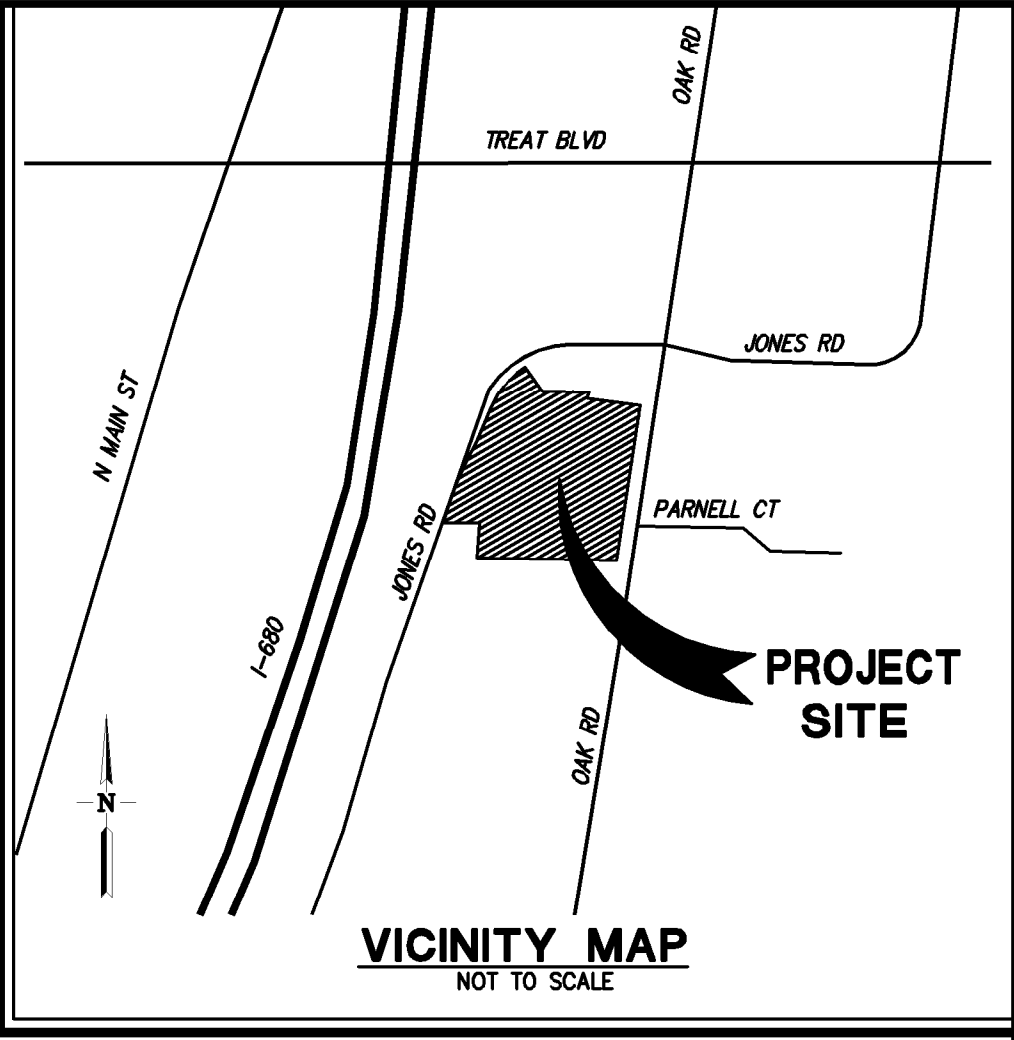


SHEET INDEX

SHEET NO.	DESCRIPTION
TM1.0	TITLE SHEET
TM2.0	EXISTING CONDITIONS PLAN
TM3.0	PROPOSED LOTTING PLAN
TM4.0	PRELIMINARY GRADING AND DRAINAGE PLAN
TM5.0	PRELIMINARY UTILITY PLAN
TM6.0	PRELIMINARY STORMWATER TREATMENT PLAN
TM7.0	TYPICAL SECTIONS & DETAILS

LOCATION MAP

SCALE: 1"=50'

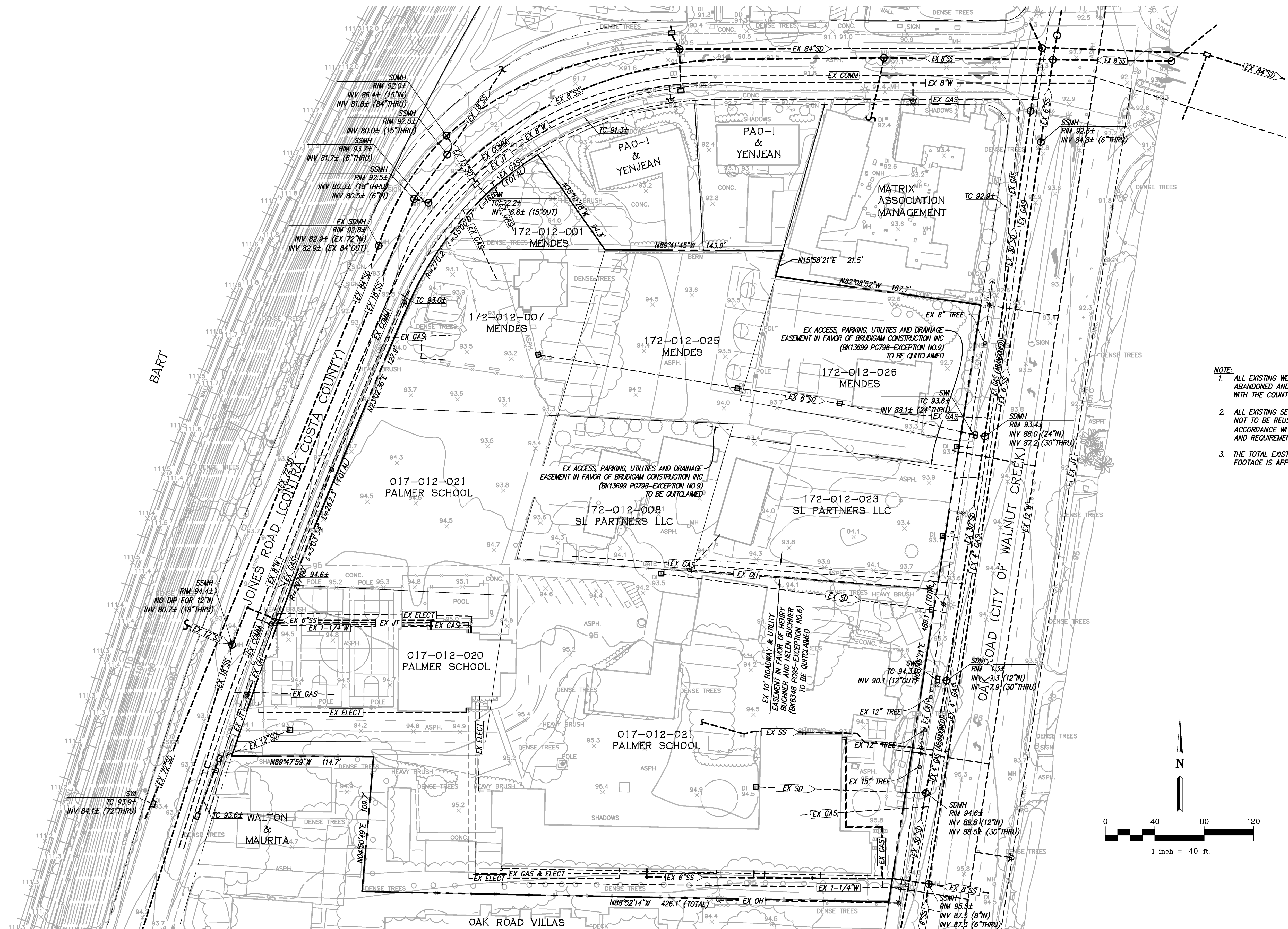


- OWNER: PALMER SCHOOL FOR GIRLS AND BOYS
C/O SUMMERHILL HOMES
3000 EXECUTIVE PARKWAY, SUITE 450
SAN RAMON, CA 94583
(925) 244-7513
CONTACT: MARSHALL TORRE
- DEVELOPER: SUMMERHILL HOMES
3000 EXECUTIVE PARKWAY, SUITE 450
SAN RAMON, CA 94583
(925) 244-7513
CONTACT: MARSHALL TORRE
- CIVIL ENGINEER: RUGGERI-JENSEN-AZAR
4690 CHABOT DRIVE, SUITE 200
PLEASANTON, CA 94588
(925) 227-9100
CONTACT: DOMINIC CARUCCI, RCE 85585
- GEOTECHNICAL ENGINEER: ENGEO
2010 CROW CANYON PLACE, SUITE 250
SAN RAMON, CA 94583
(925) 866-9000
CONTACT: BOB BOUCHE
- ASSESSOR'S PARCEL NUMBERS: 172-012-001-1, 172-012-007-8,
172-012-020-1, 172-012-025,
172-012-026-8, 172-012-023-5,
172-012-008-6, 172-012-021-9
- PROPERTY DESCRIPTION: PORTION OF LOTS 31, 32, 33, 54, 55, 56, AND 57 OF THE MAP OF SUBDIVISION NO. 1
- LARKEY RANCH, WALNUT CREEK, CALIFORNIA, FILED JANUARY 5TH, 1911, IN BOOK 4
OF MAPS, PAGE 79, IN THE OFFICE OF THE COUNTY RECORDS OF CONTRA COSTA
COUNTY, CALIFORNIA.
- EXISTING USE: SCHOOL
- PROPOSED USE: RESIDENTIAL
- EXISTING ZONING: M-29 MULTIFAMILY RESIDENTIAL/R-15 SINGLE
FAMILY RESIDENTIAL
- PROPOSED ZONING: P1
- GENERAL PLAN LAND DESIGNATION: MH (MULTIPLE FAMILY RESIDENTIAL)
- GROSS AREA: 5.86± ACRES
- TOTAL NUMBER OF LOTS: 30
- TOTAL NUMBER OF UNITS: 125 FOR SALE UNITS
- UTILITIES:
 - a. WATER: CONTRA COSTA COUNTY WATER DISTRICT
 - b. SANITARY SEWER: CENTRAL CONTRA COSTA SANITATION DISTRICT
 - c. STORM DRAIN: CONTRA COSTA COUNTY
 - d. ELECTRIC: PACIFIC GAS AND ELECTRIC
 - e. TELEPHONE: AT&T
 - f. CABLE TV: COMCAST
- TOPOGRAPHIC INFORMATION SHOWN IS BASED ON AERIAL SURVEY PREPARED IN
DECEMBER 2020.
- THE PROPERTY IS WITHIN ZONE X-AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD
PLAIN AS SHOWN IN FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER
06013C0291F, DATED JUNE 16, 2009
- IN COMPLIANCE WITH BEST MANAGEMENT PRACTICES FOR STORMWATER MANAGEMENT TO
MINIMIZE POLLUTANTS FROM ENTERING INTO UNDERGROUND STORM DRAINS,
BIORETENTION AREAS ARE PROPOSED TO TREAT STORMWATER RUNOFF. THE PROPOSED
STORMWATER TREATMENT MEASURES WILL BE MAINTAINED BY THE HOMEOWNERS'
ASSOCIATION IN ACCORDANCE WITH THE CCAR'S.
- IT IS THE INTENT OF THE DEVELOPER TO FILE CONDOMINIUM PLANS AFTER THE FINAL
MAP APPROVAL.

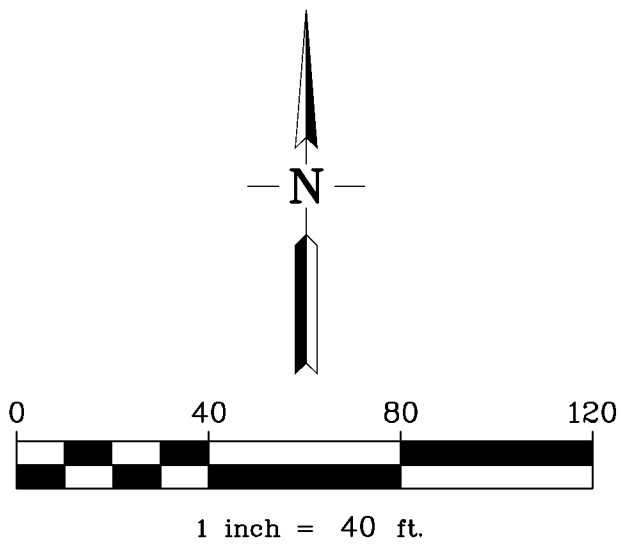


RUGGERI-JENSEN-AZAR
ENGINEERS • PLANNERS • SURVEYORS
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
PHONE: (925) 227-9100 FAX: (925) 227-9300

G:\2020\201059 CAD FILES\02-PLANNING\TEXT-MAP1\TM2.DWG 11/1/2021 1:56:28 PM WILL BARTALINI



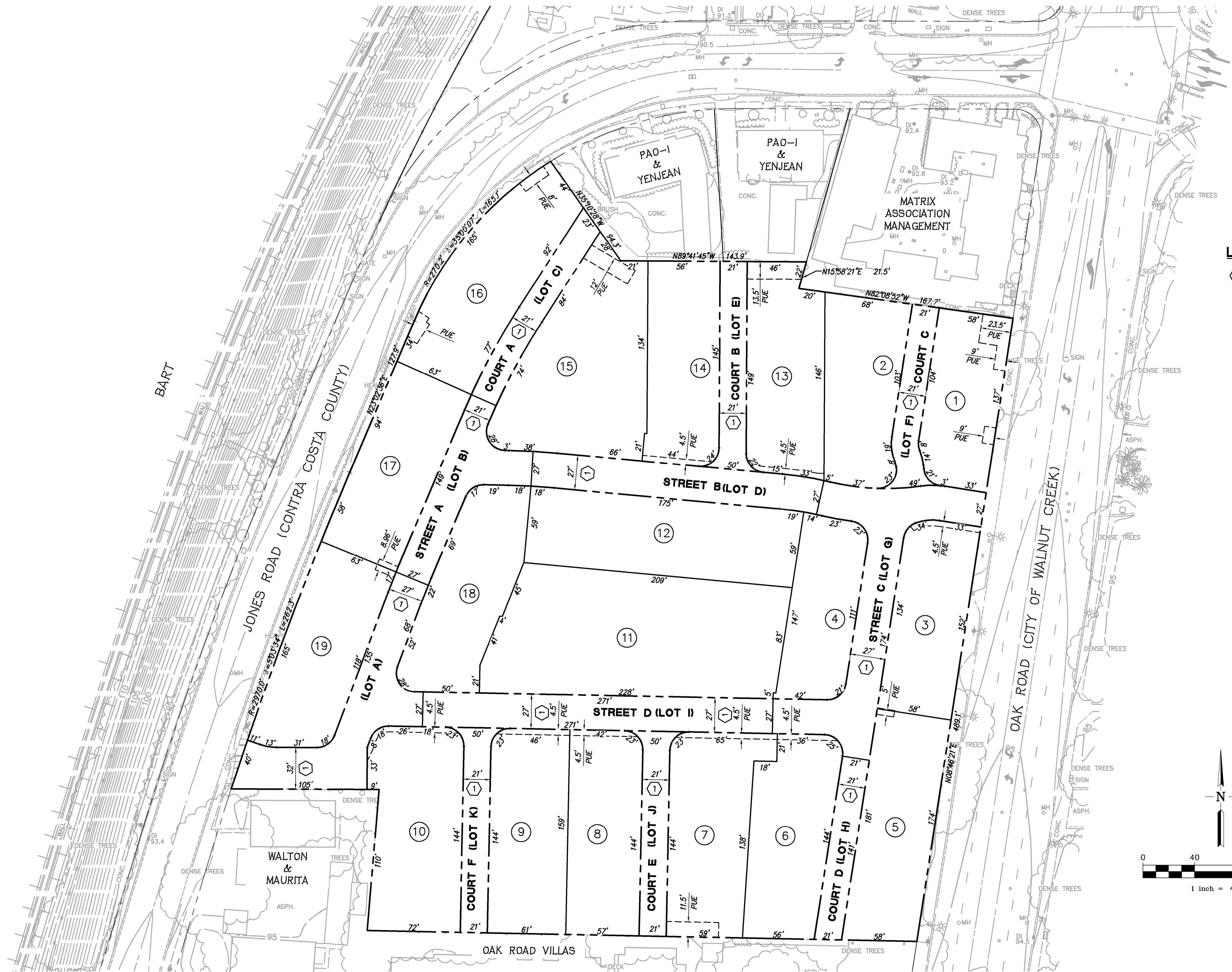
- NOTE:
1. ALL EXISTING WELLS ON-SITE ARE TO BE ABANDONED AND CAPPED IN ACCORDANCE WITH THE COUNTY REQUIREMENTS.
 2. ALL EXISTING SERVICES AND/OR LATERALS NOT TO BE REUSED SHALL BE ABANDONED IN ACCORDANCE WITH THE AGENCY'S STANDARDS AND REQUIREMENTS.
 3. THE TOTAL EXISTING BUILDING SQUARE FOOTAGE IS APPROXIMATELY 33,515±SF.



EXISTING CONDITIONS PLAN
SUB 9559-OAK ROAD TOWNHOME CONDOMINIUMS
CONTRA COSTA COUNTY, CALIFORNIA
FOR: SUMMERHILL HOMES

RJA
RUGGERI-JENSEN-AZAR
ENGINEERS • PLANNERS • SURVEYORS
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
PHONE: (925) 227-9100 FAX: (925) 227-9300

G:\022020\201069\02-PLANNING\TEXT-MAP\T3A.CDL-201069.DWG 11/1/2021 2:22:23 PM WILL BARTALINI

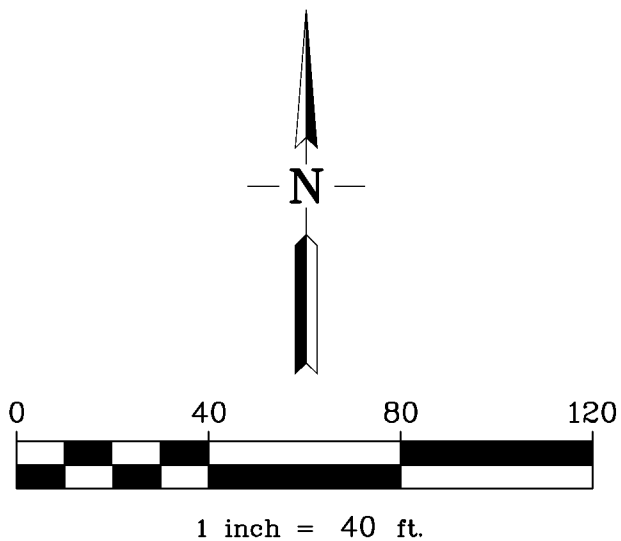


LEGEND

① EVAE, PUE, AND PAE

LOT AREA TABLE

LOT #	AREA (SF)
1	7,695
2	8,533
3	8,674
4	7,389
5	10,268
6	9,539
7	10,282
8	8,988
9	9,624
10	11,086
11	21,087
12	12,607
13	9,552
14	8,834
15	14,582
16	11,263
17	9,478
18	9,924
19	9,869
A	8,076
B	5,058
C	3,426
D	6,061
E	3,478
F	3,074
G	9,913
H	2,990
I	7,324
J	3,428
K	3,428



PROPOSED LOTTING PLAN
SUB 9559-OAK ROAD TOWNHOME CONDOMINIUMS
CONTRA COSTA COUNTY, CALIFORNIA
FOR: SUMMERHILL HOMES

RJA
RUGGERI-JENSEN-AZAR
ENGINEERS • PLANNERS • SURVEYORS
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
PHONE: (925) 227-9100 FAX: (925) 227-9300

DATE: OCTOBER 28, 2021 JOB NO. 201069

TM3.0

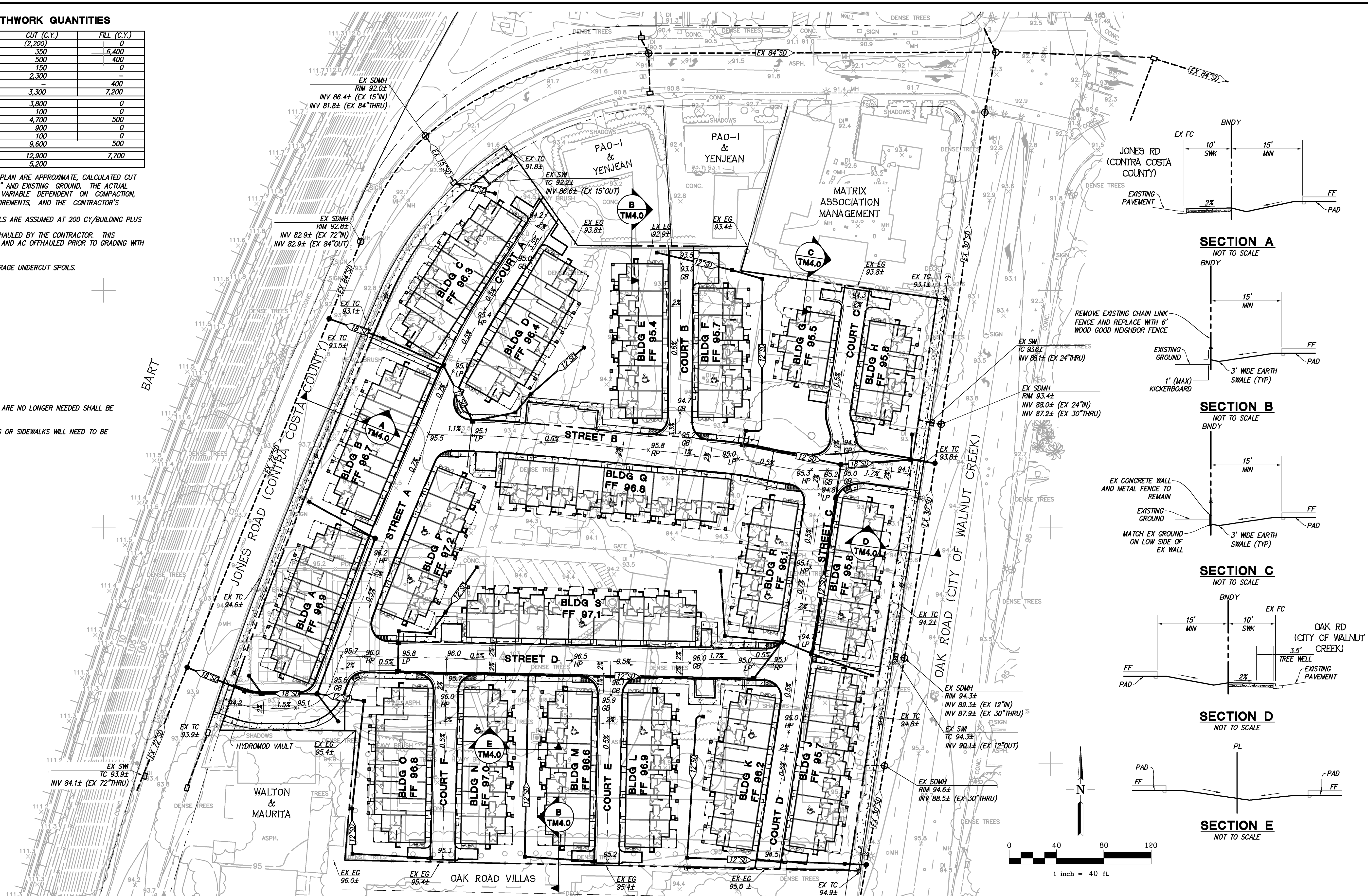
ESTIMATED EARTHWORK QUANTITIES

ITEMS	CUT (C.Y.)	FILL (C.Y.)
DEMOLITION	(2,200)	0
BUILDINGS (SEE NOTE 5 BELOW)	350	6,400
ON-SITE STREET AREA	500	400
OFF-SITE STREET AREA	150	0
STREET UNDERCUT	2,300	-
SHRINKAGE (ASSUME 5%)	-	400
SUBTOTAL	3,300	7,200
FOUNDATION & PLUMBING SPOILS	3,800	0
DEEPEEN FOOTING SPOIL	100	0
TRENCH SPOIL	4,700	500
C-3 SPOILS	900	0
HYDROMOD SPOILS	100	0
SUBTOTAL	9,600	500
TOTAL	12,900	7,700
EXPORT	5,200	

1. ALL QUANTITIES SHOWN ON THIS PLAN ARE APPROXIMATE, CALCULATED CUT AND FILL ARE TO "ROUGH GRADE" AND EXISTING GROUND. THE ACTUAL AMOUNT OF EARTH MOVED IS VARIABLE, DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS, AND THE CONTRACTOR'S METHOD OF OPERATION.
2. FOUNDATION AND PLUMBING SPOILS ARE ASSUMED AT 200 CY/BUILDING PLUS DEEPEEN CURB QUANTITY.
3. DEMOLITION MATERIAL TO BE OFFHAULED BY THE CONTRACTOR. THIS EARTHWORK TABLE REFLECT PCC AND AC OFFHAULED PRIOR TO GRADING WITH AB TO REMAIN.
4. ASSUMED 12" STREET UNDERCUT.
5. THIS CUT QUANTITY INCLUDES GARAGE UNDERCUT SPOILS.

NOTES:

1. ANY EXISTING DRIVEWAY CUTS THAT ARE NO LONGER NEEDED SHALL BE REMOVED AND REPLACED.
2. ANY DAMAGED OR DISPLACED CURBS OR SIDEWALKS WILL NEED TO BE REPLACED



SECTION A

NOT TO SCALE

BNDY

15' MIN

FF

PAD

REMOVE EXISTING CHAIN LINK FENCE AND REPLACE WITH 6" WOOD GOOD NEIGHBOR FENCE

EXISTING GROUND

1' (MAX) KICKERBOARD

3' WIDE EARTH SWALE (TYP)

FF

PAD

EX SW TC 93.6± INV 88.1± (EX 24"THRU)

EX SDMH RIM 93.4± INV 88.0± (EX 24"IN) INV 87.2± (EX 30"THRU)

EX TC 93.8±

EX EG 93.8±

EX EG 93.4±

EX EG 93.1±

EX TC 93.1±

EX TC 93.1±

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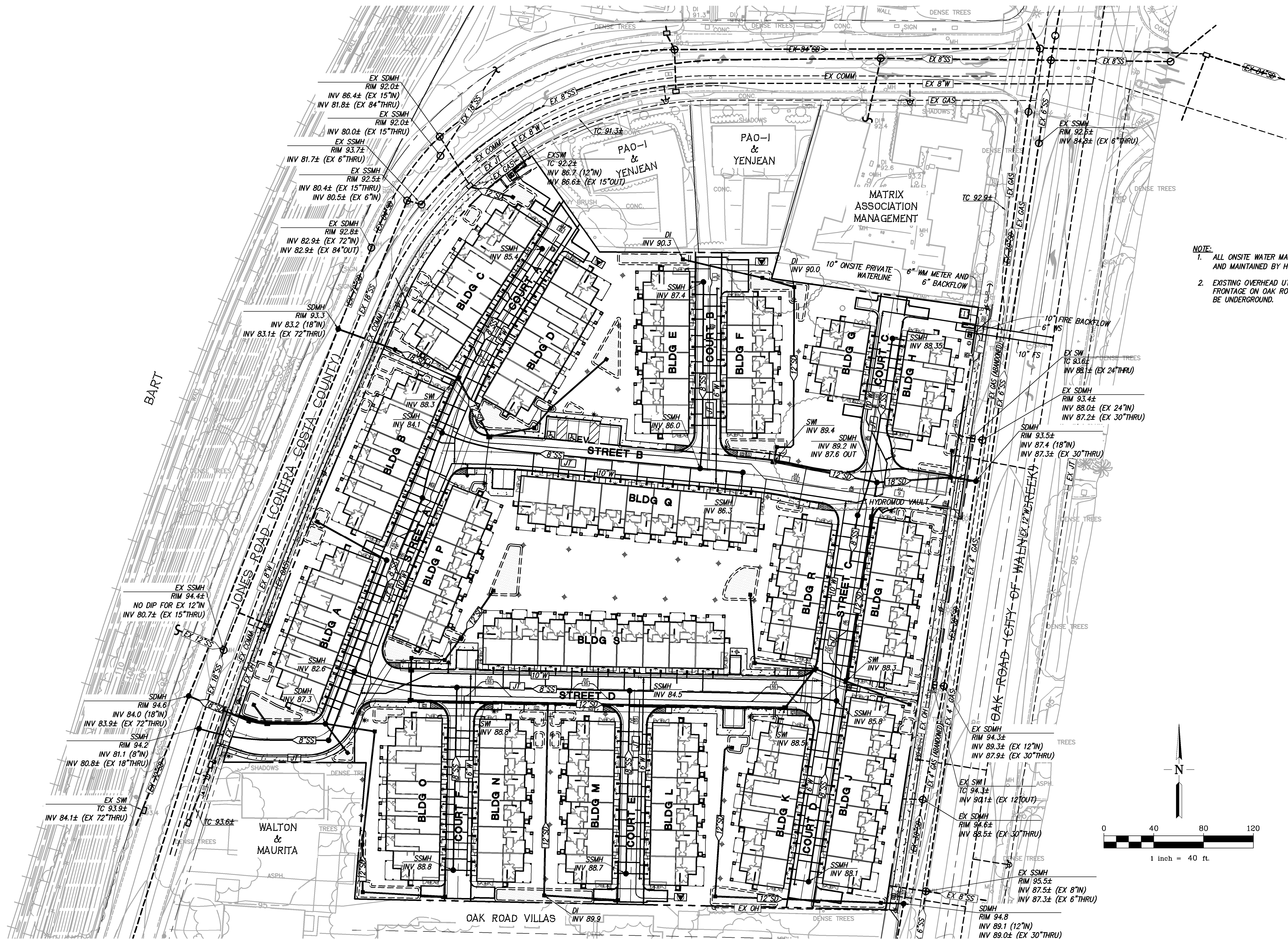
EX TC 93.1±

EX TC 93.1±

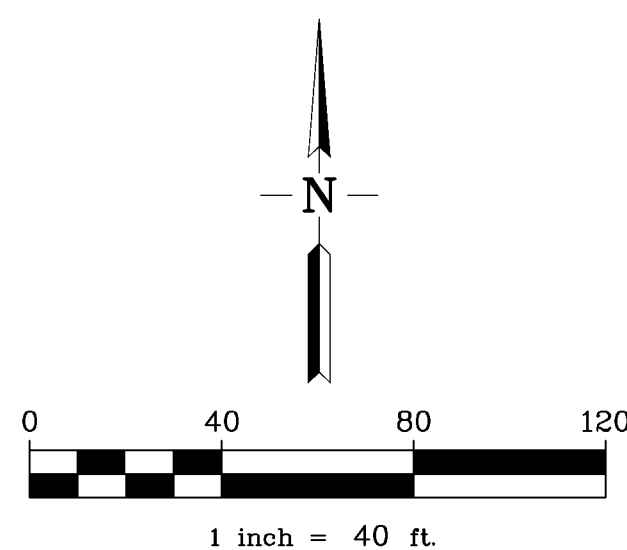
PRELIMINARY GRADING AND DRAINAGE PLAN
SUB 9559-OAK ROAD TOWNHOME CONDOMINIUMS
CONTRA COSTA COUNTY, CALIFORNIA
FOR: SUMMERHILL HOMES



RUGGERI-JENSEN-AZAR
ENGINEERS • PLANNERS • SURVEYORS
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
PHONE: (925) 227-9100 FAX: (925) 227-9300



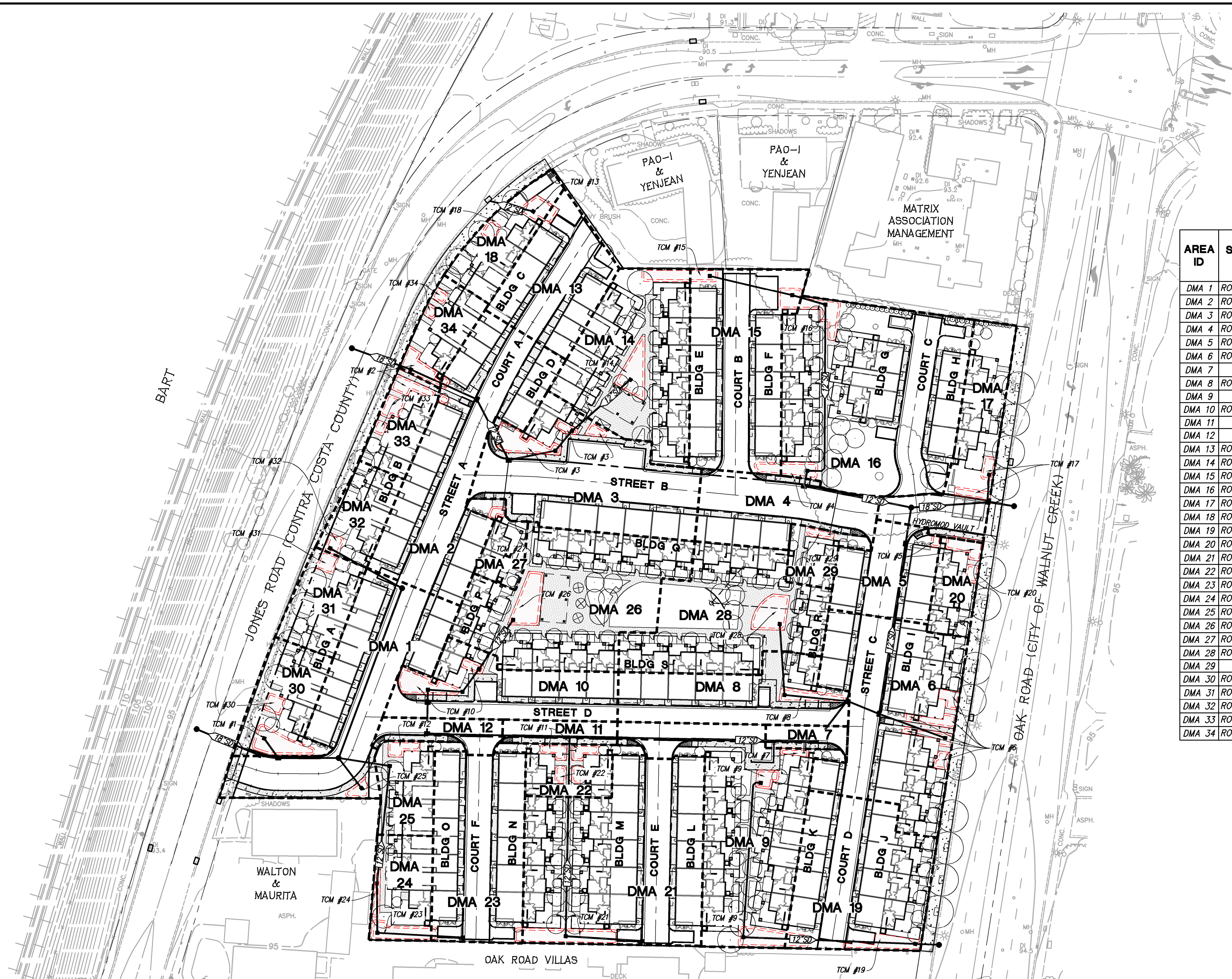
- NOTE:
1. ALL ONSITE WATER MAINS ARE PRIVATELY OWNED AND MAINTAINED BY HOMEOWNER'S ASSOCIATION.
 2. EXISTING OVERHEAD UTILITY LINES ALONG PROJECT FRONTAGE ON OAK ROAD AND JONES ROAD SHALL BE UNDERGROUND.



PRELIMINARY UTILITY PLAN
SUB 9559-OAK ROAD TOWNHOME CONDOMINIUMS
CONTRA COSTA COUNTY, CALIFORNIA
FOR: SUMMERHILL HOMES

RJA
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LEGEND

- DRAINAGE MANAGEMENT AREA (DMA)
- BIO-RETENTION AREA
- HYDROMOD VAULT

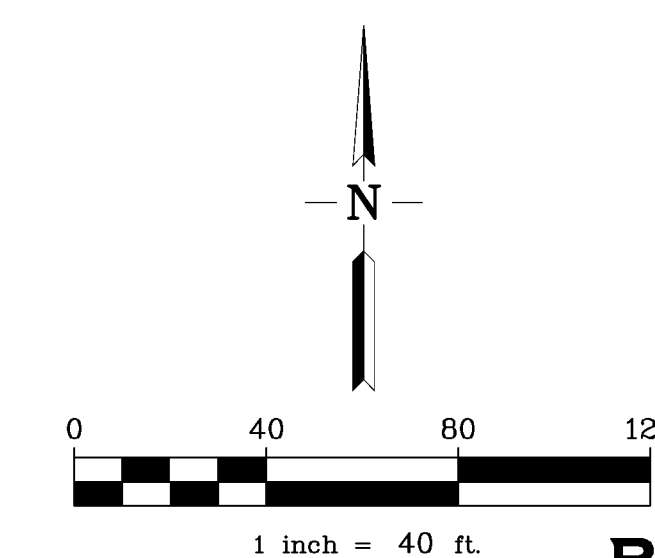
STORMWATER TREATMENT CALCULATIONS

AREA ID	SURFACE TYPE	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	EFFECTIVE LANDSCAPE AREA (SF)	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)
DMA 1	ROOF/PAV/LS	12,470	11,577	89	467	481
DMA 2	ROOF/PAV/LS	14,221	13,048	117	527	529
DMA 3	ROOF/PAV/LS	12,715	11,483	123	464	600
DMA 4	ROOF/PAV/LS	6,299	6,153	15	247	339
DMA 5	ROOF/PAV/LS	5,018	4,697	32	189	256
DMA 6	ROOF/PAV/LS	14,289	12,076	221	492	518
DMA 7	PAV	1,159	1,159	0	46	67
DMA 8	ROOF/PAV/LS	7,428	6,049	138	247	261
DMA 9	PAV	15,380	9,674	571	410	642
DMA 10	ROOF/PAV/LS	7,452	6,239	121	254	478
DMA 11	PAV	1,596	1,596	0	64	234
DMA 12	PAV	2,005	2,005	0	80	145
DMA 13	ROOF/PAV/LS	6,894	5,658	124	231	276
DMA 14	ROOF/PAV/LS	11,385	7,439	395	313	469
DMA 15	ROOF/PAV/LS	11,658	9,381	228	384	388
DMA 16	ROOF/PAV/LS	19,632	11,951	768	509	528
DMA 17	ROOF/PAV/LS	6,858	4,228	263	180	190
DMA 18	ROOF/PAV/LS	3,724	1,904	182	83	87
DMA 19	ROOF/PAV/LS	11,382	9,074	231	372	382
DMA 20	ROOF/PAV/LS	2,435	1,513	92	64	80
DMA 21	ROOF/PAV/LS	18,046	14,299	375	587	643
DMA 22	ROOF/PAV/LS	3,134	1,788	135	77	107
DMA 23	ROOF/PAV/LS	10,392	9,411	98	380	418
DMA 24	ROOF/PAV/LS	3,822	2,078	174	90	90
DMA 25	ROOF/PAV/LS	3,122	2,050	107	86	116
DMA 26	ROOF/PAV/LS	14,131	9,028	510	382	568
DMA 27	ROOF/PAV/LS	1,959	1,080	88	47	48
DMA 28	ROOF/PAV/LS	11,400	6,811	459	291	503
DMA 29	PAV	1,914	1,019	90	44	61
DMA 30	ROOF/PAV/LS	4,582	2,825	176	120	124
DMA 31	ROOF/PAV/LS	3,443	2,460	98	102	127
DMA 32	ROOF/PAV/LS	2,993	2,033	96	85	87
DMA 33	ROOF/PAV/LS	2,906	1,939	97	81	192
DMA 34	ROOF/PAV/LS	2,956	1,954	100	82	86

NOTES:

- THE ABOVE CALCULATIONS ARE BASED ON THE CONTRA COSTA CLEAN WATER PROGRAM, STORMWATER C.3 GUIDEBOOK, DATED JUNE 21, 2017, AND THE FOLLOWING CRITERIA:
 - EFFECTIVE IMPERVIOUS AREA = IMPERVIOUS AREA + 10% OF PERVIOUS AREA
 - 0.2 INCHES/HOUR RAINFALL INTENSITY ON 100% OF EFFECTIVE IMPERVIOUS AREA.
 - SOIL FOR TREATMENT MEDIUM WITH A 5 INCHES/HOUR INFILTRATION RATE.
- SIZING FACTOR OF 0.04 NOTED ABOVE IS CALCULATED BASED ON THE FOLLOWING CRITERIA:
 - SIZING FACTOR=(0.2 IN/HR)/(5 IN/HR)=0.04
- TRASH CAPTURE DEVICES SHALL BE INSTALLED IN EACH STORM WATER INLET (SW) PER CONTRA COSTA COUNTY PROVISION C.10.

PRELIMINARY STORMWATER TREATMENT PLAN
SUB 9559-OAK ROAD TOWNHOME CONDOMINIUMS
CONTRA COSTA COUNTY, CALIFORNIA
FOR: SUMMERHILL HOMES



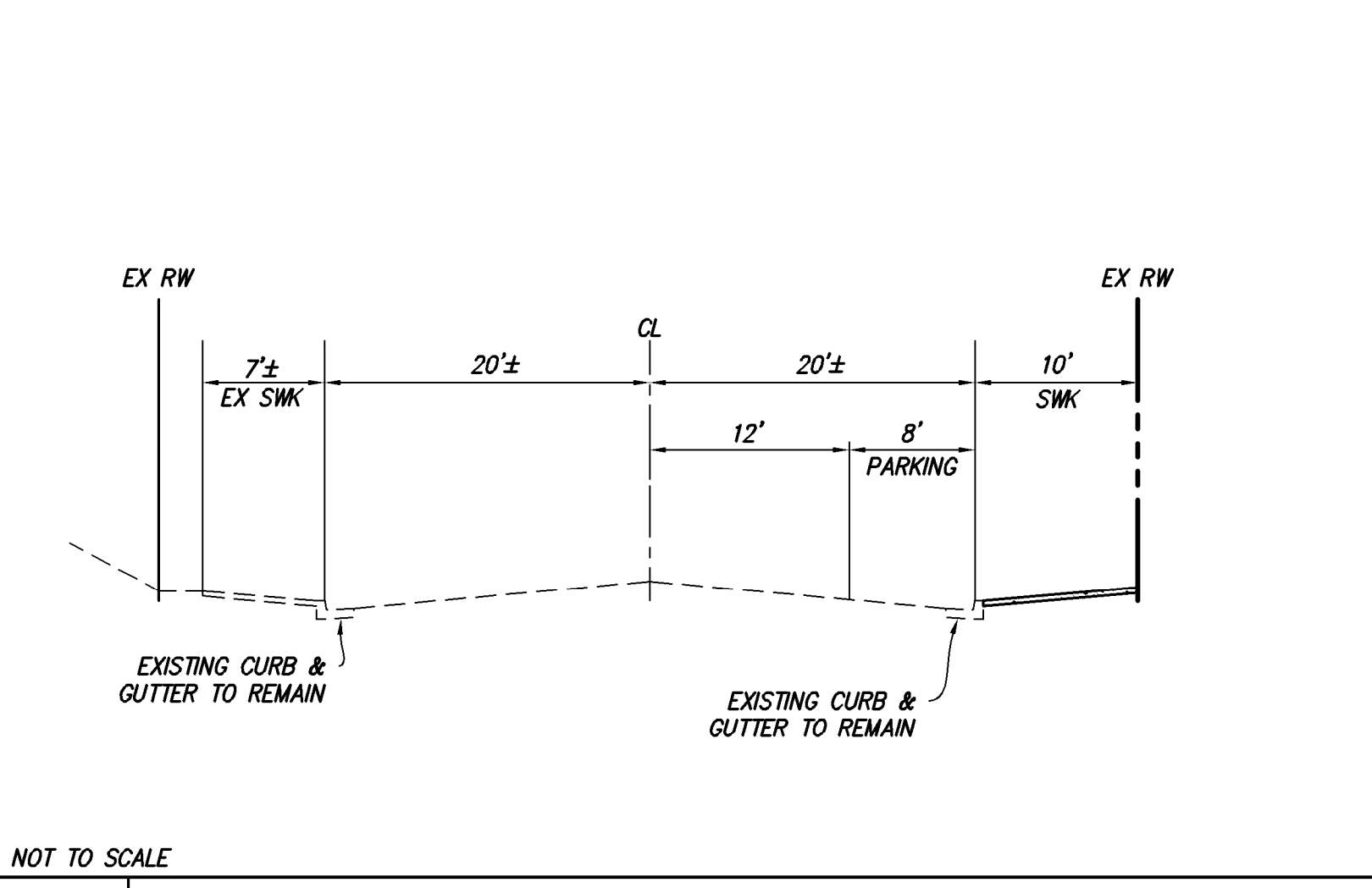
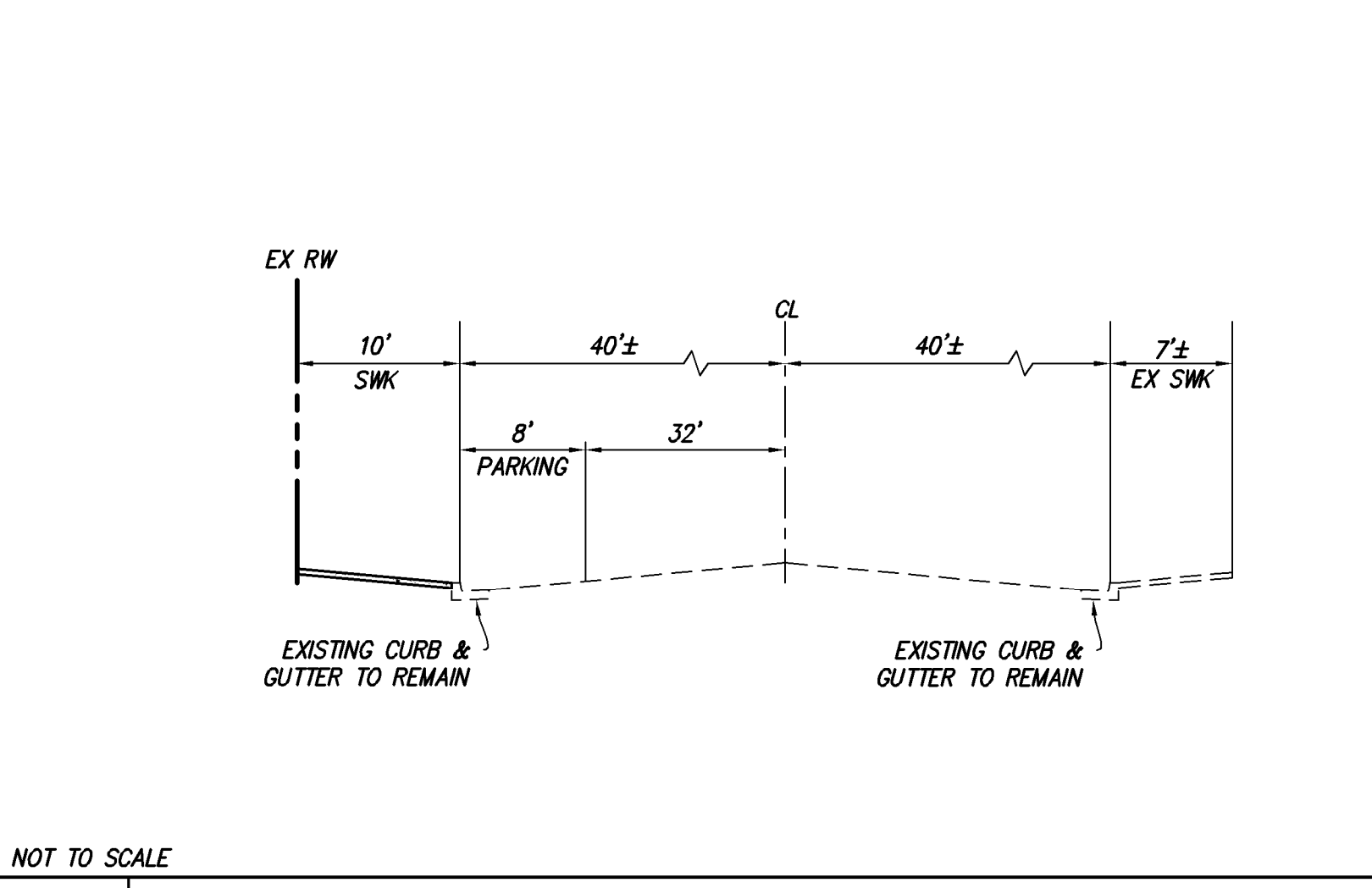
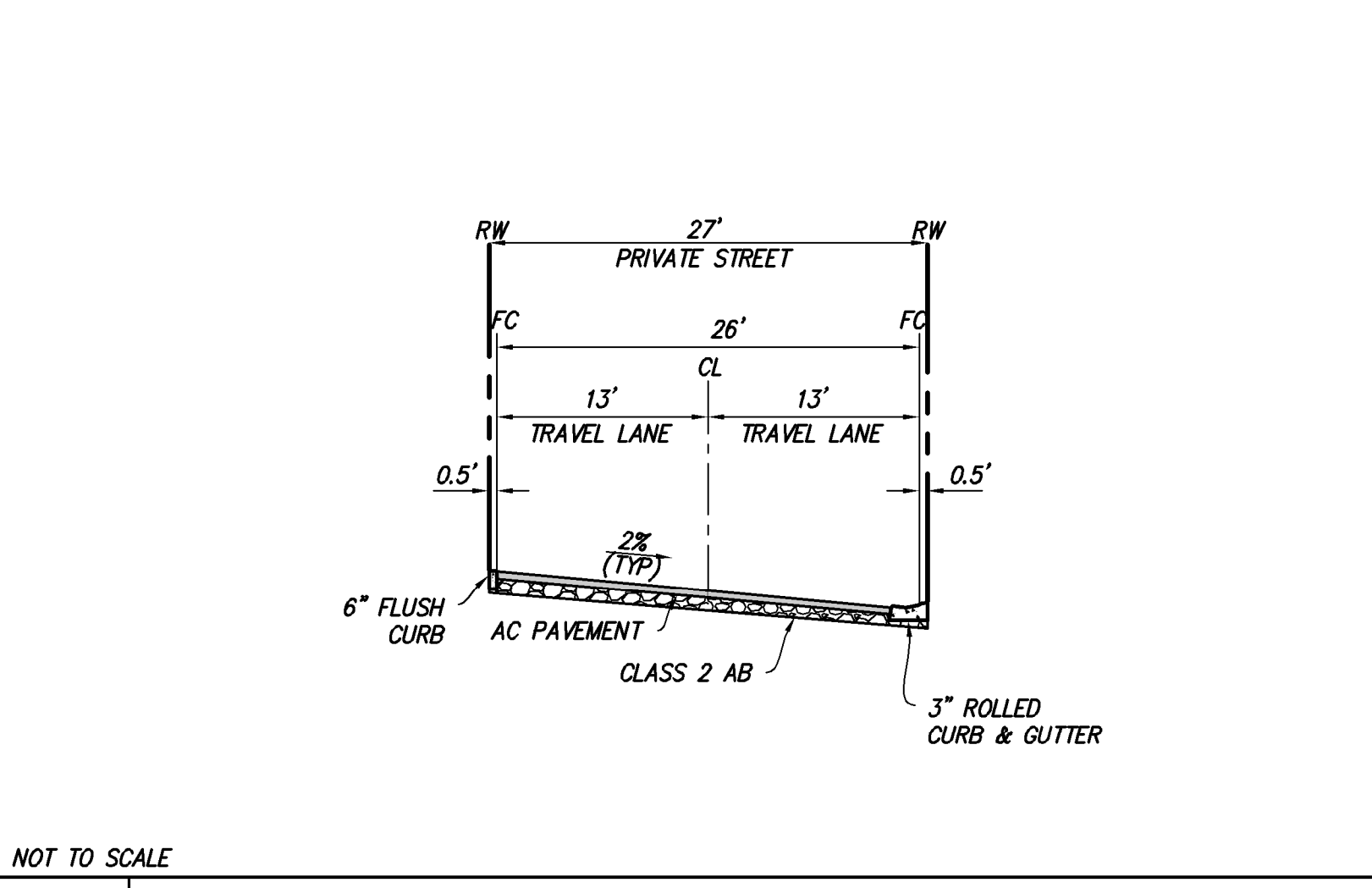
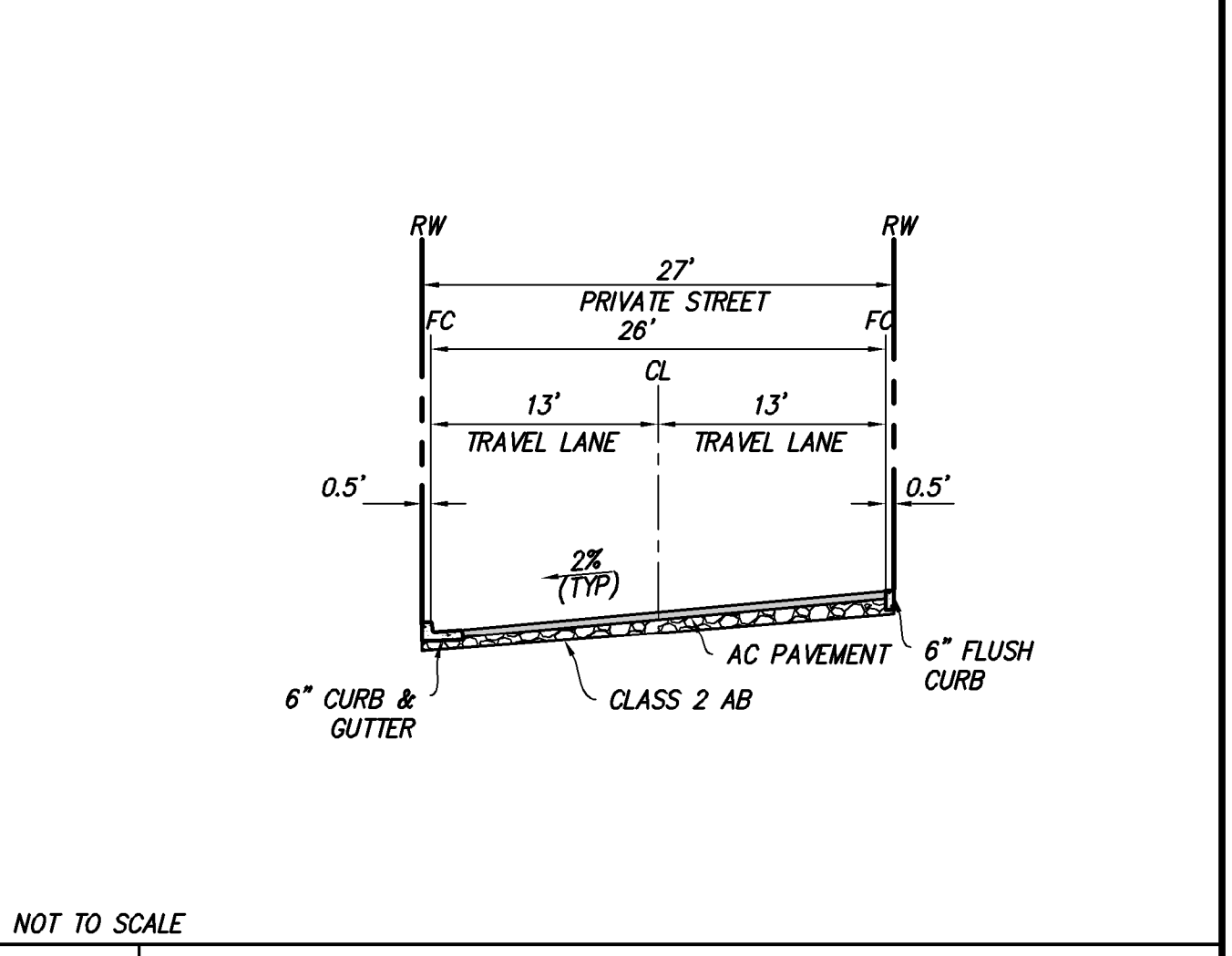
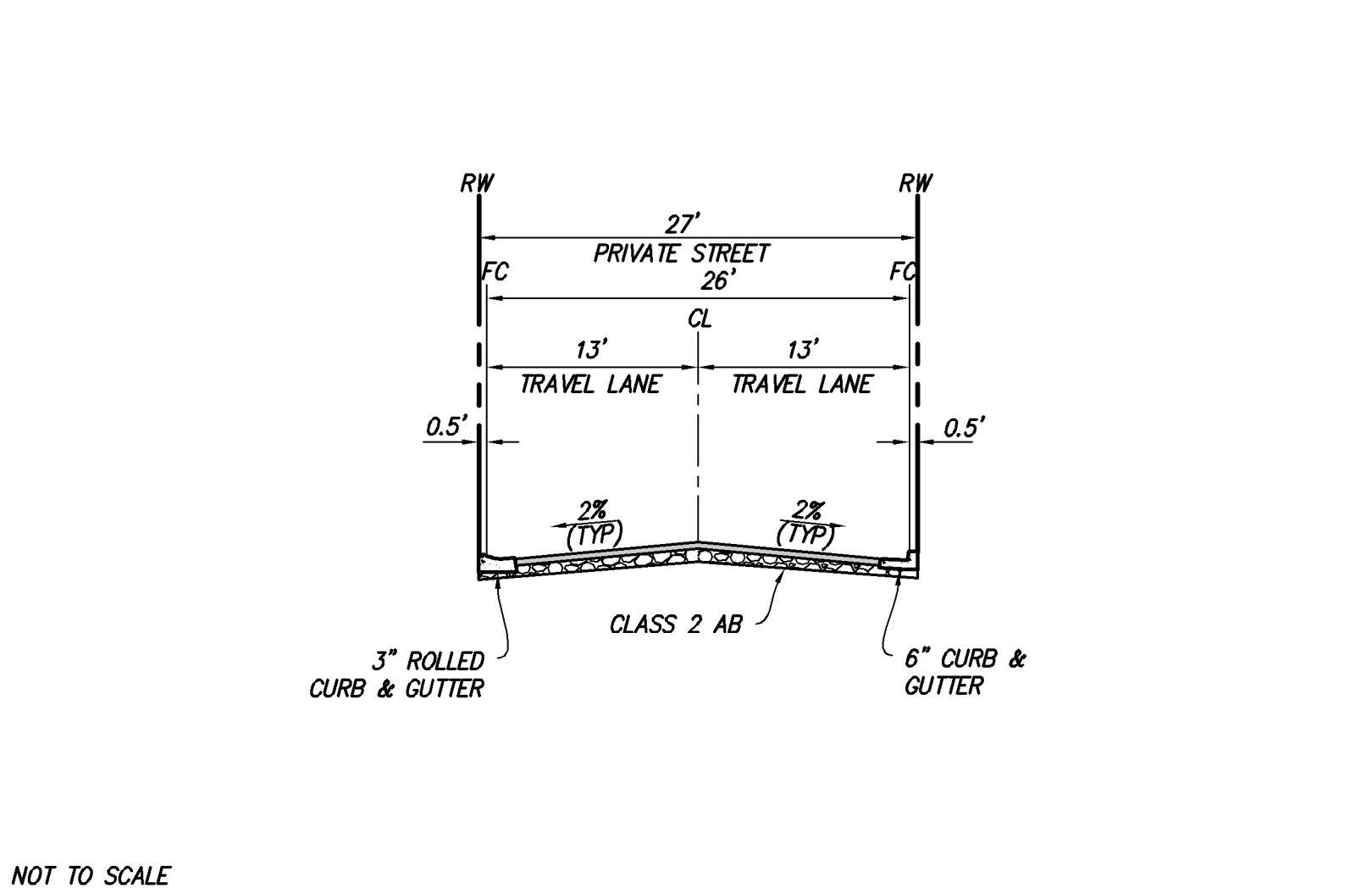
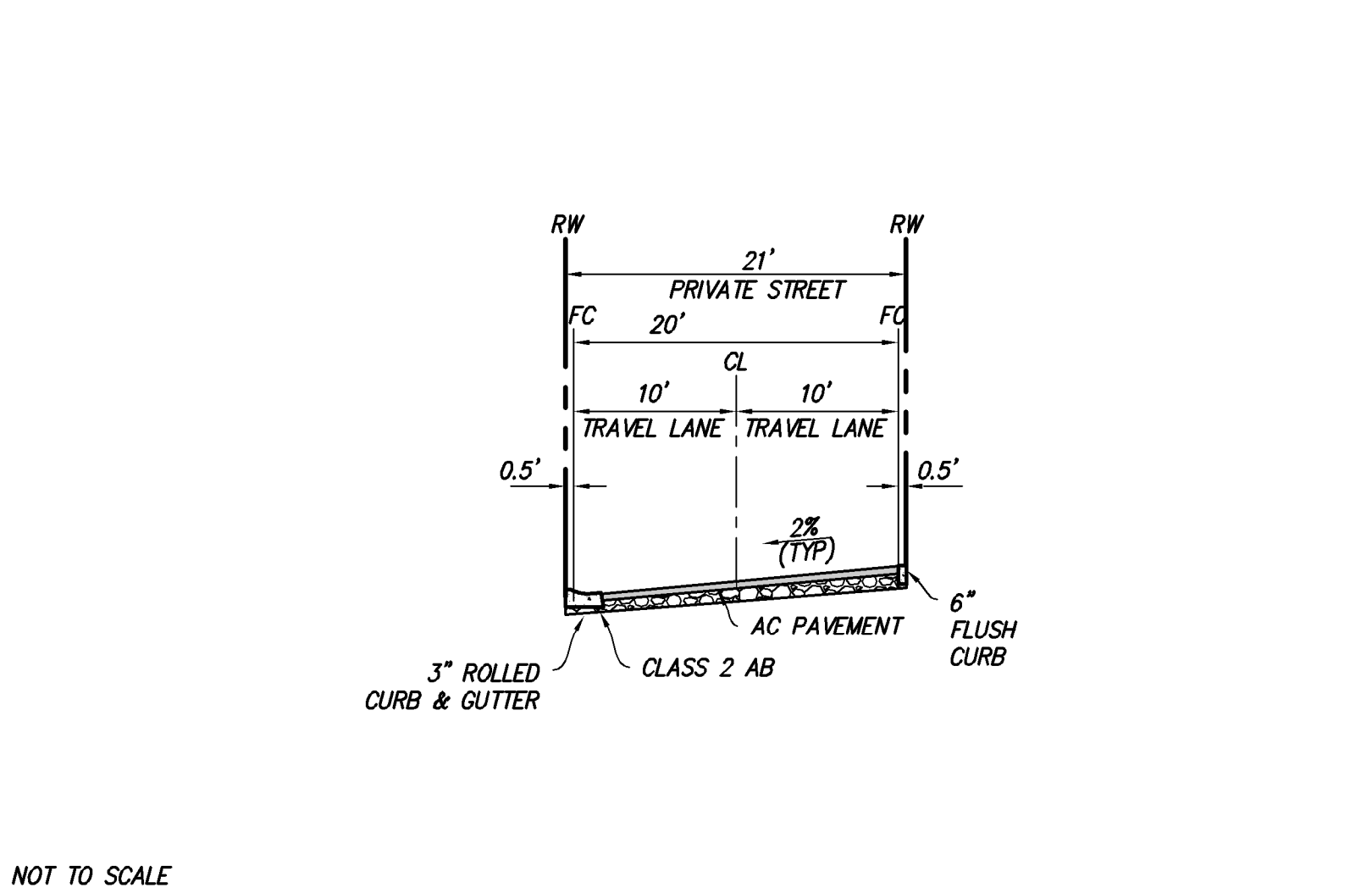
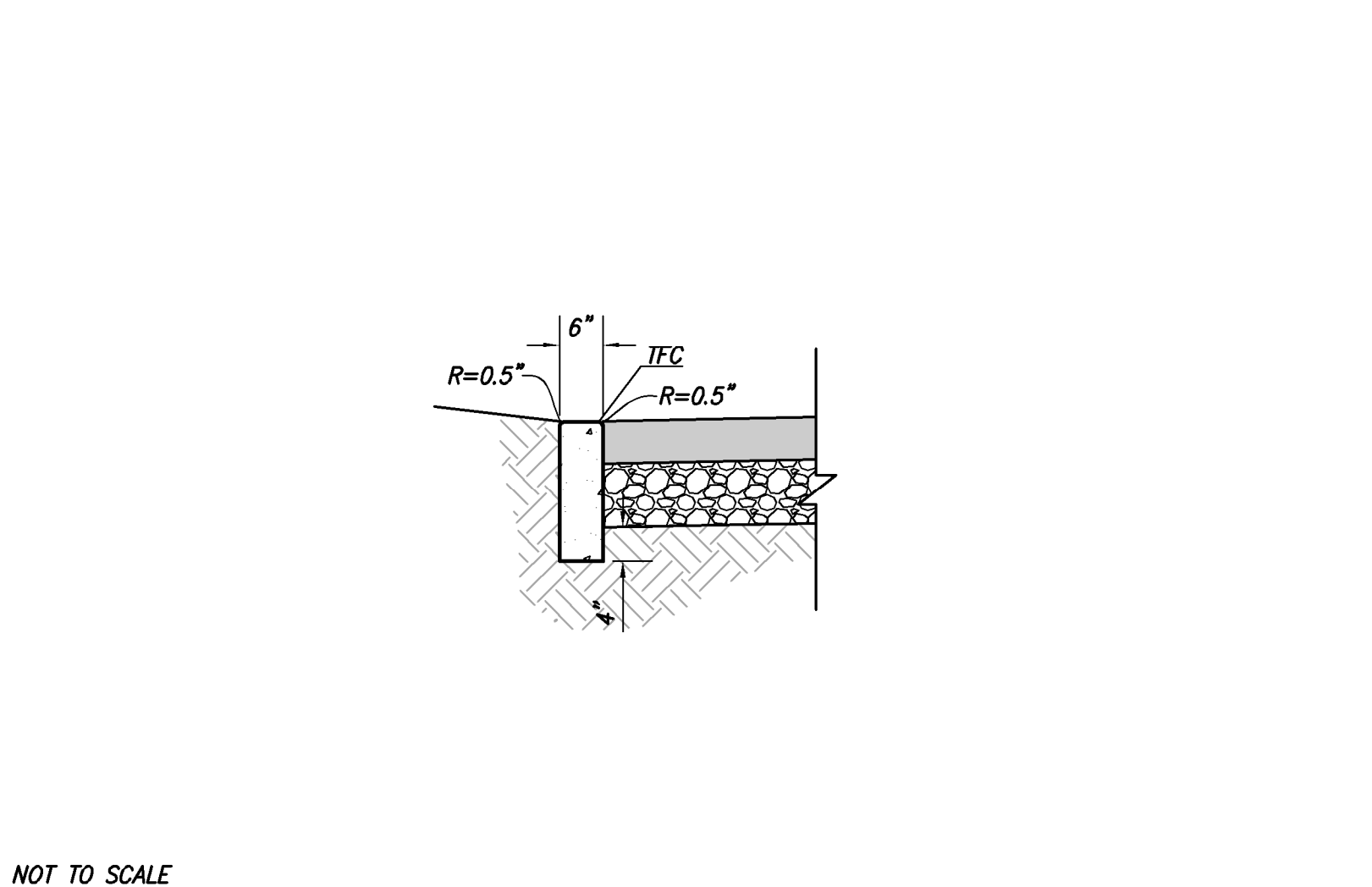
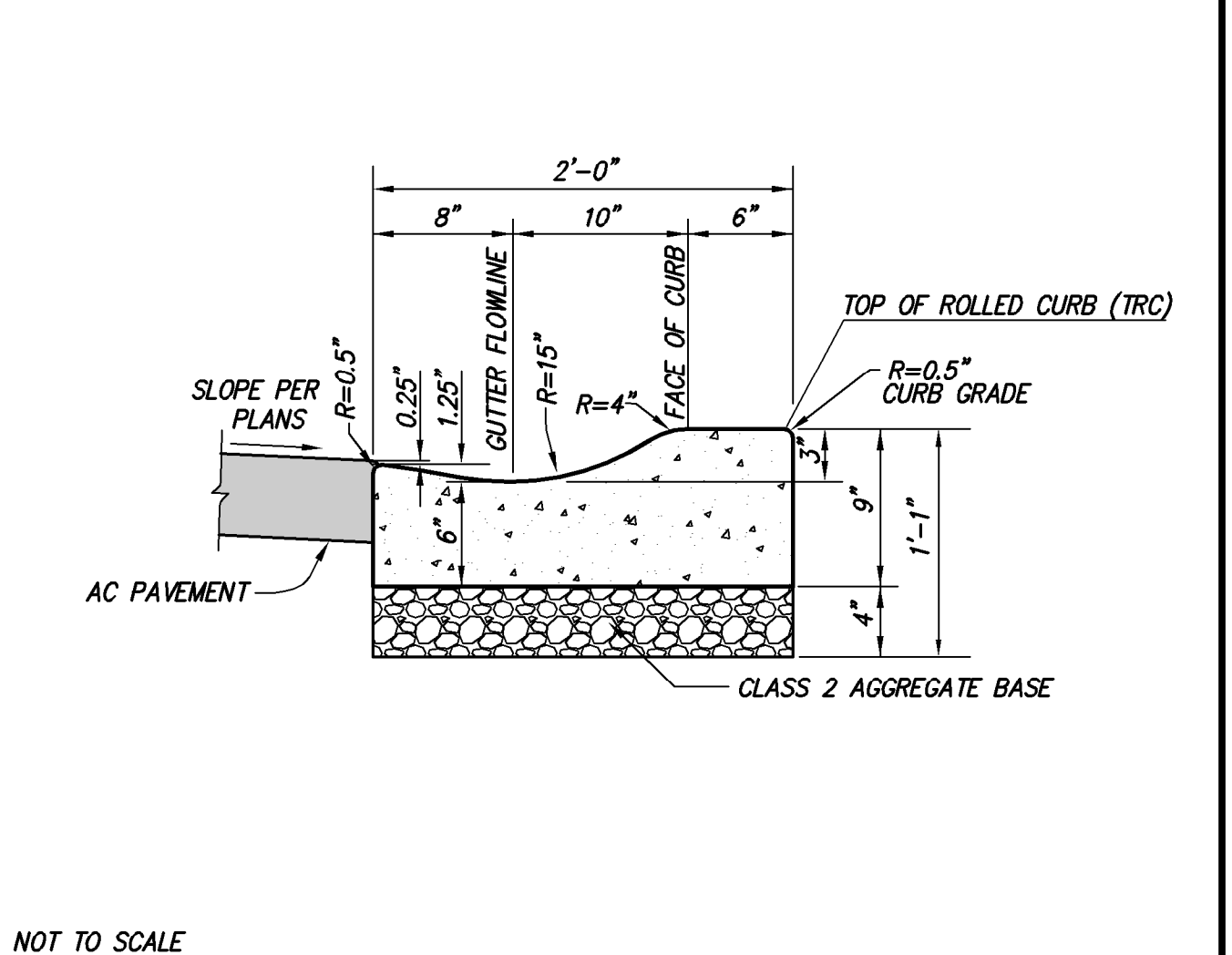
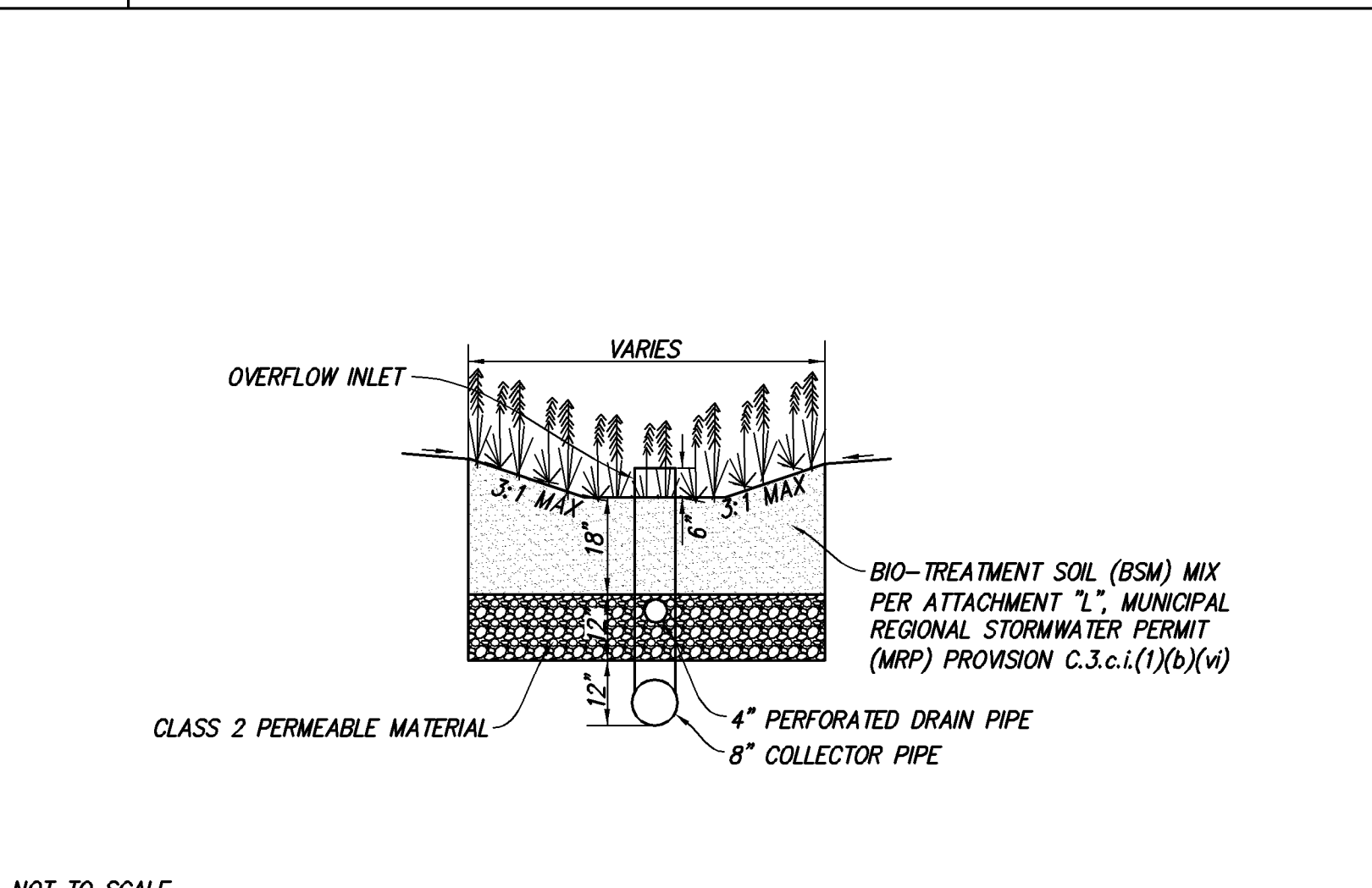
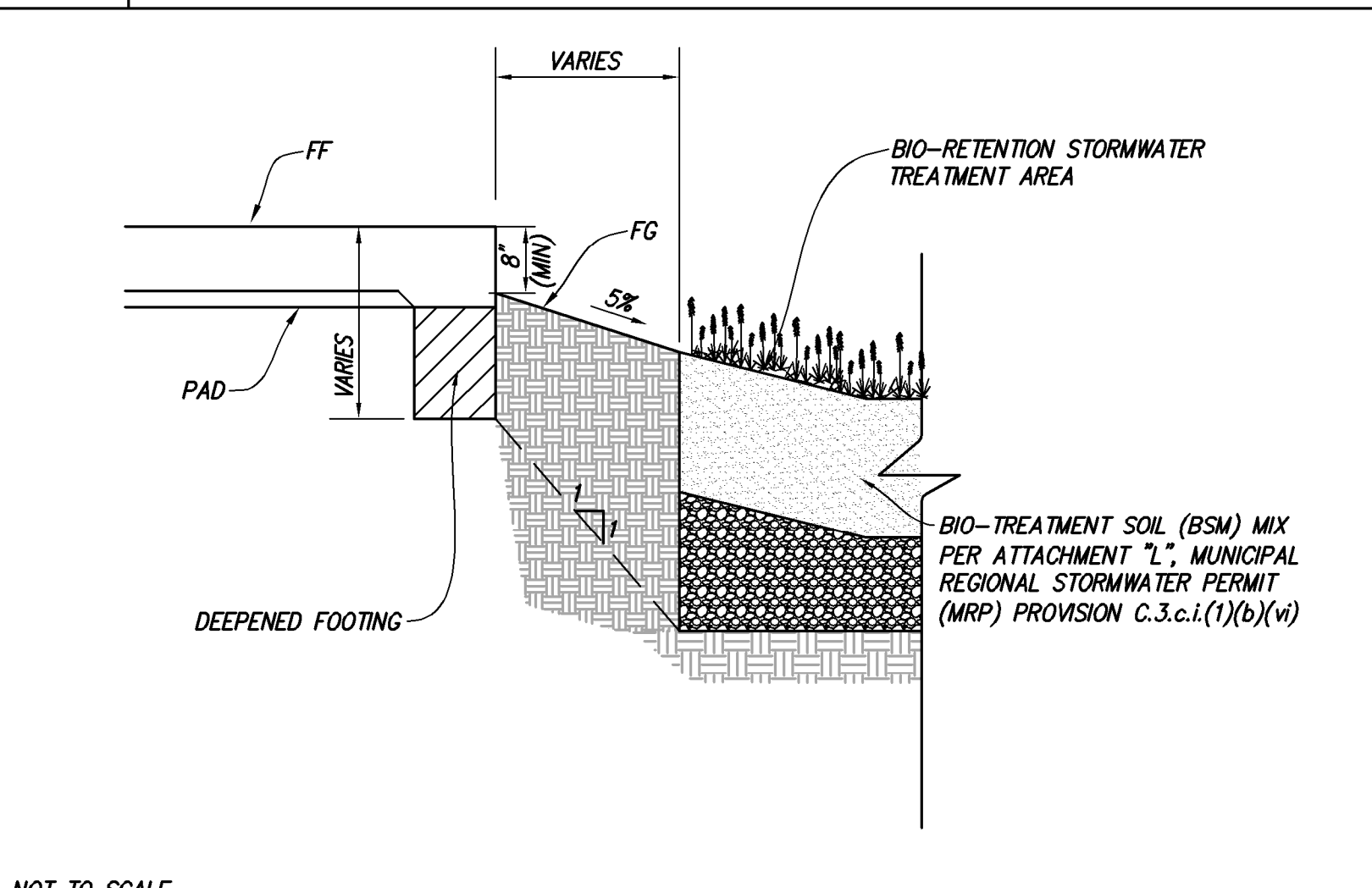
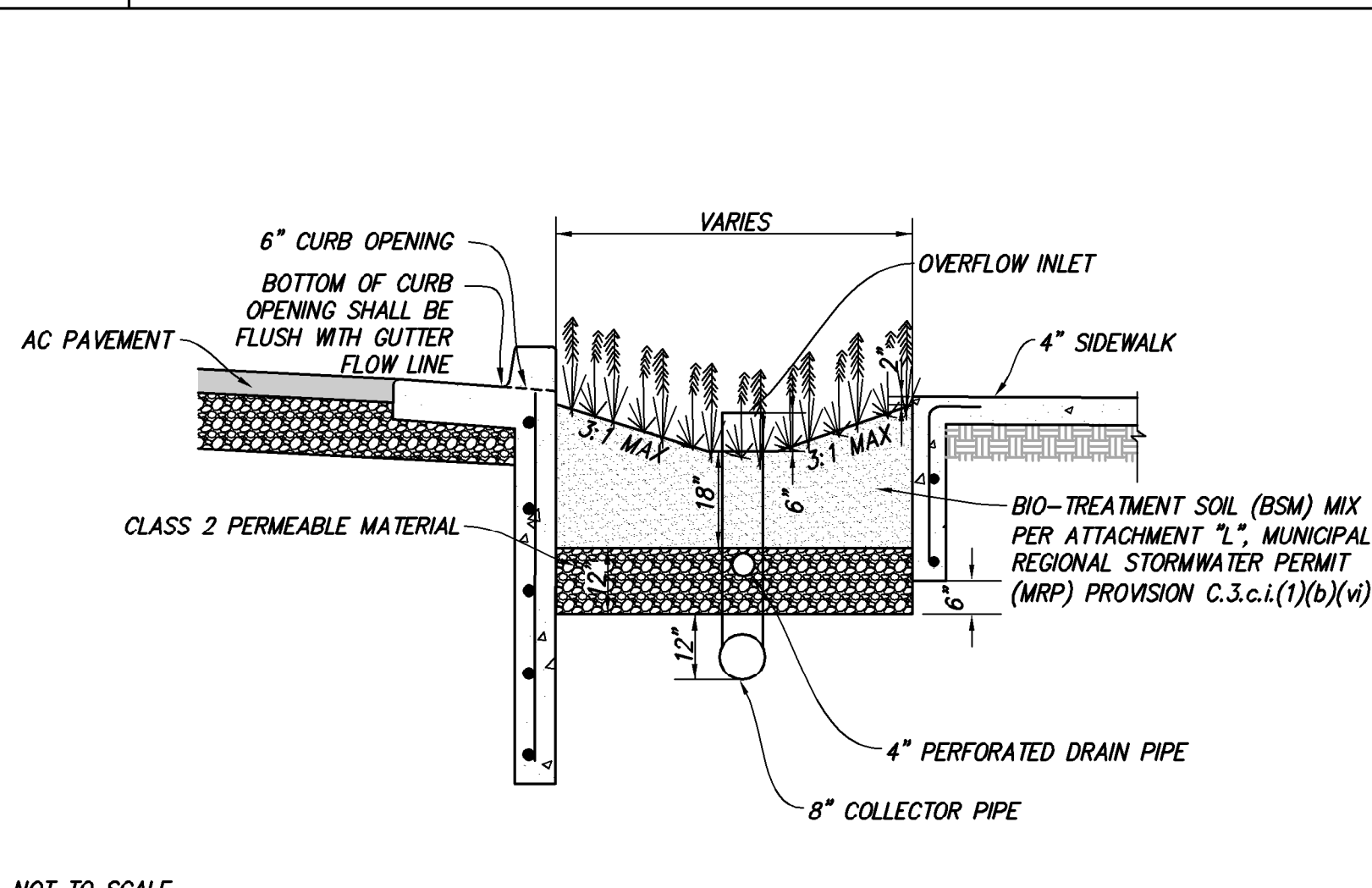
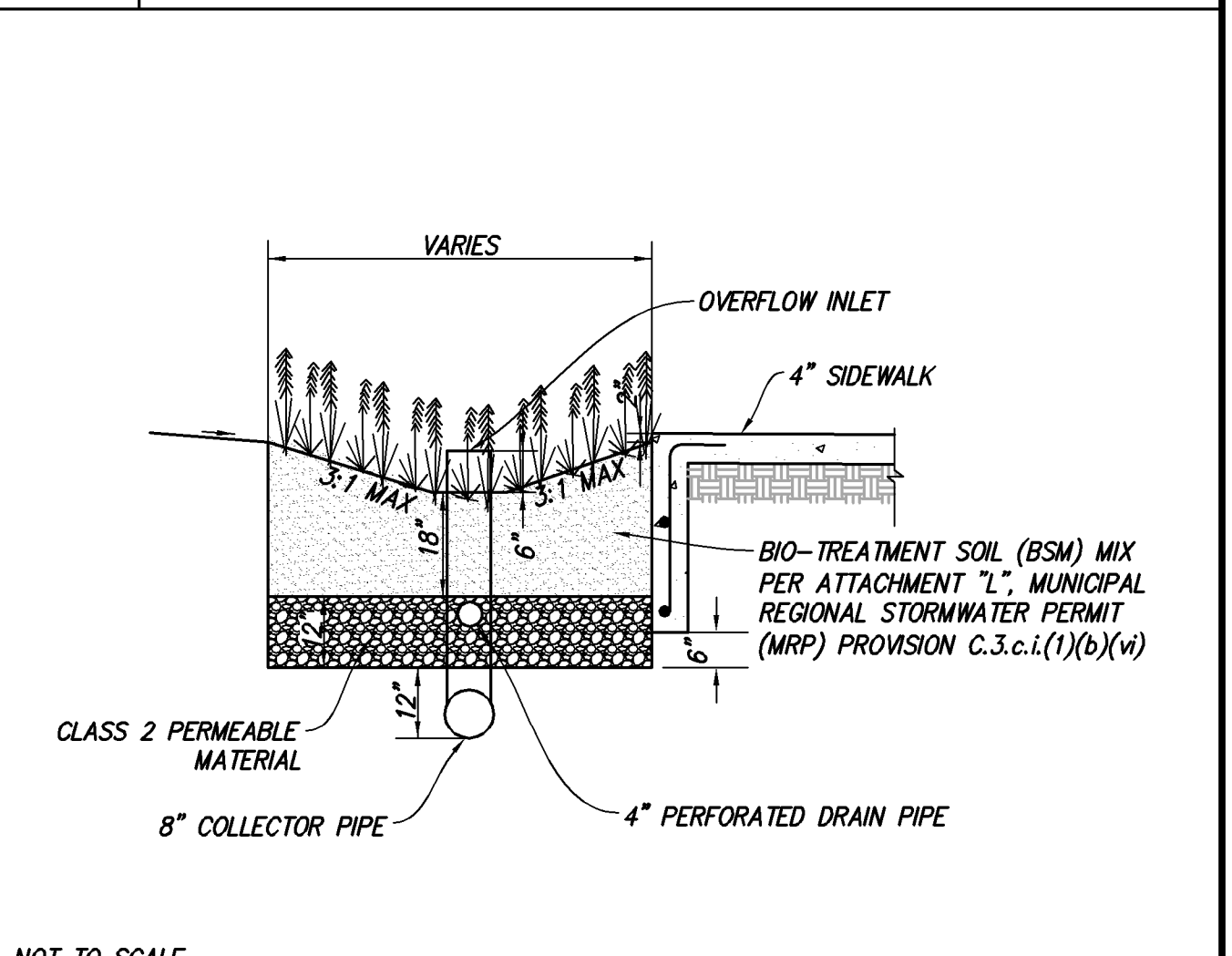
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DATE: OCTOBER 28, 2021

JOB NO. 201069

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 <p>NOT TO SCALE</p>		 <p>NOT TO SCALE</p>		 <p>NOT TO SCALE</p>		 <p>NOT TO SCALE</p>	
1	JONES ROAD	2	OAK ROAD	3	STREETS A & C	4	STREETS B
 <p>NOT TO SCALE</p>		 <p>NOT TO SCALE</p>		 <p>NOT TO SCALE</p>		 <p>NOT TO SCALE</p>	
5	STREET D	6	PRIVATE COURTS	7	6" FLUSH CURB	8	3" ROLLED CURB AND GUTTER
 <p>NOT TO SCALE</p>		 <p>NOT TO SCALE</p>		 <p>NOT TO SCALE</p>		 <p>NOT TO SCALE</p>	
9	BIO-RETENTION AREA AT LANDSCAPE AREA	10	DEEPEMED BUILDING FOUNDATION ADJACENT TO BIO-RETENTION	12	BIORETENTION AREA NEXT TO STREET	13	DEEPEMED SIDEWALK FOOTING NEXT TO BIO-RETENTION

TYPICAL SECTIONS & DETAILS

SUB 9559-OAK ROAD TOWNHOME CONDOMINIUMS

CONTRA COSTA COUNTY, CALIFORNIA

FOR: SUMMERHILL HOMES

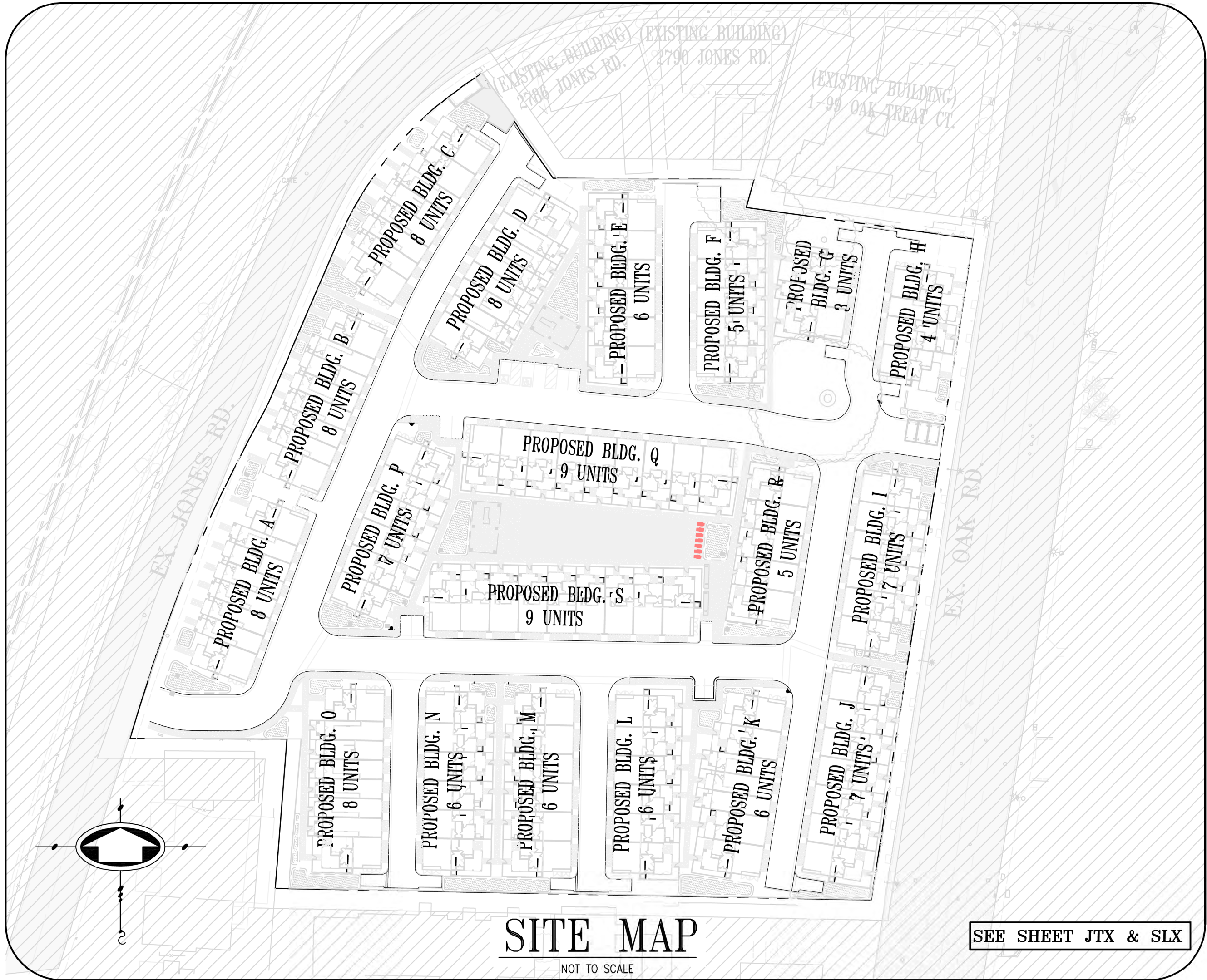
SUMMERHILL HOMES
OAK ROAD CONDOMINIUMS
WALNUT CREEK CONTRA COSTA CALIFORNIA



VICINITY MAP
NOT TO SCALE

SHEET INDEX

SHEET NO.	DESCRIPTION
JT1	JOINT TRENCH COMPOSITE TITLE SHEET
JT2	JOINT TRENCH GENERAL NOTES AND DETAILS
JT3	JOINT TRENCH DETAILS
JT4	JOINT TRENCH SECTIONS AND DETAILS
JT5 - JT5	JOINT TRENCH COMPOSITE PLAN



SITE MAP
NOT TO SCALE

SEE SHEET JTX & SLX

LEGEND

— JT —	PROPOSED JOINT TRENCH
— SVC —	PROPOSED JOINT TRENCH SERVICE
— EX JT —	EXISTING JOINT TRENCH
— EX GAS —	EXISTING GAS
— EELUG —	EXISTING UNDERGROUND ELECTRIC LINES
— EUUG —	EXISTING UNDERGROUND UTILITY LINES
— EUOH —	EXISTING OVERHEAD UTILITY LINES
— EEOH —	EXISTING OVERHEAD ELECTRIC LINES
— —	DESIGNATES UTILITY LINES TO BE REMOVED
□	EXISTING PRIMARY SPLICE BOX
□	EXISTING SECONDARY SPLICE BOX
⚡	PG&E 3φ, UCD, SUBSURFACE TRANSFORMER, 4'6" x 8'6" x 7'6"
⚡	PG&E SUBSURFACE TRANSFORMER, 3' x 5' x 5'6"
7	PG&E SPLICE BOX, 4'6" x 8'6" x 6"
6	PG&E SPLICE BOX 4' x 6'6" x 5'
5	PG&E SPLICE BOX, (F.V.T.) 3' x 5' x 3'6"
5S	PG&E SPLICE BOX (F.V.T.), 36" x 60" x 42"
●	JOINT/UTILITY POLE
●	EXISTING JOINT/UTILITY POLE
⚡	EXISTING ELECTROUWER, SINGLE ARM
FVT	PROPOSED 36"x24"x36" TELEPHONE BOX (FVT)
CT	PROPOSED 24"x36" CATV BOX (FVT)
CS	PROPOSED 36"x48" CATV BOX
CS	PROPOSED 36"x48" CATV NODE PEDESTAL (N.T.S.)
CS	PROPOSED 42"x44" CATV POWER SUPPLY

TARRAR UTILITY REP.:	ALFONSO REYES	JOB NO.	220046	PHONE NO.	(925) 240-2595
DEVELOPER:	MARSHALL TORRE	JOB NO.	220046	PHONE NO.	(925) 683-1227
PG&E ELECTRIC COORDINATOR:	RULDIP JAMMU	JOB NO.	120462695	PHONE NO.	(209) 272-8676
PG&E GAS COORDINATOR:	-	JOB NO.	-	PHONE NO.	-
TELEPHONE REP.:	TERRY DAUGHTRY	JOB NO.	220046	PHONE NO.	(925) 328-6821
CABLE T.V. REP.:	-	JOB NO.	220046	PHONE NO.	R-CATVPHNO

FILES STATUS

DESCRIPTION:	BY:	DATE:	STATUS:
CIVIL PLANS (ELECTRONIC FILE)	RJA	01/15/2021	R
ARCHITECTURAL PLANS (ELECTRONIC FILE)	SDG	01/15/2021	R
LANDSCAPE PLANS (ELECTRONIC FILE)	R3 STUDIOS	01/25/2021	R
GAS DESIGN	-	-	-
ELECTRIC DESIGN	LOPES UTILITY DESIGN	XX-XX-XXXX	XXXX
TELEPHONE INTENT REPLY	AT&T	XX-XX-XXXX	XXXX
CATV INTENT REPLY	COMCAST	XX-XX-XXXX	XXXX
STREET LIGHT PLANS - PUBLIC	-	-	-
STREET LIGHT PLANS - PRIVATE	-	-	-
SOILS REPORT	XXXX	XX-XX-XXXX	XXXX

A = APPROVED • ANS = APPROVED NOT SIGNED • NA = NOT APPROVED • F = FIRST SUBMITTAL • SS = SECOND SUBMITTAL • R = RECEIVED

TARRAR UTILITY CONSULTANTS
APPROVED FOR SUBMITTAL
HAIDER KAMMOONAH
QUALIFIED APPLICANT DESIGN ENGINEER

DEVELOPER
PLEASE NOTE AND SIGN

ALL PG&E ENCLOSURES AND BOXES HAVE BEEN SET TO GRADE
ACCORDING TO GRADE STAKES PROVIDED BY DEVELOPERS ENGINEER.
ALL COSTS TO RELOCATE OR READJUST BOXES AT A LATER DATE
WILL BE BILLED TO THE DEVELOPER. PLEASE HAVE YOUR JOB
SUPT. VERIFY THE CORRECT GRADE OF ALL ENCLOSURES AND
BOXES, AND SIGN AND DATE DRAWING. THANK YOU

SIGNED

DATE

COMPOSITE DRAWING BY DEVELOPER

Estimate # _____

Approved _____ Gas ADE _____ Date _____

Approved _____ Electric ADE _____ Date _____

PG & E is not responsible for the accuracy of the specifications shown on this drawing.

COMPOSITE DRAWING BY DEVELOPER

Approved _____ Telephone representative _____ Date _____

Approved _____ CATV representative _____ Date _____

3,299 L.F. OF JOINT TRENCH
SHALL BE INSTALLED WITH THIS JOINT TRENCH PLAN SET

NEW SERVICE COMPLETIONS (ELECTRIC, TELEPHONE AND CATV - 114
MULTI-FAMILY HOMES.)

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Brentwood, CA 94513
(925) 240-2595
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• Fiber Optic • Due Diligence

JOINT TRENCH COMPOSITE TITLE SHEET
SUMMERHILL HOMES
OAK ROAD CONDOMINIUMS
WALNUT CREEK CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: DECEMBER 2020 DATE LAST WORKED ON: 10/27/2021

SCALE: NOT TO SCALE DRAWN: RG CHECKED: KT

JOB NO.: 220046 PRELIMINARY NOT FOR CONSTRUCTION

INTENT TO CONSTRUCT



SHEET
JT1
OF
JT5
SHEETS

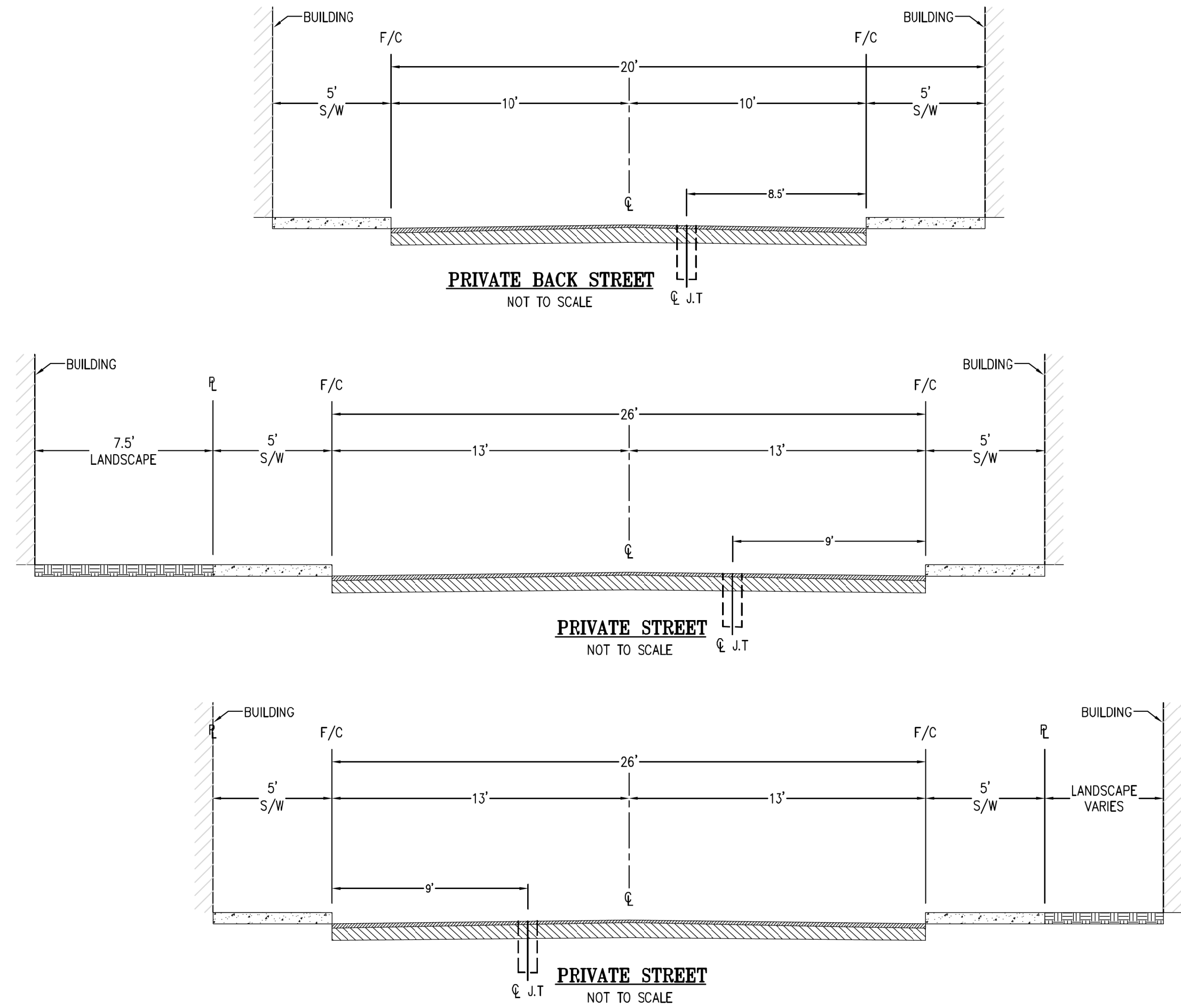
PROJECT NOTES:

1. FIELD ADJUST SERVICES TO MINIMIZE INTERFERENCE WITH EXISTING FACILITIES (TYPICAL).
2. CONTRACTOR SHALL PERFORM ALL TRENCHING, EXCAVATING, BACKFILLING AND OTHER WORK AS SHOWN OR NOTED ON PLANS, AND AS SPECIFIED ON UTILITY BID DOCUMENTS.
3. FIELD ADJUST SPICE BOXES TO KEEP CLEAR OF SIDEWALK, DRIVEWAYS AND EXISTING FACILITIES (TYPICAL).
4. A 3 FOOT LEVEL WORKING AREA MUST BE MAINTAINED AROUND ALL ELECTRIC ENCLOSURES. PRIOR TO ENERGIZING THE SYSTEM, THE ELECTRIC UTILITY COMPANY INSPECTOR WILL DETERMINE IF RETAINING WALLS ARE REQUIRED TO MEET MINIMUM CLEARANCE BETWEEN ENCLOSURES AND THE TOPS OR TOES OF SLOPES. IF RETAINING WALLS ARE REQUIRED, THE DEVELOPER AND/OR CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE CITY/COUNTY BUILDING DEPARTMENT PRIOR TO WALL CONSTRUCTION.
5. TRANSITION TO VAULTS FROM TRENCH NOT SHOWN, SEE TRANSITION DETAIL SHEET JT3 (TYPICAL).
6. CONTRACTOR SHALL PLACE ALL UTILITY SPICE BOXES, ENCLOSURES & CONDUIT IN PROPER RELATIONSHIP TO FINAL GRADE (SHOWN SCHEMATICALLY).
7. ALL PG&E, TELEPHONE, CABLE T.V. AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER, WATER LATERALS AND DRIVEWAYS.
8. CONTRACTOR SHALL COORDINATE ALL CONNECTIONS BETWEEN PROPOSED AND EXISTING FACILITIES AS DIRECTED BY THE RESPECTIVE UTILITY COMPANY INSPECTOR. UTILITY COMPANY PERSONNEL SHALL MAKE ALL "HOT TIE-INS"; THE CONTRACTOR IS PROHIBITED FROM WORKING IN ANY ENERGIZED FACILITIES.
9. THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE STREET EXCAVATION AND ENCROACHMENT PERMIT(S) FROM THE CITY/COUNTY PRIOR TO STARTING WORK IN THE PUBLIC STREET AREA.
10. FIELD LOCATE JOINT TRENCH FACILITIES TO KEEP CLEAR OF SERVICE LATERALS. SERVICE LATERALS TO BE ROUTED TO AVOID SPICE BOX (ADDITIONAL P.U.E MAY BE REQUIRED).
11. RESPECTIVE UTILITY COMPANY TO OBTAIN CITY APPROVAL OF ALL ABOVE GROUND EQUIPMENT.
12. UNLESS OTHERWISE SHOWN ON THE PLANS, NATURAL BENDS SHALL BE USED FOR ALL CONDUIT EXCEPT STREET LIGHT CONDUIT.
13. INCIDENTAL TRENCHING TO SPICE BOXES NOT SHOWN (TYPICAL). CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING AS REQUIRED FOR CONDUIT ROUTING TO SPICE BOXES AND CABINETS (TYPICAL).
14. ALL CONDUITS SHALL ENTER OR EXIT PERPENDICULAR TO BOX WALLS.
15. ALL CONDUITS MUST BE MANDREL TESTED AND APPROVED.
16. OFFSET SPICE BOXES TO ROUTE TELEPHONE/FIBER OPTIC CONDUIT AS NEEDED (TYPICAL).
17. PULL ROPES SHALL BE PLACED IN ALL EMPTY CONDUITS AS REQUIRED BY EACH UTILITY COMPANY.
18. ALL PG&E SPICE BOXES ADJACENT TO TRANSFORMER SHALL BE 26" IN DEPTH (TYPICAL).
19. ALL CONDUITS NOT ENTERING SPICE BOXES OR ENCLOSURES SHALL BE CAPPED.
20. COORDINATE TIE-IN WITH UTILITY COMPANY AS REQUIRED.
21. THE STREET LIGHT SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" AND LIGHT SCHEDULE AS SHOWN ON THESE PLANS.
22. ALL EXISTING DUCTS TO BE USED IN THESE PLANS SHALL BE "VERIFIED" BY PULLING A MANDREL THROUGH THE ENTIRE EXISTING LENGTH PRIOR TO CONNECTION.
23. EDGE OF SPICE BOXES & PEDESTALS SHALL BE 5' FROM EDGE OF FIRE HYDRANT AND 3' FROM STREET LIGHT (TYPICAL). CONTRACTOR TO AVOID DISTURBING FIRE HYDRANT THRUST BLOCK.
24. ALL UTILITY SUBSTRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" SHOWN ON THESE PLANS.
25. MAINTAIN 3' CLEARANCE AND LEVEL AREA AROUND PRIMARY SPICE BOXES & XFMRs.
26. DUE TO UNCERTAINTIES OF THE EXACT LOCATION OF EXISTING FACILITIES, FIELD LOCATION OF PROPOSED FACILITIES MAY BE REQUIRED. CONFIRM WITH VARIOUS UTILITIES FOR EXACT PLACEMENT.
27. FOR CLARITY - BOXES/PEDESTALS ARE SHOWN AT LARGER SIZE THAN ACTUAL. FIELD ADJUST TO KEEP CLEAR OF DRIVEWAYS (TYPICAL).
28. ALL SERVICE FACILITIES SHALL BE EXTENDED TO EITHER THE PROPERTY LINE OR TO POSITION SHOWN ON THE PLANS, AND THEN CAPPED, BURIED AND LOCATION STAKED.
29. THESE PLANS WERE PREPARED UTILIZING PLANS RECEIVED FROM RJA (925) 227-9100.

ABBREVIATION LIST

B/C	BACK OF CURB	H.P.S.	HIGH PRESSURE SODIUM	RT	RETAINING WALL
B/W	BACK OF WALK	IRR.	IRRIGATION CONTROLLER	R/W	RIGHT OF WAY
BTU	BRITISH THERM UNITS	J.T.	JOINT TRENCH	SCH.	SCHEDULE
CB	CATCH BASIN	KV	KILO-VOLTS	SD	STORM DRAIN
℄	CENTERLINE	LE	LANDSCAPE EASEMENT	SHT.	SHEET
CAT.	CATALOG	LF	LINEAR FOOT/FEET	S/W	SIDE WALK
C OR CATV	CABLE TELEVISION	MH	MANHOLE	SS	SANITARY SEWER
CFH	CUBIC FEET PER HOUR	MIN.	MINIMUM	SSE	SANITARY SEWER EASEMENT
C.I.P.	CAPITOL IMPROVEMENT PROJECT	MPOE	MINIMUM POINT OF ENTRY	ST. LT.-S/L	STREET LIGHT
CL	CENTER LINE	N.T.S.	NOT TO SCALE	SUBD'V	SUBDIVISION
CU	COPPER	O.D.	OUTER DIAMETER	Sqft.	SQUARE FOOTAGE
E	ELECTRIC	O.H.	OVER HEAD	T	TELEPHONE
EP	EDGE OF PAVEMENT	PIEUE	PRIVATE INGRESS, EGRESS, AND UTILITY EASEMENT	TUC	TARRAR UTILITY CONSULTANTS
EVUE	EMERGENCY VEHICLE ACCESS EASEMENT	℄	PROPERTY LINE	TYP.	TYPICAL
EX	EXISTING	P.S.	POWER SUPPLY	T/S	TRAFFIC SIGNAL
F/C	FACE OF CURB	PROJ.	PROJECT	U.G.	UNDERGROUND
FH	FIRE HYDRANT	PSDE	PRIVATE STORM DRAIN EASEMENT	U.O.N.	UNLESS OTHERWISE NOTED
FUT.	FUTURE	PSE	PUBLIC SERVICE EASEMENT	V	VOLT
F.O.	FIBER OPTIC	PVAW	PRIVATE VEHICLE ACCESS WAY	W	WATT
G	GAS	P.V.C.	POLY VINYL CHLORIDE	WT	WATER
GALV.	GALVANIZE	P.WE	PUBLIC WATER LINE EASEMENT	W/	WITH
G.E.	GENERAL ELECTRIC	PWR	POWER	W/O	WITHOUT
GRD.	GROUND	PUE	PUBLIC UTILITY EASEMENT	WLE	WATER LINE EASEMENT
H.O.A.	HOME OWNERS ASSOCIATION			XFMR	TRANSFORMER

JOINT TRENCH AND UTILITY BOX LOCATION



JOINT TRENCH STREET SECTIONS

NOT TO SCALE
NOTE: SEE PLANS FOR CONFIGURATIONS AND ARRANGEMENTS.
* UNLESS OTHERWISE SHOWN
WITHIN ROADWAY SECTION
(95% RELATIVE COMPACTION FOR THE TOP 6" BELOW ROAD SUBGRADE AND 90% BELOW THAT)

PRIVATE STREET LIGHT TRENCH LOCATION ADJACENT TO JOINT TRENCH

GENERAL NOTES:

1. ALL JOINT TRENCH CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH PG&E UTILITY OPERATIONS UO STANDARD S5453.
2. ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND SATISFACTION OF ALL PARTICIPATING UTILITIES AND CITY INSPECTORS.
3. BACKFILL SELECTION SHALL BE SUBJECT TO THE APPROVAL OF THE RESPECTIVE UTILITY COMPANIES, THE SOILS ENGINEER AND THE CITY AND/OR COUNTY WHERE THE PROJECT IS LOCATED. CONSULT PARTICIPATING UTILITIES, SOILS ENGINEER, AND THE CITY FOR APPROVED BACKFILL MATERIAL. COMPACTION TO MEET LOCAL AGENCIES REQUIREMENTS.
4. THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES. DISTRIBUTION TRENCHES WITHOUT TELEPHONE CONDUIT DO NOT REQUIRE BEDDING MATERIAL. SERVICE TRENCHES WITHOUT TELEPHONE CONDUIT REQUIRE 2" SAND BEDDING AS A PAD ON WHICH UTILITY FACILITIES CAN REST. SERVICE TRENCHES CONTAINING TELEPHONE CONDUIT ONLY REQUIRE A 1" SAND BEDDING. ALL OTHER TRENCHES CONTAINING TELEPHONE CONDUIT REQUIRE A 3" SAND BEDDING. REFER TO PG&E GREEN BOOK PUBLICATION S5453, EXHIBIT B AND AT&T SPEC95 "AT&T SPECIFICATIONS" TRENCHING AND CONDUIT GUIDE FOR FURTHER INFORMATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND NOTIFY ALL PARTICIPATING UTILITY INSTALLATIONS.
7. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING TARRAR UTILITY CONSULTANTS.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTENCE AND/OR PRECISE LOCATION OF ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. TARRAR UTILITY CONSULTANTS MAKES NO WARRANTY WHATSOEVER THAT THE EXISTING UNDERGROUND UTILITIES AND/OR STRUCTURES DEPICTED ON THE PLANS HAVE BEEN ACCURATELY LOCATED OR THAT THERE ARE NO OTHER UNDERGROUND UTILITIES AND STRUCTURES IN ADDITION TO WHAT HAS BEEN SHOWN. CALL U.S.A. A MINIMUM OF 48 HOURS PRIOR TO STARTING CONSTRUCTION. FOR CALIFORNIA NORTH, (KERN COUNTY AND NORTHERLY, AND NEVADA) CALL (800)227-2600. FOR CALIFORNIA SOUTH, (SAN BERNARDINO COUNTY AND SOUTHERLY) CALL (800)422-4133.
9. CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES AND WITH THE REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, O.S.H.A. AND ANY OTHER GOVERNMENTAL AGENCY RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT AND LABOR PERSONNEL.
10. THE DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TO BE COMPLEMENTARY TO EACH OTHER. ANYTHING SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, OR MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, SHALL BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH. IF DISCREPANCY IS FOUND, NOTIFY TARRAR UTILITY CONSULTANTS PRIOR TO STARTING WORK.
11. TRENCH AND CONDUIT LAYOUTS ARE SHOWN SCHEMATICALLY.
12. TRENCHING OR SUBSTRUCTURE EXCAVATION MAY NECESSITATE OPERATION OVER, UNDER, OR ADJACENT TO OTHER UNDERGROUND UTILITIES (STORM, SEWER, WATER, ETC...). THE CONTRACTOR IS RESPONSIBLE TO LOCATE, PROSPECT, EXPOSE AND PROTECT ALL ADJACENT OR CROSSING UNDERGROUND UTILITIES. THIS WORK TO PROTECT THOSE UTILITIES IS NOT CONSIDERED AS EXTRA WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW IMPROVEMENT PLANS, IN CONJUNCTION WITH THIS PLAN, AND BID THE WORK ACCORDINGLY.
13. THE QUANTITIES SHOWN ON THESE PLANS ARE ONLY ESTIMATES OF WHAT WILL ACTUALLY BE REQUIRED FOR THE CONSTRUCTION OF THE OVERALL PROJECT. FINAL QUANTITIES MAY VARY ACCORDING TO CHANGES, ADDITIONS, DELETIONS OR OMISSIONS ON THE ORIGINAL PLAN.
14. VERIFY ALL SUBSTRUCTURE EXCAVATION DIMENSIONS WITH SUPPLIER(S) BEFORE BIDDING.
15. TARRAR UTILITY CONSULTANTS ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHOULD REVIEW THE PROJECT SITE PRIOR TO SUBMITTING ITS BID.
16. THE CONTRACTOR IS REQUIRED TO EXCAVATE BELL HOLE(S) AT TIE-IN LOCATIONS AS DIRECTED BY PARTICIPATING UTILITY.
17. CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.
18. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AS-BUILT DRAWINGS AFTER INSTALLATION OF PG&E'S GAS AND ELECTRIC SYSTEMS (PRIOR TO "HOT TIE-INS").
19. THE CITY INSPECTOR SHALL BE NOTIFIED TWO WORKING DAYS PRIOR TO COMMENCEMENT OF WORK. COORDINATE WITH THE INSPECTOR ANY SERVICES TO BE ABANDONED.
20. THE CONTRACTOR IS TO VERIFY THE RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.
21. PG&E'S GENERAL TERM AND CONDITIONS FOR GAS AND ELECTRIC EXTENSION AND SERVICE CONSTRUCTION BY "APPLICANT" (EFFECTIVE 07/1/95) TO BE UTILIZED FOR ALL TRENCHING, BACKFILLING, AND INSTALLATION WORK.
22. IN THE EVENT OF DISPUTES OR DISAGREEMENT OVER ANY INSTALLATIONS, DESIGNS, PLANS OR DRAWINGS, THE SPECIFICATIONS AND REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANIES AND THEIR INSPECTORS SHALL TAKE PRECEDENCE. IN CASE OF DISCREPANCIES WITHIN THE DRAWINGS AND SPECIFICATIONS HEREIN, THE CONTRACTOR SHALL CONSULT TARRAR UTILITY CONSULTANTS FOR INTERPRETATION BEFORE WORK IS STARTED.
23. TARRAR UTILITY CONSULTANTS HEREIN, ASSUMES NO RESPONSIBILITY WHATSOEVER FOR THE QUALITY, QUANTITY OR TIMING OF WORK TO BE PERFORMED BY THE CONTRACTOR, UTILITY COMPANY CONSTRUCTION CREWS, OR OTHER SUB-CONTRACTOR OF DEVELOPER.
24. ALL TRENCHING, BACKFILLING AND INSTALLATION WORK IS TO BE IN ACCORDANCE WITH THE STANDARD PRACTICES AND SPECIFICATIONS OF EACH UTILITY COMPANY PARTICIPATING IN THE UTILITY TRENCHES WITHIN THE PROJECT.
25. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POINTS OF ACCESS THAT ARE AGREEABLE TO ADJACENT LAND USES AND TENANTS AT ALL TIMES.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING WHAT INSPECTIONS WILL BE REQUIRED FOR APPROVAL OF THE WORK AND FOR COORDINATING ALL SUCH INSPECTIONS. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS PRIOR NOTICE TO THE CITY, SOILS ENGINEER, UTILITY COMPANIES OR ANY OTHER INDIVIDUALS OR PUBLIC AGENCIES, THAT THE WORK IS READY FOR INSPECTION.
27. THE CONTRACTOR SHALL NOTIFY DEVELOPER 48 HOURS PRIOR TO THE NEED FOR SURVEY STAKING. THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ALL CONSTRUCTION STAKING SET BY THE DEVELOPER'S SURVEYORS AND WILL BE BACK CHARGED FOR ANY RE-STAKING THAT IS REQUIRED. ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO AND PAID FOR BY THE CONTRACTOR.
28. ALL TRANSFORMERS AND TRANSFORMER PADS ARE TO BE INSTALLED PER PG&E SPECIFICATIONS. PROTECTIVE BOLLARDS ARE TO BE PLACED WHERE NEEDED.
29. THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
30. KEEP ALL BOXES AND PEDESTALS WITHIN PUBLIC UTILITY EASEMENTS OR RIGHT OF WAY. AS SHOWN.
31. ALL SAND BACKFILL MUST HAVE TESTING OF PH LEVEL AS WELL AS SAND EQUIVALENT. SEE CITY OF WALNUT CREEK REQUIREMENTS.
32. THE PROPOSED CONSTRUCTION OPERATION MAY TAKE PLACE AT OR NEAR FENCE LINES, PROPERTY LINES AND PROPERTY IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THESE AREAS AND FOR MAINTAINING THESE AREAS AND FACILITIES AT ALL TIMES DURING THE CONSTRUCTION OPERATION.
33. THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITION AND SHALL DEFEND AND HOLD THE DEVELOPER AND TARRAR UTILITY CONSULTANTS HARMLESS FROM ANY ALLEGED CLAIMS OR LIABILITIES, EXCEPT THOSE ARISING FROM SOLE NEGLIGENCE OF THE DEVELOPER OR TARRAR UTILITY CONSULTANTS.
34. THE APPROXIMATE LOCATIONS OF ALL EXISTING UTILITY COMPANY UNDERGROUND LINES, POLES BOXES, ETC., WERE OBTAINED FROM A REVIEW OF AVAILABLE UTILITY COMPANY RECORDS, REPRESENTATIONS OF UTILITY COMPANY PERSONAL, OR FIELD OBSERVATIONS. NEITHER THE DEVELOPER NOR TARRAR UTILITY CONSULTANTS ASSUME ANY RESPONSIBILITY FOR VARIANCES BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. NO EXTRA PAYMENT WILL BE MADE TO THE CONTRACTOR FOR ANY ADDITIONAL TRENCHING, BOX EXCAVATIONS, MATERIALS, ETC., THAT MAY BE REQUIRED TO COMPLETE THIS PROJECT IN THE EVENT AN EXISTING TIE-IN POINT SUBSTRUCTURE IS EITHER NON-EXISTING OR IS NOT SHOWN ON THE PLANS IN ITS ACTUAL FIELD POSITION. IT IS THE CONTRACTOR'S OBLIGATION AND RESPONSIBILITY TO SAFELY LOCATE ALL EXISTING UNDERGROUND FACILITIES BY SURFACE MARKING AND/OR HAND EXCAVATION PRIOR TO STARTING CONSTRUCTION.
35. "DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE TO OBTAIN A CITY OF WALNUT CREEK ENCROACHMENT PERMIT FOR ALL WORK DONE IN THE PUBLIC RIGHT OF WAY. DEVELOPER AND/OR CONTRACTOR IS ALSO RESPONSIBLE TO PROVIDE JOINT TRENCH PLANS TO THE CITY OF WALNUT CREEK AT THE TIME OF APPLICATION FOR THE ENCROACHMENT PERMIT."

813 First Street
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(925) 240-2595
(925) 240-7013 fax
www.tarrar.com

TARRAR
UTILITY CONSULTANTS

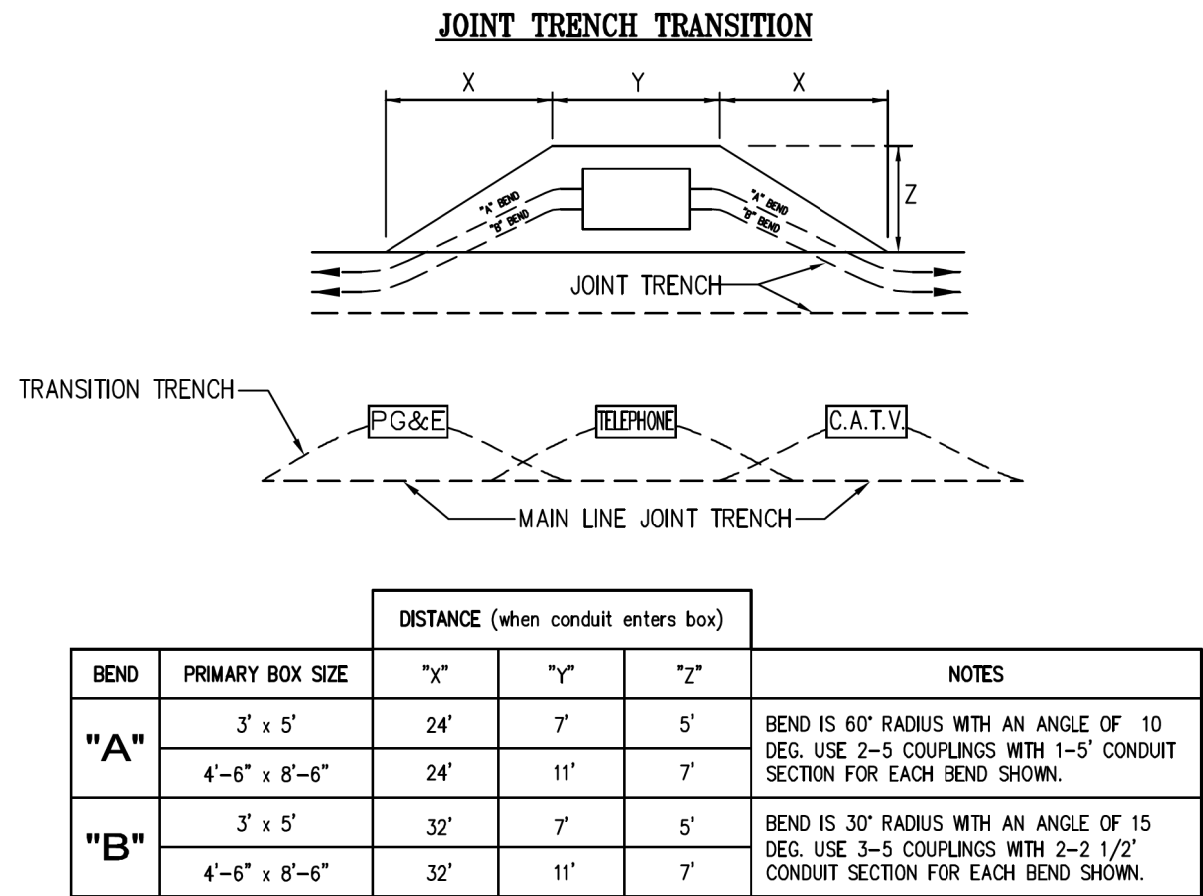
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- M.E.P. Design
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JOINT TRENCH GENERAL NOTES AND DETAILS

SUMMERHILL HOMES
OAK ROAD CONDOMINIUMS
WALNUT CREEK CALIFORNIA

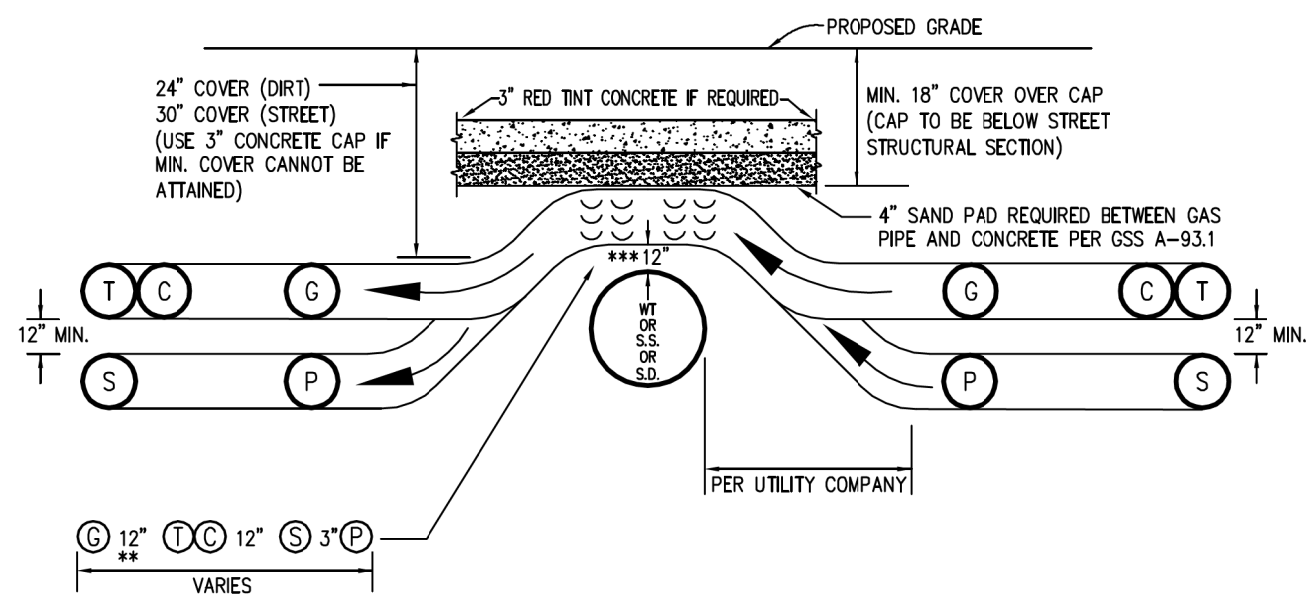
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JT2
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JT5
SHEETS

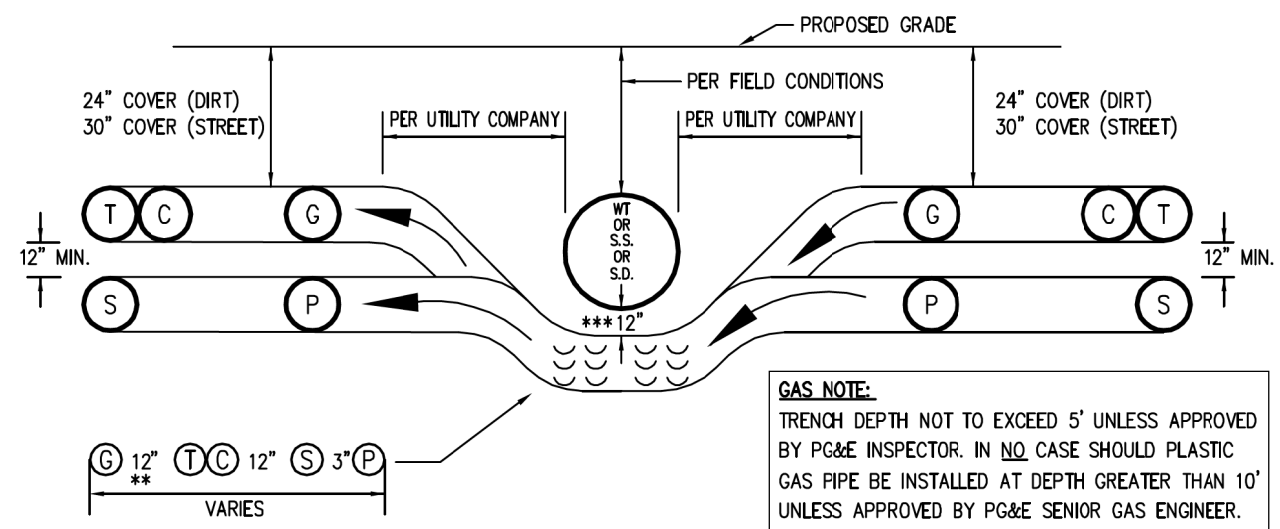


- NOTE:**
- CONTRACTOR TO EXCAVATE TRANSITIONS FROM MAIN-LINE TRENCH TO VAULTS AS REQUIRED BY EACH UTILITY.
 - TRANSITIONS NOT SHOWN ON COMPOSITE DRAWING FOR CLARITY.
 - CONTRACTOR TO INCLUDE COST OF TRANSITIONS IN VAULT EXCAVATION COST.

DETAIL 1 TYPICAL PRIMARY BOX EXCAVATION USING CONDUIT
N.T.S. JT3



**JOINT TRENCH OVER WATER, SANITARY SEWER OR STORM DRAIN
CHOICE 1 (PREFERRED METHOD)**



**JOINT TRENCH UNDER WATER, SANITARY SEWER OR STORM DRAIN
CHOICE 2 (OPTIONAL METHOD)**

- * SEE MINIMUM COVER & CLEARANCE CHART
- ** WITH MUTUAL AGREEMENT, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE & CATV).
- *** 6" MINIMUM REQUIRED BY PG&E-ADDITIONAL CLEARANCE MAYBE REQUIRED BY CITY OR COUNTY

DETAIL 2 OVER UNDER DETAILS
N.T.S. JT3

CONSTRUCTION LABOR AND MATERIAL RESPONSIBILITY

**PUBLIC UTILITY SYSTEM
(JOINT TRENCH)**

TRENCHING:	PG&E	ELECTRIC	CONTRACTOR
EXCAVATE, BACKFILL AND COMPACT:	PG&E	GAS	CONTRACTOR
GAS MATERIAL:	PG&E	TELEPHONE	CONTRACTOR
FURNISH:	PG&E	C.A.T.V.	CONTRACTOR
INSTALL:	PG&E		
ELECTRIC CABLE:	PG&E		
FURNISH:	PG&E		
INSTALL:	PG&E		
ELECTRIC CONDUIT:	PG&E		
FURNISH:	PG&E		
INSTALL:	PG&E		
ELECTRIC SPACE BOXES:	PG&E		
EXCAVATE:	PG&E		
FURNISH:	PG&E		
INSTALL:	PG&E		
ELECTRIC TMR. ENCL.	PG&E		
EXCAVATE:	PG&E		
FURNISH:	PG&E		
INSTALL:	PG&E		
ELECTRIC TMR. PADS:	PG&E		
GRADE:	PG&E		
FURNISH:	PG&E		
INSTALL:	PG&E		
ELECTRIC SWITCH PADS:	PG&E		
GRADE:	PG&E		
FURNISH:	PG&E		
INSTALL:	PG&E		
TELEPHONE CONDUIT:	PG&E		
FURNISH:	PG&E		
INSTALL:	PG&E		
TELEPHONE CABLE:	PG&E		
FURNISH:	PG&E		
INSTALL:	PG&E		
TELEPHONE SPACE BOX:	PG&E		
EXCAVATE:	PG&E		
FURNISH:	PG&E		
INSTALL:	PG&E		
TELEPHONE INTER. PADS:	PG&E		
GRADE:	PG&E		
FURNISH:	PG&E		
INSTALL:	PG&E		
C.A.T.V. CONDUIT:	PG&E		
FURNISH:	PG&E		
INSTALL:	PG&E		
C.A.T.V. SPACE BOXES:	PG&E		
EXCAVATE:	PG&E		
FURNISH:	PG&E		
INSTALL:	PG&E		

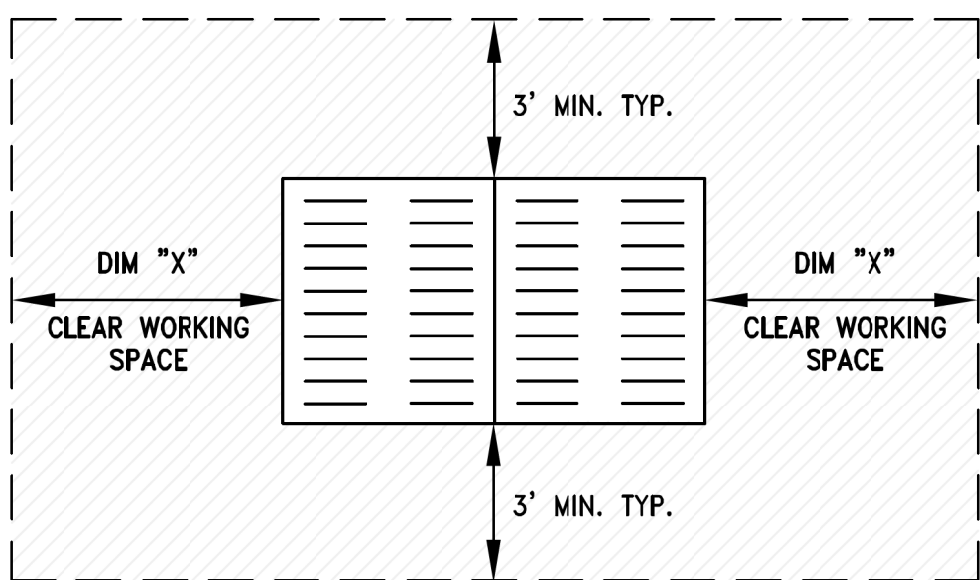
**STREET LIGHTING SYSTEM
(N/A)**

WIRE:	PG&E	CONTRACTOR
FURNISH:	PG&E	CONTRACTOR
INSTALL:	PG&E	CONTRACTOR
CONDUIT:	PG&E	CONTRACTOR
FURNISH:	PG&E	CONTRACTOR
INSTALL:	PG&E	CONTRACTOR
BASES:	PG&E	CONTRACTOR
FURNISH:	PG&E	CONTRACTOR
INSTALL:	PG&E	CONTRACTOR
LUMINAIRES:	PG&E	CONTRACTOR
FURNISH:	PG&E	CONTRACTOR
INSTALL:	PG&E	CONTRACTOR
SPUR BOXES:	PG&E	CONTRACTOR
FURNISH:	PG&E	CONTRACTOR
INSTALL:	PG&E	CONTRACTOR
POLES & ARMS:	PG&E	CONTRACTOR
EXCAVATE:	PG&E	CONTRACTOR
FURNISH:	PG&E	CONTRACTOR
INSTALL:	PG&E	CONTRACTOR

SCHEDULE:
INSTALL IN JOINT TRENCH:
INSTALL IN SEPARATE TRENCH:
CONDUIT SIZE:
CONDUIT TYPE:
WIRE SIZE: TYPE:

ADDITIONAL NOTES:
DEVELOPER TO SUPPLY AND INSTALL GAS & ELECTRIC FACILITIES UNDER THE COMPETITIVE BIDDING PROVISIONS OF PG&E GREEN BOOK RULES 15, 16 AND 20.

● DESIGNATES THE WORK TO BE PERFORMED BY THE CONTRACTOR AND EACH UTILITY COMPANY.



DIM "X"
3' MIN. 3'0" x 5'0" ENCLOSURES
4' MIN. 4' x 6'6" x 5'0" ENCLOSURES
5' MIN. 4'6" x 8'6" x 6'0" ENCLOSURES
(OR EASEMENT REQUIRED)

DETAIL 3 PG&E ENCLOSURE CLEARANCES
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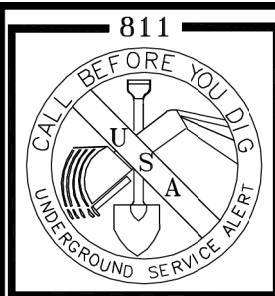
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JOINT TRENCH DETAILS
SUMMERHILL HOMES
OAK ROAD CONDOMINIUMS
WALNUT CREEK CALIFORNIA

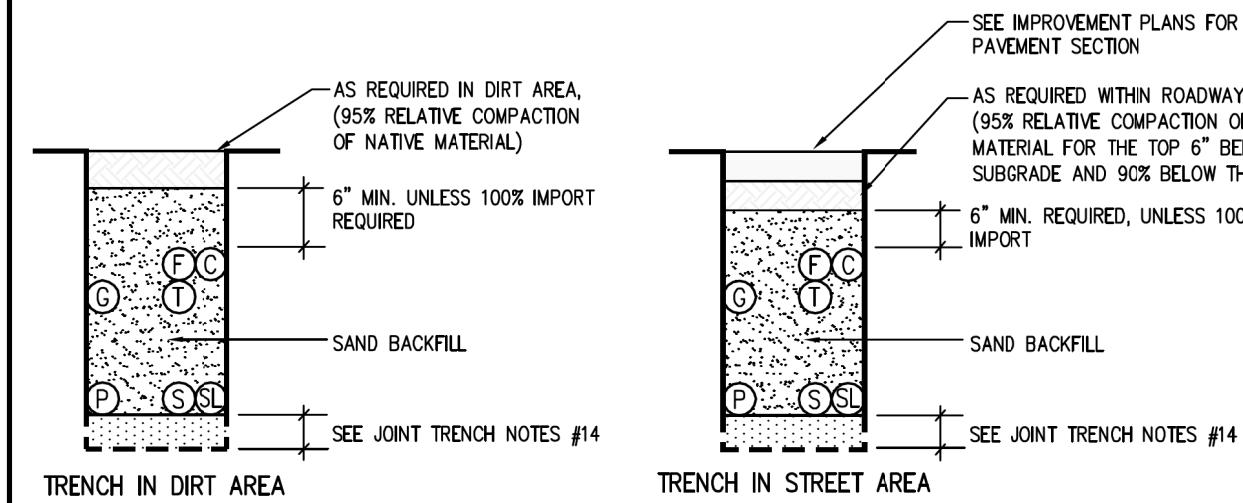
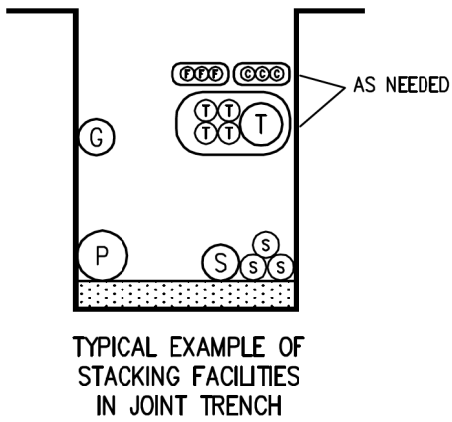
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OF
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JOINT TRENCH MINIMUM COVER AND CLEARANCES												
MINIMUM SEPARATION FROM												
UTILITY	G	T	TD	C	S	P	SL	SLP	F	FE	MINIMUM COVER	
G (GAS)*	-	12"	12"	12"	6"	12"	12"	6"	12"	12"	24"; 30" IN STREET	
T (TELEPHONE) DUCT	12"	-	1"	1"	12"	12"	12"	12"	1"	12"	24"; 30" IN STREET	
TD (TELEPHONE) DIRECT BURY	12"	1"	-	1"	12"	12"	12"	12"	1"	12"	24"; 30" IN STREET	
C (CABLE T.V.)	12"	1"	1"	-	12"	12"	12"	12"	1"	12"	24"; 30" IN STREET	
S (ELECT. SECONDARY)	6"	12"	12"	12"	1.5"	3"	12"	1.5"	12"	12"	24"; 30" IN STREET	
P (ELECT. PRIMARY)	12"	12"	12"	12"	3"	3"	3"	3"	12"	12"	36"; 36" IN STREET	
SL (PUBLIC AND PRIVATE-STREET LIGHT)**	12"	12"	12"	12"	12"	12"	-	12"	12"	12"	24"; 30" IN STREET	
SLP (P.G.E.-STREET LIGHT)	6"	12"	12"	12"	1.5"	3"	12"	1.5"	12"	12"	24"; 30" IN STREET	
FE (FOREIGN ELECTRIC SOURCES, NON PG&E)	12"	12"	12"	12"	12"	12"	12"	12"	-	12"	24"; 30" IN STREET	
F (FIBER OPTIC)	12"	1"	1"	1"	12"	12"	12"	12"	-	12"	24"; 30" IN STREET	

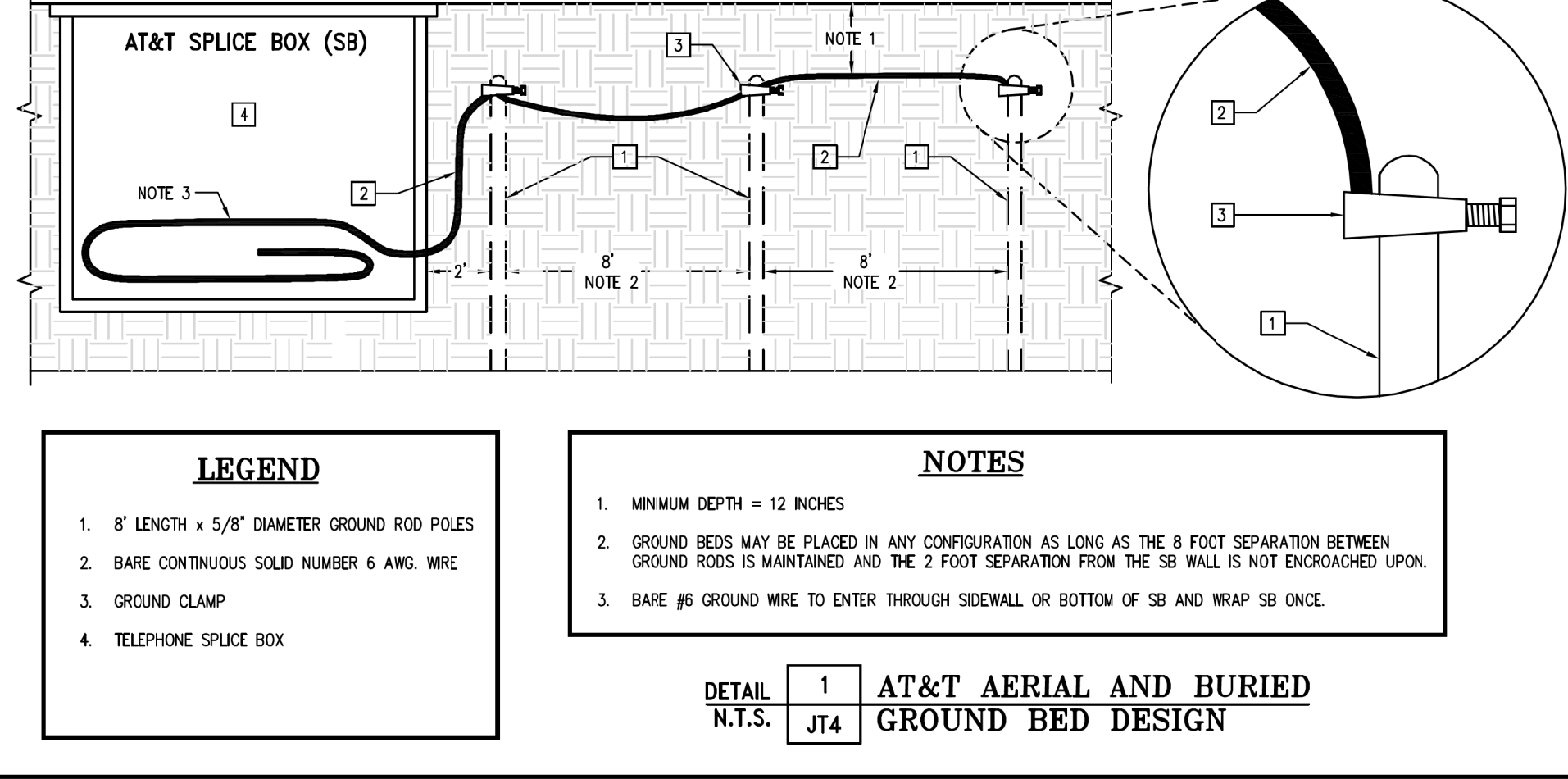


- LEGEND**
- MEETS UTILITY TRENCH ALLOTMENT
 - EXCEEDS UTILITY TRENCH ALLOTMENT
 - Ⓒ GAS
 - Ⓔ ELECTRIC PRIMARY
 - Ⓕ ELECTRIC SECONDARY
 - Ⓗ TELEPHONE (DUCT OR DIRECT BURY)
 - Ⓒ CATV
 - Ⓕ STREET LIGHT (PUBLIC OR PRIVATE)
 - Ⓕ STREET LIGHT (PG&E)
 - Ⓔ FOREIGN ELECTRIC
 - Ⓕ FIBER OPTIC

- JOINT TRENCH NOTES:**
- TRENCH COVER & CLEARANCES SHOWN ARE MINIMUMS ONLY AND MAY REQUIRE ALTERATIONS TO SUIT FIELD CONDITIONS.
 - IT IS RECOMMENDED THAT ALL FACILITIES ARE TO BE A MINIMUM OF 12" BELOW SUB-BASE DISTURBANCE.
 - * WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED, SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
 - * WHERE 6" GAS MAIN IS LOCATED IN THE JOINT TRENCH A 18" MINIMUM SEPARATION FROM GAS MAIN TO ALL UTILITIES WILL BE REQUIRED.
 - ** WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, STREET LIGHT SEPARATION MAY BE REDUCED TO 0" BETWEEN STREET LIGHT AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
 - TRENCH CONFIGURATIONS SHOWN ARE FOR INSTALLATION WHERE EACH OCCUPANT IS UTILIZING HIS ENTIRE SPACE ALLOCATION. OTHER CONFIGURATIONS OR REDUCED DIMENSIONS MAY BE USED, PROVIDED THAT MINIMUM COVER AND CLEARANCES ARE MAINTAINED.
 - THE CONTRACTOR IS TO ADJUST TRENCH DEPTHS AT ALL JOINT TRENCH LATERAL CROSSINGS TO MAINTAIN REQUIRED CLEARANCES BETWEEN ALL PARTICIPATING UTILITIES.
 - TRENCH SECTIONS ARE SHOWN SCHEMATICALLY AND INDICATE AREAS OF OCCUPANCY ONLY; THEY DO NOT REFLECT SIZE OR QUANTITY OF FACILITIES TO BE INSTALLED.
 - TRENCH FOOTAGES PER SECTION ARE APPROXIMATE. SECTIONS ARE DESIGNED TO ACCOMMODATE ALL REQUIRED FACILITIES AS INDICATED ON EACH TRENCH PARTICIPANT'S CONSTRUCTION DRAWINGS.
 - THE CONTRACTOR SHALL VERIFY TRENCH FOOTAGES FOR ACCURACY PRIOR TO EXCAVATION AND TAKE NECESSARY PRECAUTION CROSSING WATER AND SEWER FACILITIES.
 - THE CONTRACTOR SHALL REFER TO THE COMPOSITE, CONDUIT, AND/OR EACH RESPECTIVE UTILITY INSTALLATION PLAN FOR THE NECESSARY CONDUIT CABLE AND/OR PIPE TO BE INSTALLED IN THIS PROJECT.
 - TYPE "M2" TRENCH SHALL BE INSTALLED AFTER CURB AND GUTTER INSTALLATION. CONTRACTOR SHALL COORDINATE ADDITIONAL MOVE-INS NECESSARY TO COMPLETE THE SERVICES TO THE DWELLING UNITS WITH THE DEVELOPER, ALL AGENCIES AND THE UTILITY COMPANIES. THE COST OF THESE MOVE-INS SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR TRENCHING.
 - THE AVERAGE TRENCH DEPTHS SHOWN ARE BASED ON THE MINIMUM UTILITY COMPANY REQUIREMENTS FOR DEPTH AND SEPARATION. CONTRACTOR SHALL ADJUST TRENCH WIDTH & DEPTH AS REQUIRED TO ADEQUATELY CLEAR EXISTING UNDERGROUND FACILITIES AND MAINTAIN MINIMUM UTILITY CLEARANCES. ALL TRENCHES OVER 60" DEEP MUST COMPLY WITH OSHA REQUIREMENTS. (SEE THE JOINT TRENCH MINIMUM COVER AND CLEARANCE TABLE)
 - CONTRACTOR SHALL USE SAND BEDDING AND SHADING AS REQUIRED BY THE UTILITY COMPANIES. THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES. DISTRIBUTION TRENCHES WITHOUT TELEPHONE CONDUIT DO NOT REQUIRE BEDDING MATERIAL. SERVICE TRENCHES WITHOUT TELEPHONE CONDUIT REQUIRE 2" SAND BEDDING AS A PAD ON WHICH UTILITY FACILITIES CAN REST. SERVICE TRENCHES CONTAINING TELEPHONE CONDUIT ONLY REQUIRE A 1" SAND BEDDING. ALL OTHER TRENCHES CONTAINING TELEPHONE CONDUIT REQUIRE A 3" SAND BEDDING. REFER TO PG&E GREEN BOOK PUBLICATION S5453, EXHIBIT B AND AT&T SPEC95 "AT&T SPECIFICATIONS" TRENCHING AND CONDUIT GUIDE FOR FURTHER INFORMATION.
 - ALL TRENCHING AND BACKFILLING TO BE DONE IN ACCORDANCE WITH THE CITY OF WALNUT CREEK ENGINEERING STANDARDS AND SPECIFICATIONS.
 - ALL PG&E, TELEPHONE, CABLE, AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER AND WATER LATERALS AND DRIVEWAYS. ALL UTILITY VAULTS, BOXES, PEDESTALS, ETC. MUST MAINTAIN A 5' MINIMUM CLEARANCE FROM FIRE HYDRANTS, AND 3' MINIMUM FROM STREETLIGHTS.

JOINT TRENCH OCCUPANCY GUIDE																		
TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R
GAS	X	X	X	X						X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X	X				X	X	X	X	X	X	X	X	X	X
CABLE T.V.	X	X	X	X	X	X			X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X					X	X	X	X	X	X
ELECTRIC PRI.	X	X	X	X	X	X	X	X										
FIBER OPTICS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY



- LEGEND**
- 8" LENGTH x 5/8" DIAMETER GROUND ROD POLES
 - BARE CONTINUOUS SOLID NUMBER 6 AWG. WIRE
 - GROUND CLAMP
 - TELEPHONE SPLICE BOX
- NOTES**
- MINIMUM DEPTH = 12 INCHES
 - GROUND BEDS MAY BE PLACED IN ANY CONFIGURATION AS LONG AS THE 8 FOOT SEPARATION BETWEEN GROUND RODS IS MAINTAINED AND THE 2 FOOT SEPARATION FROM THE SB WALL IS NOT ENCROACHED UPON.
 - BARE #6 GROUND WIRE TO ENTER THROUGH SIDEWALL OR BOTTOM OF SB AND WRAP SB ONCE.

DETAIL 1 AT&T AERIAL AND BURIED
N.T.S. JT4 GROUND BED DESIGN

THIS AREA RESERVED FOR JOINT TRENCH SECTIONS
TO BE PLACED AT A LATER TIME

813 First Street
Brentwood, CA 94513
(925) 240-2595
(925) 240-7013 fax
www.tarrar.com

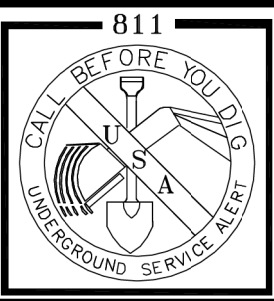
TARRAR
UTILITY CONSULTANTS

- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

JOINT TRENCH SECTIONS AND DETAILS
SUMMERHILL HOMES
OAK ROAD CONDOMINIUMS
WALNUT CREEK CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: DECEMBER 2020	DATE LAST WORKED ON: 10/27/2021
SCALE: NOT TO SCALE	DRAWN: RG CHECKED: KT
JOB NO.: 220046	PRELIMINARY NOT FOR CONSTRUCTION
INTENT TO CONSTRUCT	



SHEET
JT4
OF
JT5
SHFFTS

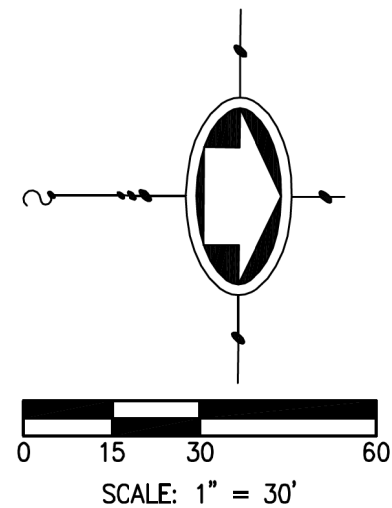
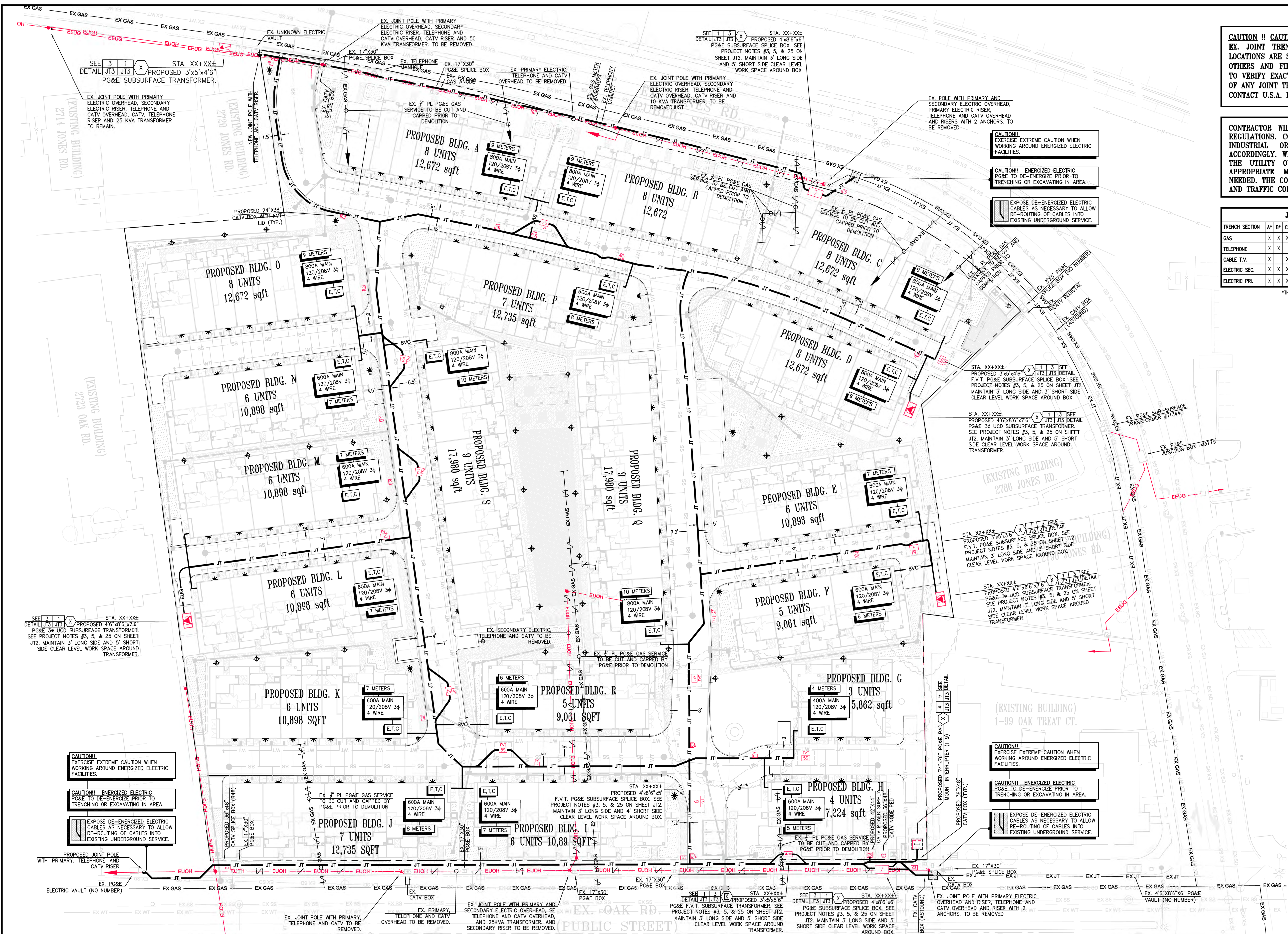
CAUTION !! CAUTION !! CAUTION !!
EX. JOINT TRENCH AND EX. GAS AND ALL OTHER UTILITY LOCATIONS ARE SHOWN BASED UPON INFORMATION PROVIDED BY OTHERS AND FIELD OBSERVATION. JOINT TRENCH CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EXISTING FACILITIES PRIOR OF ANY JOINT TRENCH CONSTRUCTION. POTHOLE IF NECESSARY. CONTACT U.S.A. DIG ALERT 2 WORKING DAYS IN ADVANCE.

CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING AROUND ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.

JOINT TRENCH OCCUPANCY GUIDE

TRENCH SECTION	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W
GAS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CABLE T.V.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC PRI.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

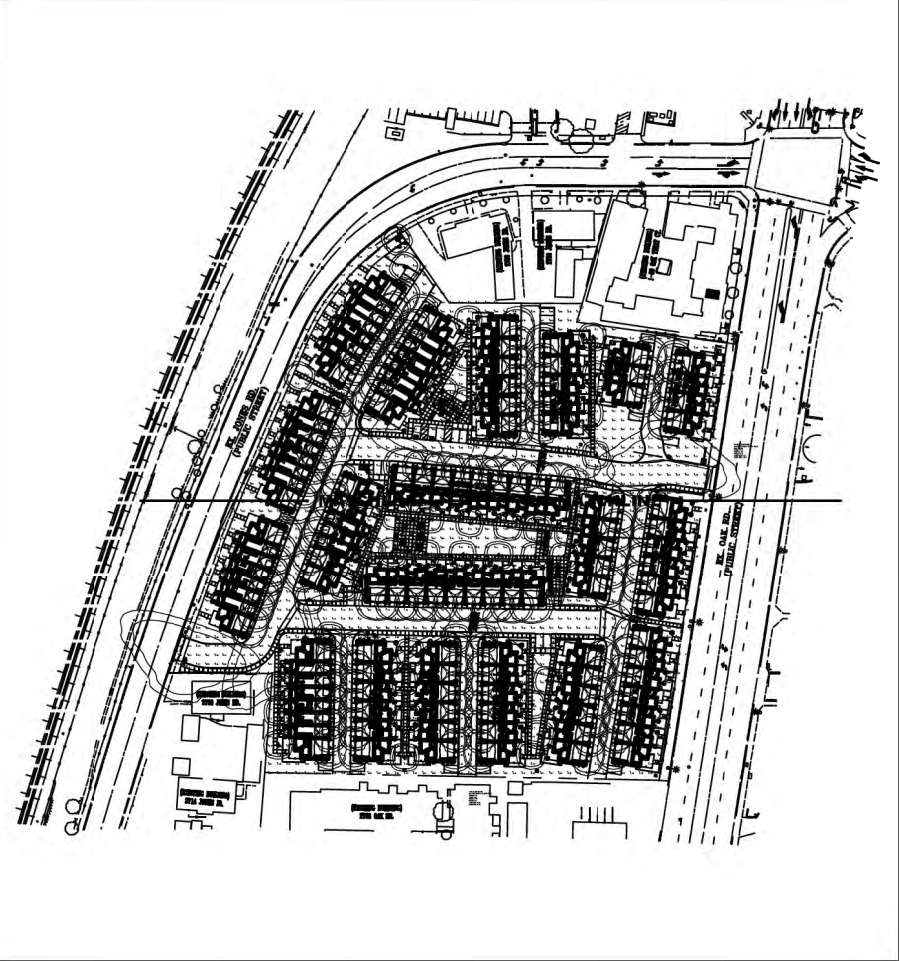


TARRAR UTILITY CONSULTANTS
APPROVED FOR SUBMITTAL
HAIDER KAMMOONAH
QUALIFIED APPLICANT DESIGN ENGINEER



Luminaire Schedule - LED										
Project: OAK ROAD CONDOS - WALNUT CREEK										
Symbol	Qty	Label	Arrangement	Lum. Watts	Lum. Lumens	LLF	LLD	LDD	UDF	Description
⊕	43	AA	SINGLE	7	455	0.900	0.900	1.000	1.000	LUMEC VBR-15L100NW-G1-5
⊕	8	BB	SINGLE	33	2961	0.900	0.900	1.000	1.000	LUMEC VLR-29L350NW-G1-3-CAGE - 16'-5" POLE
⊕	125	WP	SINGLE	13	1247	0.900	0.900	1.000	1.000	WILLIAMS VMMH-L10-740-EDC-INV-UNV - 8'
Filename										
VBR-15L100NW-G1-5 (S1506112m).										
VLR-29L350NW-G1-3-CAGE (CRT15)										
VMMH-L10-740-IES										

Calculation Summary									
Project: OAK ROAD CONDOS - WALNUT CREEK									
Description	CalcType	Units	Grid Z	Avg	Max	Min	Avg/Min	Max/Min	
TYPICAL PATHWAYS	Illuminance	Fc	0	0.49	3.30	0.00	N.A.	N.A.	
TYPICAL ALLEY DRIVES	Illuminance	Fc		1.83	5.26	0.15	10.87	35.07	
OAK ROAD ENTRY DRIVE	Illuminance	Fc		0.47	3.11	0.09	5.22	34.56	



ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS
IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED
LAMP, RATINGS, FIELD PERFORMANCE WILL DEPEND ON ACTUAL
LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice.
Some differences between measured values and calculated results may occur due to
tolerances in calculation methods, testing procedures, component performance,
measurement techniques and field conditions such as voltage and temperature
variations. Input data used to generate the attached calculations such as room
dimensions, reflectances, furniture and architectural elements significantly affect the
lighting calculations. If the real environment conditions do not match the input data,
differences will occur between measured values and calculated values.

AR Associated Lighting Representatives, Inc.

AR ASSOCIATED LIGHTING REPRESENTATIVES, INC.
7777 PARDEE LANE
P.O. BOX 2265
OAKLAND, CA 94621
PHONE: (510) 538-0158 - FAX (510) 838-2908

REPORT FOR: TARRAR UTILITY CONSULTANTS
BY: APPLICATIONS ENGINEERING; RAMON ZAPATA
SALES REPRESENTATIVE: ALR - JOHN BENSON



AGI32 - VERSION 19.14
AGI (C) 2020 LIGHTING ANALYSTS, INC.
10268 W. CENTENNIAL ROAD, SUITE 202
LITTLETON, CO 80127

PROJECT DESCRIPTION
OAK ROAD CONDOS
CITY OF WALNUT CREEK

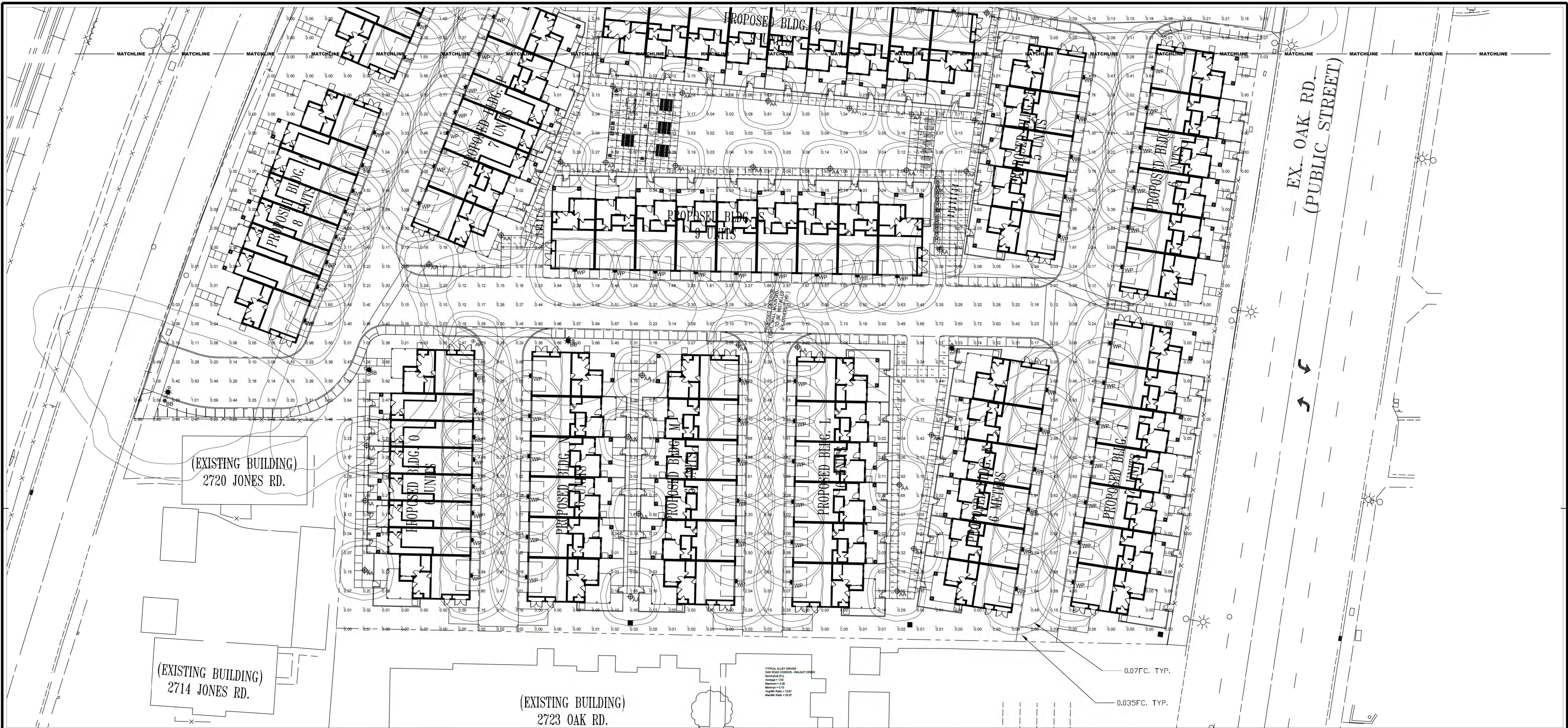
DRAWING NO. / INPUT FILE
18841BEN-R2.DWG / 18841BEN-R2.A32

SCALE
1" = 20'

SHEET
1 OF 2

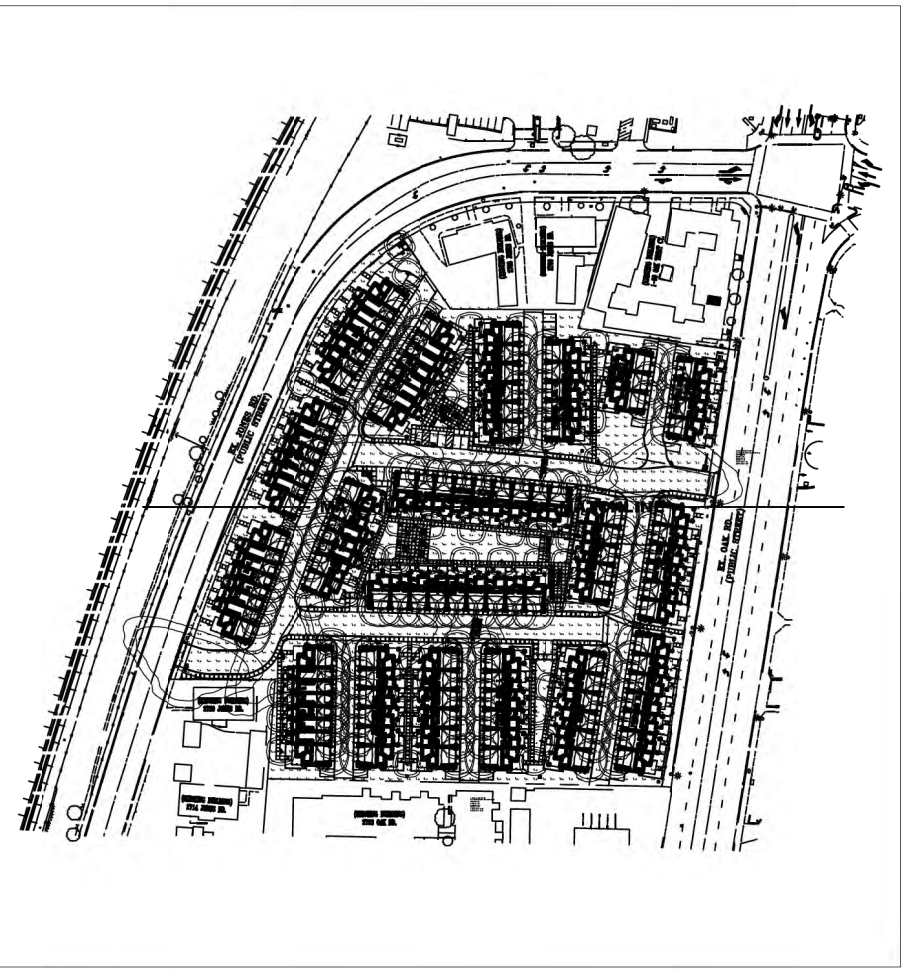
DATE
06.01.2021

REV
2



Luminaire Schedule - LED									
Project: OAK ROAD CONDOS - WALNUT CREEK									
Symbol	Qty	Label	Arrangement	Lum. Watts	Lum. Lumens	LLF	LLD	LDD	UCF
	43	AA	SINGLE	7	455	0.900	0.900	1.000	1.000
	8	BB	SINGLE	33	2961	0.900	0.900	1.000	1.000
	125	WP	SINGLE	13	1247	0.900	0.900	1.000	1.000
Description									
				LUMINEC VBR-15L100NW-G1-S					
				LUMINEC VLR-29L350NW-G1-3-CAGE - 16'-9" POLE					
				WILLIAMS VWMH-L10-740-EDD-INV-UNV - 8'					
				Filename					
				VBR-15L100NW-G1-S (S1506112m)					
				VLR-29L350NW-G1-3-CAGE (CR1150)					
				VWMH-L10-740-IES					

Calculation Summary									
Project: OAK ROAD CONDOS - WALNUT CREEK									
Description				CalcType	Units	Grid Z	Avg	Max	Min
TYPICAL PATHWAYS				Illuminance	Fc	0	0.49	3.30	0.00
TYPICAL ALLEY DRIVES				Illuminance	Fc	1.83	5.26	0.15	10.87
OAK ROAD ENTRY DRIVE				Illuminance	Fc	0.47	3.11	0.09	5.22
						AvgMin		MaxMin	
						N.A.		N.A.	
						10.87		35.07	
						5.22		34.56	



ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

Associated Lighting Representatives, Inc.

ASSOCIATED LIGHTING REPRESENTATIVES, INC.
7777 PARDEE LANE
P.O. BOX 2265
OAKLAND, CA 94621
PHONE: (510) 638-0158 - FAX (510) 638-2908

REPORT FOR: TARRAR UTILITY CONSULTANTS
BY: APPLICATIONS ENGINEERING: RAMON ZAPATA
SALES REPRESENTATIVE: ALR, JOHN BENSON



AGI32 VERSION 19.14
AGI (C) 2020 LIGHTING ANALYSTS, INC.
10268 W. CENTENNIAL ROAD, SUITE 202
LITTLETON, CO 80127

PROJECT DESCRIPTION
OAK ROAD CONDOS
CITY OF WALNUT CREEK


DRAWING NO. / INPUT FILE
18841BEN-R2.DWG / 18841BEN-R2.A32

SCALE
1" = 20'

SHEET
2 OF 2

DATE
06.01.2021

REV
2

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	8	A	SINGLE	1.000	8224	73	BXSP-B-HT-2ME-B-40K-UL-SV-N-Q6

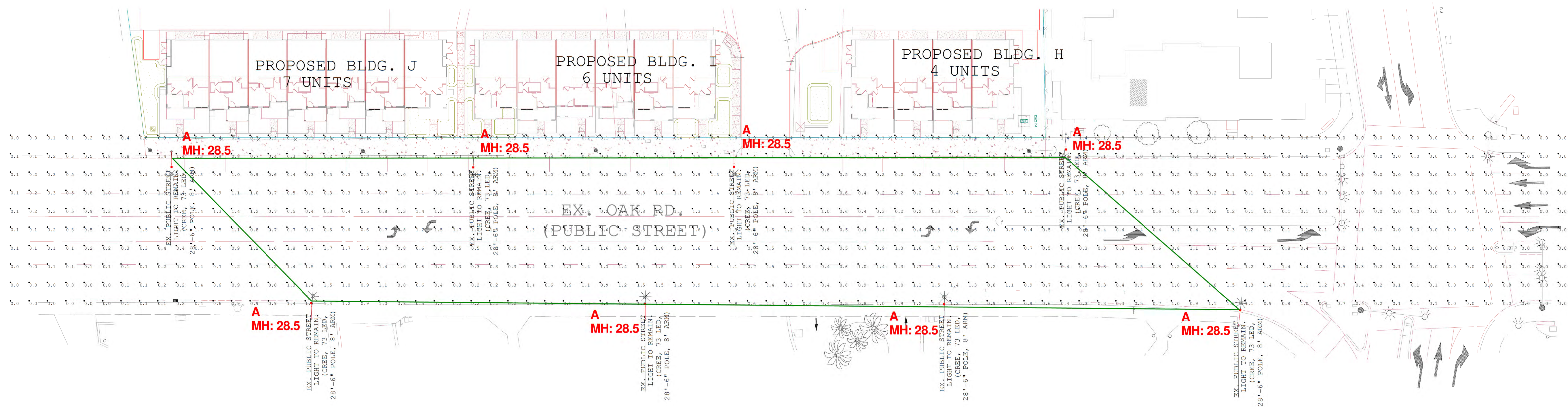
Calculation Summary (Footcandles calculated using predicted lumen values @ 50K hrs of operation)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	0.64	1.9	0.0	N.A.	N.A.
Oak Rd	Fc	0.89	1.9	0.2	4.45	9.50

Poles/Fixtures Existing to remain: 28' 6" Mounting Height; 8' Davit Arm

Additional Equipment:

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***

*** Iso-line represents 0.2FC ***





PLAN VIEW
Scale: 1"=40'-0"
0' 20' 40' 80'

Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

SUMMERHILL HOMES™
3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
COMMUNITIES OF DISTINCTION 925.244.7513

Illustrative Plan
L-1.1

PLANNING URBAN DESIGN
LANDSCAPE ARCHITECTURE
248 3rd street suite 202, oakland, ca 94607
phone: 510.452.4190 www.r3studios.com





Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

Preliminary Landscape Plan
L-1.2

Table 2. Tree suitability for preservation. Oak Road Townhome Condominiums. Contra Costa County CA.

High	Trees in good condition that have the potential for longevity at the site. Twenty-eight (28) trees were rated as having high suitability for preservation including 22 coast redwoods; valley oak #75, 80, 82, 83, Deodar cedar #168, and persimmon #145.
Moderate	Trees in fair health and/or possessing structural defects that may be abated with treatment. Trees in this category require more intense management and monitoring, and may have shorter life-spans than those in the "high" category. Eleven (11) trees were rated as having moderate suitability for preservation: valley oak #77, 78, 79, 81, 84, coast redwood #115, 139, 140, and southern magnolia #119, 120, 121.
Low	Trees in poor health or possessing significant defects in structure that cannot be abated with treatment. These trees can be expected to decline regardless of management. The species or individual tree may possess either characteristics that are undesirable in landscape settings or be unsuited for use areas. Forty-two (42) trees were rated as having low suitability for preservation including: 8 gossy privet, 5 mulberry, and 5 scarlet oak.

We consider trees with high suitability for preservation to be the best candidates for preservation. We do not normally recommend retention of trees with low suitability for preservation in areas where people or property will be present. Retention of trees with moderate suitability for preservation depends upon the intensity of proposed site changes.

Evaluation of Impacts and Recommendations for Action

Appropriate tree retention develops a practical match between the location and intensity of construction activities and the quality and health of trees. The tree assessment was the reference points for tree condition and quality. Impacts from the proposed project were assessed using the preliminary site plans and the Existing Trees/Blog, F, G & H – Overlay prepared by RJA Associates.

The project plans to construct 125 units, up to three stories tall with some roof decks. Entry roads will be installed from both Oak and Jones Roads. Impacts to trees could occur in a variety of ways. First, demolition of existing improvements such as buildings and infrastructure may directly damage tree roots and crowns. As significantly, grading and other construction activities may also damage trees, through both direct mechanical injury and indirectly by altering drainage. All on-site trees were located within areas proposed for development.

Contra Costa Code (section 816-B.8010) identifies factors that may be taken into account when making a decision to approve or deny a tree removal permit application. Among the factors are:

- (A) Tree is in poor health and cannot be saved.
Twenty-seven (27) of the 81 trees assessed were in poor condition.
- (G) Reasonable development of the property would require the alteration or removal of the tree and this development could not be reasonably accommodated on another area of the lot.
The proposed project involves construction of 125 residential units as well as associated infrastructure and parking. The project will impact the site from property line to property line. Impacts to all on-site trees will be severe as all trees are within areas proposed for development.

Based on my review of project plans and assessment of existing trees, I recommend preservation of on-site valley oak #79, relocation of valley oak #83, removal of remaining 73 on-site trees, and preservation of six off-site trees (Table 3).

I recommend removal of valley oak #77, a 73 in. diameter tree in good condition, on a preliminary basis. The tree is located at a planned street corner near the entry from Oak Road. The street surface would be approximately 1 ft. above existing grade. Curb and gutter would be installed 10 ft. from the trunk on two sides. Both pavement and curb would require excavation. In addition, utilities would be installed under both streets. Utilities would be within 20 ft. from the trunk on two sides of the tree. Building G would be installed approximately 40 ft. from the trunk on the north. The required clearance for project streets is 25 ft., to accommodate fire trucks. A large scaffold limb extends across the proposed street towards Building R. Street clearance of 26 ft. above the roadway could require removal of this scaffold. This would reduce the size of the tree's crown but leave a large pruning wound on the trunk. Given these constraints, a final decision about the preservation of this tree will be made following demolition and installation of improvements, and at the sole discretion of SummerHill Homes.

I recommend that the project relocate valley oak #83. This is a 13 in. diameter and in excellent condition (Photo 7)

Photo 7. Looking west at valley oak #83.



Table 3, continued. Proposed action. Oak Road Townhome Condominiums. Contra Costa County CA.

Tree No.	Common name	Trunk Diameter (in.)	Condition 1=poor 5=excell	Proposed Action	Notes
160	Silver dollar gum	45	2	Preserve	Off-site; altered by construction within the dripline; clearance pruning may be required
161	Silver dollar gum	37	2	Preserve	Off-site; altered by construction within the dripline; clearance pruning may be required
162	English walnut	15	2	Remove	Impacts from development
163	English walnut	18	2	Remove	Impacts from development
164	Coast redwood	16	5	Remove	Impacts from development
165	Coast redwood	14	5	Remove	Impacts from development
166	Coast redwood	13	5	Remove	Impacts from development
167	Coast redwood	14	5	Remove	Impacts from development
168	Deodar cedar	23	5	Preserve	Off-site; altered by construction within the dripline; clearance pruning may be required
169	Plum	8	3	Remove	Impacts from development
170	Pomegranate	4,3,3	3	Remove	Impacts from development
171	Red oak	19	2	Preserve	Off-site; altered by construction within the dripline; clearance pruning may be required
172	Red oak	19	2	Preserve	Off-site; altered by construction within the dripline; clearance pruning may be required

There are also six off-site trees to be retained but altered as some construction activity will take place within the dripline.

- Valley oak #80. This large oak on the north side of the site will need to be pruned to provide access for construction and the new buildings.
- Silver dollar gums #160 and 161 may require minor clearance pruning.
- Deodar cedar #168 may require minor clearance pruning.
- Red oaks #171 and 172 may require minor clearance pruning.

Tree Preservation Guidelines

The following are recommendations for design and construction phases that will assist in successful tree preservation.

Design recommendations

- Locate the trunk of valley oaks #79 and 83 as well as the six off-site trees recommended for preservation. Include trunk locations and tree tag numbers on all plans.
- Valley oak #83 will be relocated. A tree relocation company with experience in moving this size of tree should develop a relocation program.
- Establish a **TREE PROTECTION ZONE** around each tree to be preserved. For off-site trees, the **TREE PROTECTION ZONE** shall be the property line. For valley oak #79 the **TREE PROTECTION ZONE** shall be 15 ft. in all directions during demolition and site clearing, then 1 ft. behind the edge of grading and construction.
- Use only herbicides safe for use around trees and labeled for that use, even below pavement.

Pre-construction and demolition treatments and recommendations

- The demolition contractor shall meet with the Consulting Arborist before beginning work to discuss work procedures and tree protection.
- Trees to be preserved may require pruning to provide adequate clearance from construction activities. All pruning shall be performed by a licensed State of California contractor possessing the C81 classification license and the D49 specification. All pruning shall adhere to the latest editions of the American National Standards Institute Z133 and A300 standards.
- Install tree protective fencing at the edge of the **TREE PROTECTION ZONE**. For off-site trees, the project's security fence will serve as tree protection fencing.

Tree protection during construction

- Any grading, construction, demolition or other work that is expected to encounter tree roots should be monitored by the Consulting Arborist.
- If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Consulting Arborist so that appropriate treatments can be applied.

Table 3. Proposed action. Oak Road Townhome Condominiums. Contra Costa County CA.

Tree No.	Common name	Trunk Diameter (in.)	Condition 1=poor 5=excell	Proposed Action	Notes
76	Valley oak	39	4	Remove	Impacts from development
77	Valley oak	73	4	Remove	Impacts from development
78	Valley oak	30	4	Remove	Impacts from development
79	Valley oak	19	3	Preserve	Prune for clearance
80	Valley oak	48	4	Preserve	Off-site; altered by construction within the dripline. Prune to clearance & to reduce crown over project
81	Valley oak	26	4	Remove	Impacts from development
82	Valley oak	33	4	Remove	Impacts from development
83	Valley oak	13	5	Relocate	
84	Valley oak	30	3	Remove	Impacts from development
101	Scarlet oak	10	2	Remove	Impacts from development
102	Scarlet oak	11	2	Remove	Impacts from development
103	Scarlet oak	14	2	Remove	Impacts from development
104	Scarlet oak	13	2	Remove	Impacts from development
105	Scarlet oak	15	2	Remove	Impacts from development
106	Pear	6,5	2	Remove	Impacts from development
107	Glossy privet	8,5	3	Remove	Impacts from development
108	Almond	5,5	2	Remove	Impacts from development
109	Glossy privet	8,5,4	3	Remove	Impacts from development
110	Apple	9	2	Remove	Impacts from development
111	Cherry	5	3	Remove	Impacts from development
112	Mulberry	20	2	Remove	Impacts from development
113	Coast redwood	22	2	Remove	Impacts from development
114	Coast redwood	21	3	Remove	Impacts from development
115	Coast redwood	31	3	Remove	Impacts from development
116	Mulberry	17	2	Remove	Impacts from development
117	Mulberry	12	2	Remove	Impacts from development
118	Mulberry	12	1	Remove	Impacts from development
119	Southern magnolia	14	4	Remove	Impacts from development
120	Southern magnolia	19	4	Remove	Impacts from development
121	Fig	13,10	3	Remove	Impacts from development
122	Southern magnolia	20	4	Remove	Impacts from development
123	Glossy privet	10,8,7	2	Remove	Impacts from development
124	Glossy privet	6	2	Remove	Impacts from development
125	Glossy privet	7	2	Remove	Impacts from development
126	Glossy privet	10	2	Remove	Impacts from development
127	Glossy privet	9	2	Remove	Impacts from development

Table 3, continued. Proposed action. Oak Road Townhome Condominiums. Contra Costa County CA.

Tree No.	Common name	Trunk Diameter (in.)	Condition 1=poor 5=excell	Proposed Action	Notes
128	White ash	32	3	Remove	Impacts from development
129	Glossy privet	9,7,6,6,6,5,3	3	Remove	Impacts from development
130	Olive	13	3	Remove	Impacts from development
131	Mulberry	13	2	Remove	Impacts from development
132	Coast redwood	26	4	Remove	Impacts from development
133	Coast redwood	23	4	Remove	Impacts from development
134	Coast redwood	22	4	Remove	Impacts from development
135	Coast redwood	24	4	Remove	Impacts from development
136	Coast redwood	21	4	Remove	Impacts from development
137	Coast redwood	24	4	Remove	Impacts from development
138	Coast redwood	25	4	Remove	Impacts from development
139	Coast redwood	19	4	Remove	Impacts from development
140	Coast redwood	16	4	Remove	Impacts from development
141	Coast redwood	16	4	Remove	Impacts from development
142	Coast redwood	20	4	Remove	Impacts from development
143	Coast redwood	16	4	Remove	Impacts from development
144	Coast redwood	24	4	Remove	Impacts from development
145	Persimmon	12	4	Remove	Impacts from development
146	Coast redwood	28	4	Remove	Impacts from development
147	Coast redwood	28	4	Remove	Impacts from development
148	Coast redwood	27	4	Remove	Impacts from development
149	Coast redwood	24	4	Remove	Impacts from development
150	Coast redwood	24	4	Remove	Impacts from development
151	Coast redwood	21	4	Remove	Impacts from development
152	Persimmon	8	3	Remove	Impacts from development
153	Plum	9,7,7,6,6	2	Remove	Impacts from development
154	Calif. bay	9,8,7,7,7,6,6,6	3	Remove	Impacts from development
155	Calif. bay	9,8,6,5,5,5	3	Remove	Impacts from development
156	Calif. bay	8,8,4,3,3,3	3	Remove	Impacts from development
157	Coast redwood	12	5	Remove	Impacts from development
158	Oriental arborvitae	5,5,5,4,4,3	3	Remove	Impacts from development
159	Oriental arborvitae	5,4,2,2,2	2	Remove	Impacts from development

- Fences have been erected to protect trees to be preserved. Fences are to remain until all site work has been completed. Fences may not be relocated or removed without permission of the project superintendent.
- No materials, equipment, spoil, waste or wash-out water may be deposited, stored, or parked within the **TREE PROTECTION ZONE** (fenced area).
- Any additional tree pruning needed for clearance during construction must be performed by a qualified arborist and not by construction personnel.
- Any roots damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a saw.

HortScience | Bartlett Consulting



James R. Clark, Ph.D.
Certified Arborist WE-0846A

Tree Assessment

Oak Road Townhome Condominiums
Oak Road & Jones Road
Walnut Creek CA
December 2020



TREE No.	SPECIES	TRUNK DIAMETER (in.)	CONDITION (0=dead) (5=excell.)	SUITABILITY for PRESERVATION	COMMENTS
76	Valley oak	39	4	High	Surrounded by roof of house & concrete slab; multiple attachments @ 7'; excellent health & structure; slight gap in canopy.
77	Valley oak	73	4	Moderate	Massive tree; multiple attachments @ 12'; wide spreading crown; cabled; concrete fill @ attachment on E.; minor dieback in upper crown.
78	Valley oak	30	4	Moderate	Codominant trunks @ 10' with wide attachment; could cable stem on N. & reduce weight; E-facing stem has codominant attachment with included bark.
79	Valley oak	19	3	Moderate	Multiple attachments @ 8'; twig dieback; girdling wound @ 8' surrounds stem; epicormic growth.
80	Valley oak	48	4	High	Off-site; tag on fence; approximate diameter; canopy overhangs project by 34'; codominant trunks @ 8'; lateral limb over project; asymmetric form; crown reduced for off-site townhomes; full, dense crown.
81	Valley oak	26	4	Moderate	Codominant trunks @ 10' & 15'; slightly thin canopy.
82	Valley oak	33	4	High	Codominant trunks @ 15'; full, wide spreading crown.
83	Valley oak	13	5	High	Good young tree; full, dense healthy crown; strong central leader; excellent structure.
84	Valley oak	30	3	Moderate	Extensive twig dieback; minor branch dieback; thin crown; multiple attachments @ 18'.
101	Scarlet oak	10	2	Low	Street tree; concrete cutout; below power lines; codominant trunks @ 8'; poor form & structure.
102	Scarlet oak	11	2	Low	Street tree; concrete cutout; below power lines; poor form & structure.
103	Scarlet oak	14	2	Low	Street tree; concrete cutout; below power lines; codominant trunks @ 8'; poor form & structure.

Page 1

Tree Assessment

Oak Road Townhome Condominiums
Oak Road & Jones Road
Walnut Creek CA
December 2020



TREE No.	SPECIES	TRUNK DIAMETER (in.)	CONDITION (0=dead) (5=excell.)	SUITABILITY for PRESERVATION	COMMENTS
104	Scarlet oak	13	2	Low	Street tree; concrete cutout; below power lines; poor form & structure.
105	Scarlet oak	15	2	Low	Street tree; concrete cutout; below power lines; multiple attachments @ 8'; poor form & structure.
106	Pear	6,5	2	Low	Codominant trunks @ base with decay in center; topped @ 6'.
107	Glossy privet	8,8	3	Low	Codominant trunks @ 1'; one-sided to E.
108	Almond	5,5	2	Low	Poor form & structure; topped.
109	Glossy privet	8,5,4	3	Low	Codominant trunks @ 1' & 4'.
110	Apple	9	2	Low	Topped.
111	Cherry	5	3	Low	Multiple attachments @ 4'; topped with sprouts.
112	Mulberry	20	2	Low	Topped to 6'.
113	Coast redwood	22	2	Low	Topped; thin canopy.
114	Coast redwood	21	3	Low	Topped; thin canopy.
115	Coast redwood	31	3	Moderate	High crown; large base; lacks vigor.
116	Mulberry	17	2	Low	Planter; topped to 7'.
117	Mulberry	12	2	Low	Pavement cutout; topped to 7'.
118	Mulberry	12	1	Low	Topped to 7'; ext. decay.
119	Southern magnolia	14	4	Moderate	Okay form; lacks vigor.
120	Southern magnolia	19	4	Moderate	Okay form; flat-topped; lacks vigor.
121	Fig	13,10	3	Low	Codominant trunks @ base; topped to 15' tall.
122	Southern magnolia	20	4	Moderate	Okay form; lacks vigor.
123	Glossy privet	10,8,7	2	Low	Codominant trunks @ base & 3'; topped.
124	Glossy privet	6	2	Low	Interior; crowded.
125	Glossy privet	7	2	Low	Codominant trunks @ 7'; narrow.
126	Glossy privet	10	2	Low	Narrow form; topped.
127	Glossy privet	9	2	Low	Narrow form; topped.

Page 2

Tree Assessment

Oak Road Townhome Condominiums
Oak Road & Jones Road
Walnut Creek CA
December 2020



TREE No.	SPECIES	TRUNK DIAMETER (in.)	CONDITION (0=dead) (5=excell.)	SUITABILITY for PRESERVATION	COMMENTS
128	White ash	32	3	Low	Multiple attachments @ 15' with included bark; poorly pruned; high crown.
129	Glossy privet	9,7,6,6,6,5,3	3	Low	Series of codominant trunks from base to 5'.
130	Olive	13	3	Low	Rangy form; leans S.
131	Mulberry	13	2	Low	Pavement cutout; topped to 7'.
132	Coast redwood	26	4	High	E. end; typical form & structure.
133	Coast redwood	23	4	High	Typical form & structure; slightly crowded.
134	Coast redwood	22	4	High	Typical form & structure; slightly crowded.
135	Coast redwood	24	4	High	Typical form & structure; slightly crowded.
136	Coast redwood	21	4	High	Typical form & structure; slightly crowded.
137	Coast redwood	24	4	High	W. end; typical form & structure.
138	Coast redwood	25	4	High	E. end; typical form & structure.
139	Coast redwood	19	4	Moderate	Typical form & structure; slightly crowded.
140	Coast redwood	16	4	Moderate	Typical form & structure; slightly crowded.
141	Coast redwood	16	4	High	Typical form & structure; slightly crowded.
142	Coast redwood	20	4	High	Typical form & structure; slightly crowded.
143	Coast redwood	16	4	High	Typical form & structure; slightly crowded.
144	Coast redwood	24	4	High	W. end; typical form & structure.
145	Persimmon	12	4	High	Topped but otherwise good form.
146	Coast redwood	28	4	High	E. end; typical form & structure.
147	Coast redwood	28	4	High	Typical form & structure; slightly crowded.
148	Coast redwood	27	4	High	Typical form & structure; slightly crowded.
149	Coast redwood	24	4	High	W. end; typical form & structure.
150	Coast redwood	24	4	High	Typical form & structure; slightly crowded.
151	Coast redwood	21	4	High	Typical form & structure; slightly crowded.
152	Persimmon	8	3	Low	Topped; just stubs.
153	Plum	9,7,7,6,6	2	Low	Multiple attachments @ base; several stems x'd.

Page 3

Tree Assessment

Oak Road Townhome Condominiums
Oak Road & Jones Road
Walnut Creek CA
December 2020



TREE No.	SPECIES	TRUNK DIAMETER (in.)	CONDITION (0=dead) (5=excell.)	SUITABILITY for PRESERVATION	COMMENTS
154	Calif. bay	9,8,7,7,7,6,6,6	3	Low	Multiple attachments @ base; dense canopy.
155	Calif. bay	9,8,6,5,5,5,5	3	Low	Multiple attachments @ base; dense canopy.
156	Calif. bay	8,8,4,3,3,3,3	3	Low	Multiple attachments @ base; dense canopy.
157	Coast redwood	12	5	High	Pavement cutout; excellent tree.
158	Oriental arborvitae	5,5,5,4,4,3	3	Low	Multiple attachments @ base; big one-sided shrub.
159	Oriental arborvitae	5,4,2,2,2,2	2	Low	Multiple attachments @ base; big one-sided shrub; crowded.
160	Silver dollar gum	45	2	Low	Off-site; tag on fence; codominant trunks @ 6' & above; topped.
161	Silver dollar gum	37	2	Low	Off-site; tag on fence; codominant trunks @ 10' & above; topped.
162	English walnut	15	2	Low	Just poor.
163	English walnut	18	2	Low	NW. corner; 3 stems x'd @ base; very rangy form.
164	Coast redwood	16	5	High	Good tree.
165	Coast redwood	14	5	High	Good tree.
166	Coast redwood	13	5	High	Good tree.
167	Coast redwood	14	5	High	Good tree.
168	Deodar cedar	23	5	High	Off-site; tag on fence; 2 to 3' from property line; nice tree.
169	Plum	6	3	Low	Multiple attachments @ 4'; topped.
170	Pomegranate	4,3,3	3	Low	Multiple attachments @ base; 8' shrub.
171	Red oak	19	2	Low	Off-site; below power lines; topped; one-sided to S.
172	Red oak	19	2	Low	Off-site; below power lines; topped; one-sided to S.

Page 4



Tree Assessment Map

2740 Jones Road
Walnut Creek, CA

Prepared for:
SummerHill Homes
San Ramon, CA

December 2020

No Scale

Notes

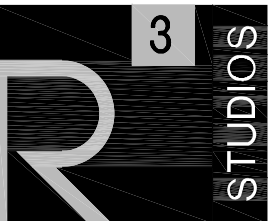
- Base map provided by: Google Earth
- Numbered tree locations are approximate.
- Oaks numbered 76-84 were assessed previously and included in a separate report.



325 Ray Street
Pleasanton, California 94566
Phone 925.454.0211
Fax 925.454.0596

Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

Arborist Report
L-2.3





WALL-MOUNTED KIOSK DISPLAYING TDM INFORMATION

PRIVATE YARD FENCE AND ENTRY GATE - REFER TO IMAGE SHEET L-7.3

BICYCLE RACKS (4 RACKS IN THIS LOCATION WITH PARKING SPACES FOR 8 BICYCLES) WITH INFORMATIVE KIOSK/TRAIL MAP - REFER TO IMAGE SHEET L-7.1

FLOWERING ACCENT TREE (E.G. CERCIS CANADENSIS) - REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

SMALL FLOWERING ACCENT TREE (E.G. MAGNOLIA 'LITTLE GEM') - REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

EVERGREEN SCREEN TREE (E.G. PRUNUS CAROLINIANA) - REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

BICYCLE RACKS (4 RACKS IN THIS LOCATION WITH PARKING SPACES FOR 8 BICYCLES) WITH INFORMATIVE KIOSK/TRAIL MAP - REFER TO IMAGE SHEET L-7.1

HOMEOWNER MAINTAINED PRIVATE YARD WITH HOA MAINTAINED ACCENT TREE (TYPICAL)

BICYCLE RACKS (9 RACKS IN THIS LOCATION WITH PARKING SPACES FOR 18 BICYCLES) WITH INFORMATIVE KIOSK/TRAIL MAP - REFER TO IMAGE SHEET L-7.1

WASTE RECEPTACLE - REFER TO IMAGE SHEET L-7.1

BICYCLE REPAIR STATION - REFER TO IMAGE SHEET L-7.1

USPS MAILBOX STATION (WITH ADDITIONAL PARCEL LOCKERS AND SITE DIRECTORY) - REFER TO IMAGE SHEET L-7.2

STORM WATER TREATMENT PLANTING - REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

CONCRETE PAVING - REFER TO DETAIL 1 SHEET L-10

PLANTING AREA - REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

TURF OPEN SPACE:

- BENCH - REFER TO IMAGE SHEET L-7.1
- WASTE RECEPTACLE - REFER TO IMAGE SHEET L-7.1
- CONCRETE BAND AT TURF - REFER TO DETAIL 2 SHEET L-10

CENTRAL OUTDOOR DINING AREA:

- PAINTED WOOD PERGOLA WITH OUTDOOR BARBECUE - REFER TO IMAGE SHEET L-7.2
- TABLE AND CHAIRS - REFER TO IMAGE SHEET L-7.1
- WASTE RECEPTACLE - REFER TO IMAGE SHEET L-7.1
- 3' X 3' DIAGONALLY SCORED CONCRETE PAVING - REFER TO DETAIL 1 SHEET L-10

NOTES:

- PRIVATE YARD FENCING TO BE ADJUSTED BASED UPON LADDER PAD LOCATIONS
- AS SHOWN ON PLANS, SOME UNITS TO NOT HAVE PRIVATE YARD FENCING AND PATIOS

PLAN VIEW

Scale: 1/16"=1'-0"



KEY MAP

Oak Road Townhouse Condos

Contra Costa County, CA
October 28, 2021

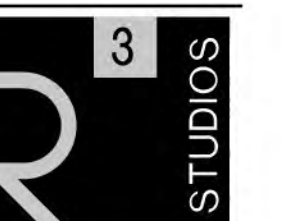
SUMMERHILL HOMES™
COMMUNITIES OF DISTINCTION

3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
925.244.7513

Central Open Space Enlargement

L-3

PLANNING URBAN DESIGN
LANDSCAPE ARCHITECTURE
248 3rd street suite 202, oakland, ca 94607
phone: 510.452.4190 www.r3studios.com





WOOD FENCE -
REFER TO DETAIL
3 SHEET L-10

LARGE FLOWERING ACCENT TREE
(E.G. MAGNOLIA 'ST. MARY'S') - REFER
TO THE PROPOSED PLANT PALETTE
SHEET L-8

CONCRETE PATIO EXPANSION (TYPICAL
SYMBOL)
(DIMENSIONS VARY PER UNIT)

SMALL FLOWERING ACCENT TREE IN
PRIVATE YARD (E.G. CHIONANTHUS
RETUSAS) - REFER TO THE PROPOSED
PLANT PALETTE SHEET L-8

BUILDING E

BUILDING D

COURT A

STREET B

EVERGREEN SCREEN TREE (E.G. PRUNUS CAROLINIANA) -
REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

FLOWERING ACCENT TREE (E.G. MALUS 'ROYAL
RAINDROPS') - REFER TO THE PROPOSED PLANT PALETTE
SHEET L-8

PRIVATE YARD FENCE AND ENTRY GATE -
REFER TO IMAGE SHEET L-7.3

PLANTING AREA - REFER TO THE
PROPOSED PLANT PALETTE SHEET L-8

HOMEOWNER MAINTAINED PRIVATE YARD
WITH HOA MAINTAINED ACCENT TREE
(TYPICAL)

CONCRETE PAVING - REFER TO DETAIL 1 SHEET L-10

BICYCLE RACKS (4 RACKS IN THIS LOCATION
WITH PARKING SPACES FOR 8 BICYCLES)
WITH INFORMATIVE KIOSK/TRAIL MAP -
REFER TO IMAGE SHEET L-7.1

COURTYARD PLAZA:

- PAINTED WOOD PERGOLA WITH OUTDOOR BARBECUE -
REFER TO IMAGE SHEET L-7.2
- TABLE AND CHAIRS - REFER TO IMAGE SHEET L-7.1
- WASTE RECEPTACLE - REFER TO IMAGE SHEET L-7.1
- 6'X10' AREA DESIGNATED FOR POTENTIAL PARCEL
LOCKER STRUCTURE

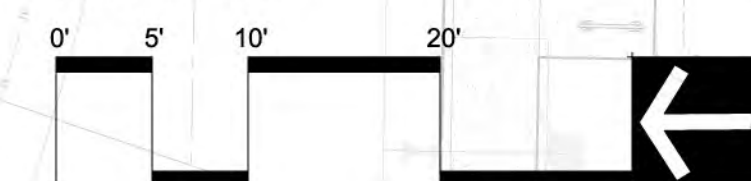
STORM WATER TREATMENT PLANTING - REFER TO THE
PROPOSED PLANT PALETTE SHEET L-8

NOTES:

- PRIVATE YARD FENCING TO BE ADJUSTED
BASED UPON LADDER PAD LOCATIONS
- AS SHOWN ON PLANS, SOME UNITS TO NOT
HAVE PRIVATE YARD FENCING AND PATIOS

PLAN VIEW

Scale: 1"=10'-0"



KEY MAP

Oak Road Townhouse Condos

Contra Costa County, CA
October 28, 2021

SUMMERHILL HOMES™

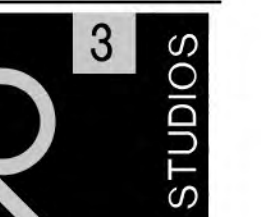
3000 Executive Parkway, Suite 450 San Ramon, Ca 94583
925.244.7513

COMMUNITIES OF DISTINCTION

Paseo Open Space Enlargement

L-4

PLANNING URBAN DESIGN
LANDSCAPE ARCHITECTURE
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phone: 510.452.4190 www.r3studios.com





WOOD FENCE - REFER TO DETAIL 3 SHEET L-10

DOG PARK:

- DOG PARK FENCE - REFER TO IMAGE SHEET L-7.3
- K-9 TURF - REFER TO DETAIL 2 SHEET L-10
- WASTE RECEPTACLE - REFER TO IMAGE SHEET L-7.1
- PET WASTE STATION - REFER TO IMAGE SHEET L-7.1

STORM WATER TREATMENT PLANTING - REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

EVERGREEN SCREEN TREE (E.G. PRUNUS CAROLINIANA) - REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

PLANTING AREA - REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

FLOWERING ACCENT TREE (E.G. MALUS 'PRAIRIE FIRE') - REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

4'-0" WIDE CONCRETE ENTRY WALKWAY - REFER TO DETAIL 1 SHEET L-10

JONES ROAD STREET TREE (E.G. PLATANUS MEXICANA) - REFER TO THE PROPOSED PLANT PALETTE SHEET L-8

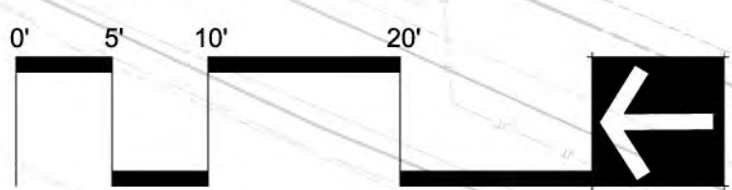
COURT A

BUILDING C

JONES ROAD

PLAN VIEW

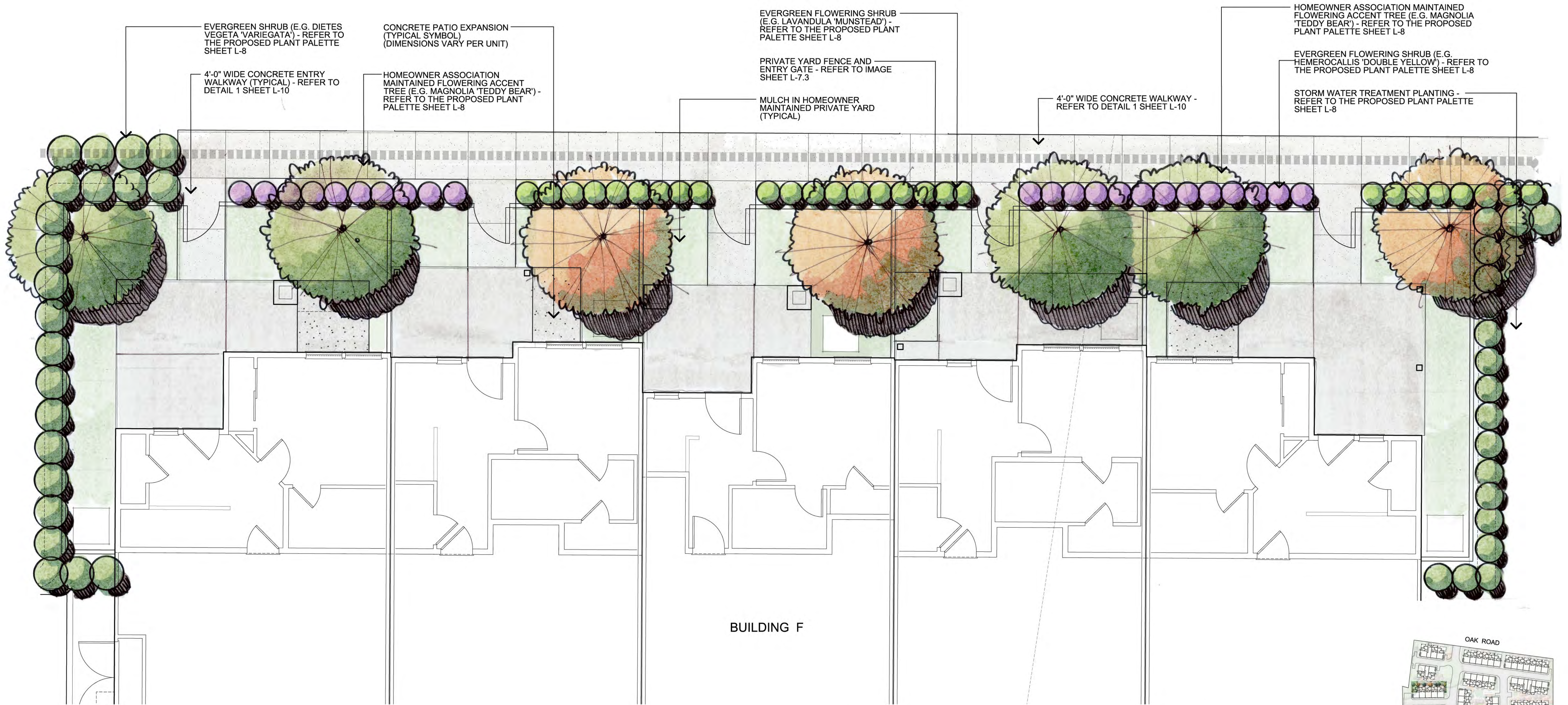
Scale: 1"=10'-0"



Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

Dog Park Enlargement
L-5





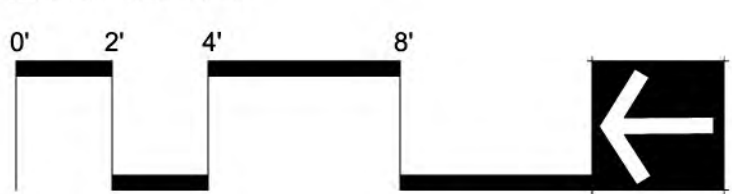
BUILDING F

NOTES:

- PRIVATE YARD FENCING TO BE ADJUSTED BASED UPON LADDER PAD LOCATIONS
- AS SHOWN ON PLANS, SOME UNITS TO NOT HAVE PRIVATE YARD FENCING AND PATIOS

PLAN VIEW

Scale: 1/4"=1'-0"



Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

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Private Yard Enlargement
L-6

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BENCH

FINISH TO BE BRONZE



TABLE AND CHAIRS

FINISH TO BE BRONZE



WASTE RECEPTACLE

FINISH TO BE BRONZE



BICYCLE RACK

FINISH TO BE BRONZE



BICYCLE REPAIR STATION

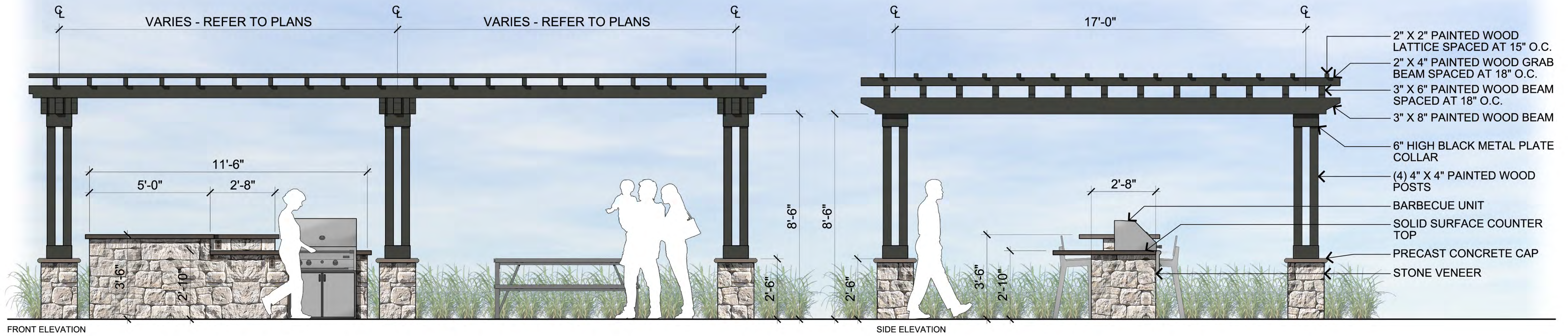
FINISH TO BE SEPIA BROWN



PET WASTE STATION

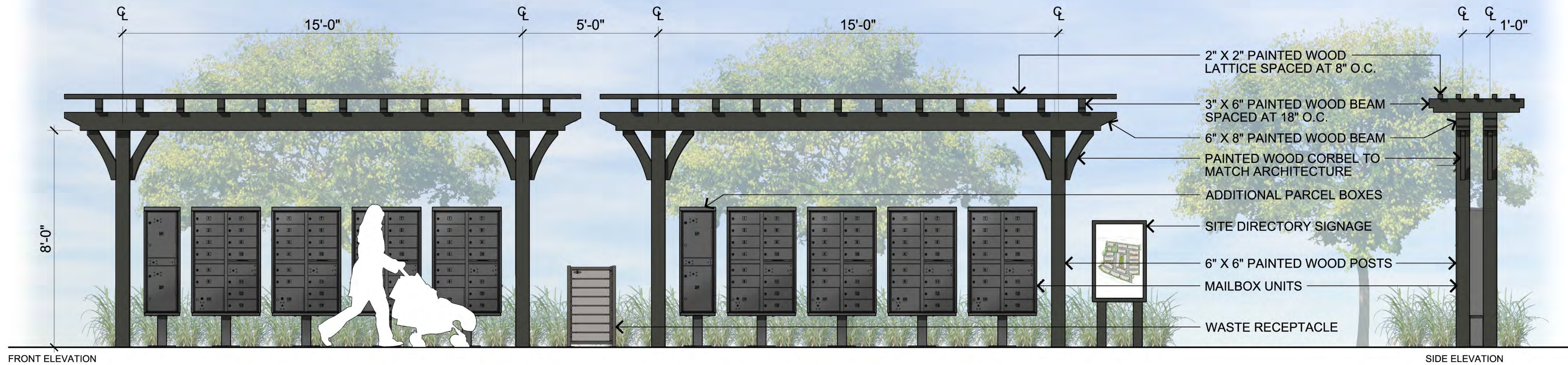
FINISH TO BE BLACK

Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021



PAINTED WOOD PERGOLA WITH OUTDOOR BARBECUE

SCALE: 1/2" = 1'-0"



USPS MAILBOX STATION

SCALE: 1/2" = 1'-0"

Oak Road Townhouse Condos

Contra Costa County, CA
October 28, 2021

Site Furnishings

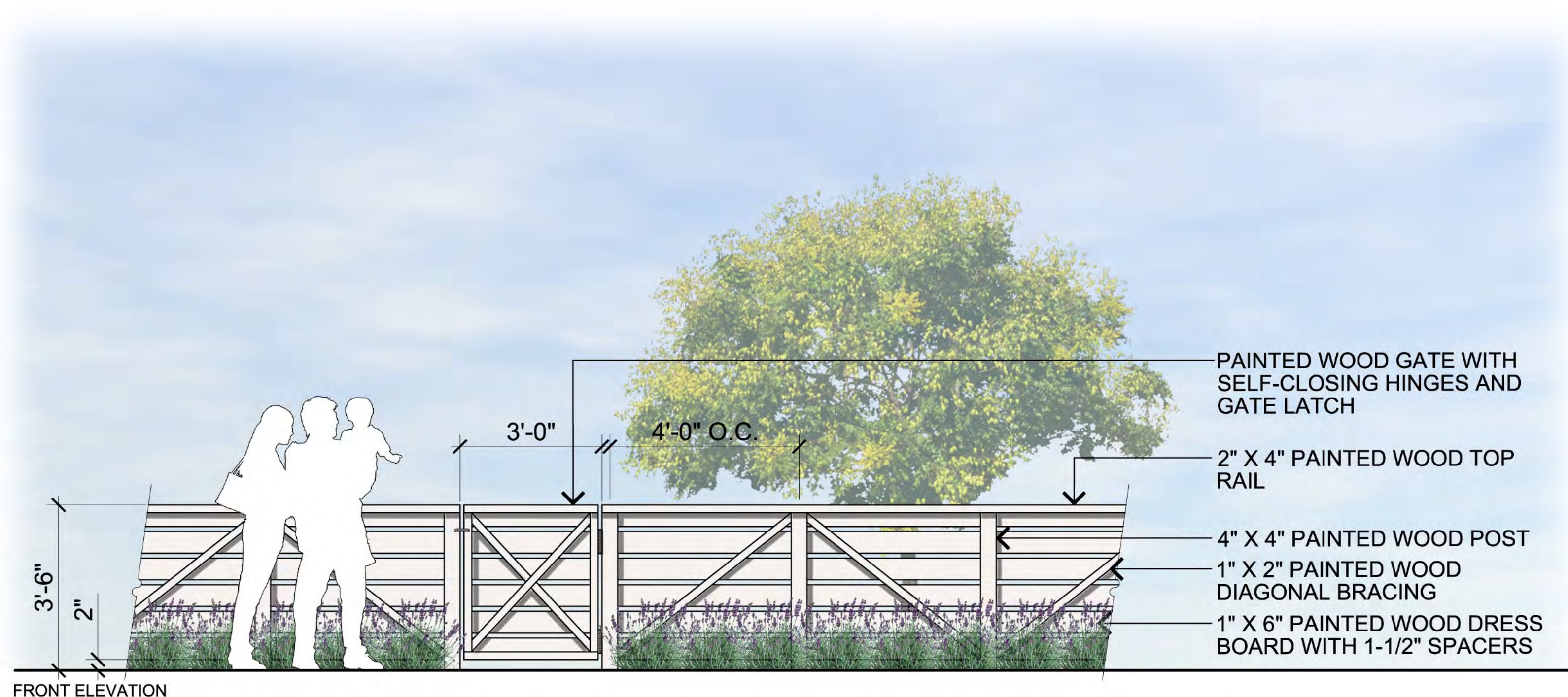
L-7.2



FRONT ELEVATION

ENTRY MONUMENT

SCALE: 1/2" - 1'-0"



FRONT ELEVATION

PRIVATE YARD FENCE AND ENTRY GATE

SCALE: 1/2" - 1'-0"



FRONT ELEVATION

DOG PARK FENCE

SCALE: 1/2" - 1'-0"

Oak Road Townhouse Condos

Contra Costa County, CA
October 28, 2021

Site Furnishings

L-7.3

PROPOSED PLANT PALETTE

BOTANICAL NAME COMMON NAME MINIMUM CONTAINER SIZE SPACING WULCOLS

OAK ROAD STREET TREES:

TO MATCH EXISTING OAK ROAD STREET TREES

24" BOX

N/A

JONES ROAD STREET TREES:

PLATANUS MEXICANA

MEXICAN SYCAMORE

24" BOX

N/A

L

FLOWERING ACCENT TREES:

ACER PLATINUM 'BI HOU'
ARBITUS UNED
CERCIS CANADENSIS SPECIES
CHIONANTHUS RETUSUS
x CHITALPA TASHKENTENSIS
CORNUS 'EDDIE'S WHITE WONDER'
LAGERSTROEMIA FAUREI 'MUSKOGEE'
MAGNOLIA 'LITTLE GEM'
MALUS SPECIES
PRUNUS SPECIES

NCN
STRAWBERRY TREE
EASTERN REDBUD
FRINGE TREE
CHITALPA
FLOWERING DOGWOOD
CRAPE MYRTLE
MAGNOLIA
FLOWERING CRAB APPLE
FLOWERING PLUM/CHERRY

24" BOX
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EVERGREEN SCREEN TREES:

ARBUTUS 'MARINA'
ELEOCARPUS DECIPIENS
LAURUS NOBILIS 'SARATOGA'
LYONOTHAMNUS FLORIBUNDUS
PODOSTEMON CONFERTUS
PODOCARPUS MACROPHYLLA
PRUNUS CAROLINIANA
TRISTANIA LAURINA 'ELEGANT'

NCN
BLUEBERRY TREE
SWEET BAY
IRONWOOD
BRISBANE BOX
YEW PINE
NCN
WATER GUM

24" BOX
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BACKGROUND/FOUNDATION SHRUBS:

ABELIA SPECIES
BAMBOO TEXTILIS
BUXUS SPECIES
CALLISTEMON ' LITTLE JOHN'
CORREA SPECIES
COPROSMA SPECIES
ESCALLONIA SPECIES
EUONYMUS SPECIES
LOROPETULUM CHINENSE
MYRTUS SPECIES
PITTOSPORUM SPECIES
PRUNUS CAROLINIANA 'BRIGHT N TIGHT'
ROSMARINUS SPECIES
TEUCRIUM CHAMAEDRYS 'COMPACTA'
WESTRINGIA FRUTICOSA
XYLOSMA CONGESTUM

LINNAEA
WEAVER'S BAMBOO
BOXWOOD
DWARF BOTTLEBRUSH
AUSTRALIAN FUCHSIA
NCN
ESCALLONIA
EUONYMUS
NCN
MYRTLE
TOBIRA
NCN
ROSEMARY
GERMANDER
NCN
XYLOSMA

5 GALLON
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INTERMEDIATE SHRUBS:

BERBERIS SPECIES
CORREA SPECIES
DIANELLA SPECIES
DIETES SPECIES
LAVANDULA SPECIES
LIRIOPE GIGANTEA
NANDINA SPECIES
PHORMIUM SPECIES
RHAPHIOLEPIS INDICA SPECIES
ROSA SPECIES
SALVIA SPECIES
ZAUSCHNERIA SPECIES

BARBERRY
AUSTRALIAN FUCHSIA
FLAX LILY
FORTNIGHT LILY
LAVENDER
LILY TURF
HEAVENLY BAMBOO
NEW ZEALAND FLAX
INDIAN HAWTHORN
SHRUB ROSE
SAGE
CALIFORNIA FUCHSIA

5 GALLON
5 GALLON
5 GALLON
5 GALLON
5 GALLON
5 GALLON
5 GALLON
5 GALLON
5 GALLON
5 GALLON
5 GALLON
1 GALLON

3" O.C.
VARIES
3" O.C.
3" O.C.
3" O.C.
2" O.C.
2" O.C.
3" O.C.
4" O.C.
3" O.C.
3" O.C.
VARIES

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FOREGROUND SHRUBS:

ANIGOZANTHUS SPECIES
BULBINE FRUTESCENS
DIANELLA SPECIES
GERANIUM SPECIES
HEMEROCALLIS SPECIES
LAVANDULA SPECIES
LIRIOPE SPECIES
NANDINA SPECIES
PHORMIUM SPECIES
POLYSTICHUM MUNITUM
RUELLIA SPECIES
SANTOLINA SPECIES
SALVIA SPECIES
TEUCRIUM SPECIES
ZAUSCHNERIA SPECIES

DWARF KANGAROO PAWS
NCN
FLAX LILY
GERANIUM
EVERGREEN DAYLILY
LAVENDER
BIG BLUE LILY TURF
HEAVENLY BAMBOO
NEW ZEALAND FLAX
SWORD FERN
NCN
LAVENDER COTTON
SAGE
GERMANDER
CALIFORNIA FUCHSIA

1 GALLON
1 GALLON
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18" O.C.
30" O.C.
30" O.C.
18" O.C.
2" O.C.
3" O.C.
18" O.C.
3" O.C.
3" O.C.
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3" O.C.
3" O.C.
3" O.C.
18" O.C.
VARIES

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VINES:

CAMPIS RADICANS 'MONBAL'
DISTICUS SPECIES
GELSEMIUM SEMPERVIRENS
JASMINUM POLYANTHUM
PARTHENOCISSUS TRICUSPIDATA
ROSA SPECIES

BALBOA SUNSET TRUMPET VINE
SCARLET TRUMPET VINE
CAROLINA JASMINE
PINK JASMINE
BOSTON IVY
CLIMBING ROSE

5 GALLON
5 GALLON
5 GALLON
5 GALLON
5 GALLON
5 GALLON

N/A
N/A
N/A
N/A
N/A
N/A

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GROUND COVER:

CONVOLVULUS SABATIUS
COPROSMA KIRKII 'PROSTATUS'
CORREA SPECIES
GERANIUM SPECIES
GREVILLEA LANIGERA 'COASTAL GEM'
MAHONIA REPENS
NEPETA SPECIES
ROSA SPECIES
TEUCRIUM SPECIES
ZAUSCHNERIA SPECIES

GROUND MORNING GLORY
NCN
AUSTRALIAN FUCHSIA
GERANIUM
NCN
OREGON GRAPE
CAT MINT
GROUND COVER ROSE
GERMANDER
CALIFORNIA FUCHSIA

1 GALLON
1 GALLON
1 GALLON
1 GALLON
1 GALLON
1 GALLON
1 GALLON
2 GALLON
1 GALLON
1 GALLON

3" O.C.
18" O.C.
VARIES
3" O.C.
18" O.C.
VARIES
2" O.C.
2" O.C.
VARIES

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GRASSES:

CALAMAGROSTIS SPECIES
CAREX SPECIES
FESTUCA SPECIES
HELICTOTRICHON SEMPERVIRENS
MUEHLENBERGIA SPECIES
PENNISETUM SPECIES
LOMANDRA SPECIES

FEATHER REED GRASS
NEW ZEALAND SEDGE
FESCUE
BLUE OAT GRASS
DEER GRASS
FOUNTAIN GRASS
NCN

1 GALLON
1 GALLON
1 GALLON
1 GALLON
1 GALLON
1 GALLON
1 GALLON

VARIES
VARIES
3" O.C.
2" O.C.
4" O.C.
3" O.C.
VARIES

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SUCCULENTS:

AGAVE ATTENUATA
AEONIUM SPECIES
ALOE SPECIES

FOXTAIL AGAVE
NCN
ALOE

2 GALLON
1 GALLON
5 GALLON

N/A
18" O.C.
N/A

L
L
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STORM WATER TREATMENT TREES SHRUBS AND GRASSES:

ACER RUBRUM SPECIES
ARISTIDA PURPUREA
BOUTELOUA GRACIS
CERCIS SPECIES
CHONDROPETALUM TECTORUM
FESTUCA CALIFORNICA
JUNCUS PATENS
JUNCUS SPECIES
MELICA CALIFORNICA
MIMULUS SPECIES

NCN
PURPLE THREE-AWN
BLUE GRAMA
REDBUD
CAPE RUSH
CALIFORNIA FESCUE
BLUE RUSH
JUNCUS SPECIES
CALIFORNIA MELIC
MONKEY FLOWER

1 GALLON
1 GALLON
1 GALLON
1 GALLON
1 GALLON
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1 GALLON
1 GALLON
1 GALLON
1 GALLON

MIX EVENLY
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NOTES

WATER CONSERVATION STATEMENT:

PLANT MATERIAL HAS BEEN CHOSEN FOR WATER CONSERVING AND REDUCED MAINTENANCE CHARACTERISTICS. A MAXIMUM OF 25% OF NON-TURF PLANS WILL HAVE A MODERATE IRRIGATION WATER REQUIREMENT AND A MINIMUM OF 50% OF NON-TURF PLANTS WILL HAVE A LOW TO VERY LOW IRRIGATION WATER REQUIREMENT.

IRRIGATION NOTE:

A FULLY AUTOMATIC IRRIGATION SYSTEM SHALL BE PROPOSED FOR THE PROJECT UTILIZING WATER CONSERVING METHODS. IRRIGATION SHALL BE INSTALLED THROUGHOUT THE BIO-RETENTION AREAS TO PROVIDE SUPPLEMENTAL IRRIGATION IN THE DRY MONTHS WITH REDUCED IRRIGATION DURING SEASONAL RAINFALL OR WET MONTHS.

MINIMUM TREE CLEARANCE NOTE:

1. SMALL TREES (15' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 6' FROM BUILDINGS AND A MINIMUM OF 2' FROM EDGES OF PAVING, CURBS OR WALLS.
2. MEDIUM TREES (25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 10' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
3. LARGE TREES (ABOVE 25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 15' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
4. 20' MINIMUM FROM STREET LIGHT POLES
5. 10' MINIMUM FROM JOINT TRENCH, WATER LINES, WATER METERS AND FIRE HYDRANTS.
6. 10' MINIMUM FROM SANITARY SEWER AND STORM DRAINS.
7. ALL TREES PLANTED WITHIN 5'-0" OF FUTURE CURBS, SIDEWALK, WALLS AND ALL UTILITIES, SHALL INCLUDE A ROOT BARRIER.

LANDSCAPE NOTES:

PLANT PALETTE IS FOR REFERENCE ONLY. NOT ALL TREES, SHRUBS, GRASSES, AND GROUND COVER LISTED WILL BE UTILIZED IN THE PREPARATION OF CONSTRUCTION DOCUMENTS. ADDITIONAL PLANTS MAY BE SUBSTITUTED DUE TO AVAILABILITY AND CONTAINER SIZE. PLANT MATERIAL SHALL BE SELECTED AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.

LANDSCAPING SHALL BE OF THE TYPE AND SITUATED IN LOCATIONS TO MAXIMIZE OBSERVATION WHILE PROVIDING THE DESIRED DEGREE OF AESTHETICS. LANDSCAPING SHOULD BE TRIMMED SO AS NOT TO PROVIDE CONCEALMENT OPPORTUNITIES OR MEANS TO ACCESS ROOF. SECURITY PLANTING MATERIALS ARE ENCOURAGED ALONG PROPERTY LINE AND UNDER VULNERABLE WINDOWS.

ALL TRANSFORMERS AND UTILITY BOXES TO BE SCREENED WITH EVERGREEN SHRUBS.

TREE RESTITUTION PLAN AND TREE REPLACEMENT PLAN:

100 24" BOX TREE SHALL BE PLANTED TO MITIGATE TREE REMOVAL. A COST ESTIMATE WILL BE PROVIDED BY A LICENSED LANDSCAPE ARCHITECT FOR MATERIALS AND LABOR COSTS TO IMPLEMENT THIS RESTITUTION PLAN ONLY.

Oak Road Townhouse Condos

Contra Costa County, CA
October 28, 2021

Proposed Plant Palette

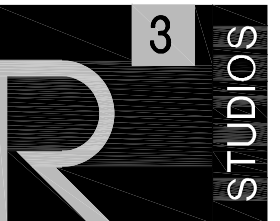
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PLANNING URBAN DESIGN
LANDSCAPE ARCHITECTURE
248 3rd street suite 202, oakland, ca 94607
phone: 510.452.4190 www.r3studios.com





ACER PALMATUM 'OCTOBER GLORY',
JAPANESE MAPLE, 24" BOX



CERCIS CANADENSIS SPECIES, EASTERN REDBUD,
24" BOX



CHIONANTHUS RETUSUS, FRINGE TREE, 24" BOX



LAGERSTROEMIA FAUREI SPECIES, CRAPE MYRTLE,
24" BOX

STREET TREE

ACCENT TREES



MAGNOLIA 'BRACKEN'S BROWN BEAUTY,'
MAGNOLIA, 24" BOX



MALUS SPECIES, FLOWERING CRABAPPLE, 24" BOX



MAYTENS BOARIA 'GREEN SHOWERS', MAYTEN TREE, 24" BOX



PRUNUS SPECIES, FLOWERING PLUM,
24" BOX

ACCENT TREES

Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

Proposed Plant Images
L-9.1



BUXUS SPECIES,
JAPANESE MAPLE, 5 GALLON



CALLISTEMON
'BETTER JOHN,
DWARF BOTTLE
BRUSH, 5 GALLON



CISTUS SPECIES,
ROCKROSE, 5 GALLON



COPROSMA SPECIES,
NCN, 5 GALLON



ESCALLONIA SPECIES,
ESCALLONIA, 5 GALLON



LOROPETALUM CHINENSIS,
FRINGE FLOWER, 5 GALLON



PITTOSPORUM SPECIES,
TOBIRA, 5 GALLON



RHAPHIOLEPIS SPECIES,
INDIAN HAWTHORNE, 5 GALLON



ROSMARINUS SPECIES,
ROSEMARY, 5 GALLON

BACKGROUND/FOUNDATION SHRUB



ABELIA 'KALEIDOSCOPE',
ABELIA, 1 GALLON



BERBERIS SPECIES,
BARBARRY, 1 GALLON



COLEONEMA PULLCHELLUM 'SUNSET GOLD,
GOLDEN BREATH OF HEAVEN, 1 GALLON



DIETES SPECIES,
FORTNIGHT LILY, 1 GALLON



GALVEZIA
'FIRECRACKER',
NCN, 1 GALLON



LAVANDULA SPECIES,
LAVENDER, 1 GALLON



LIRIOPE GIGANTEA,
LILY TURF, 1 GALLON



LOMANDRA SPECIES,
NCN, 1 GALLON

INTERMEDIATE SHRUB



MULENBERGIA SPECIES,
DEER GRASS, 1 GALLON



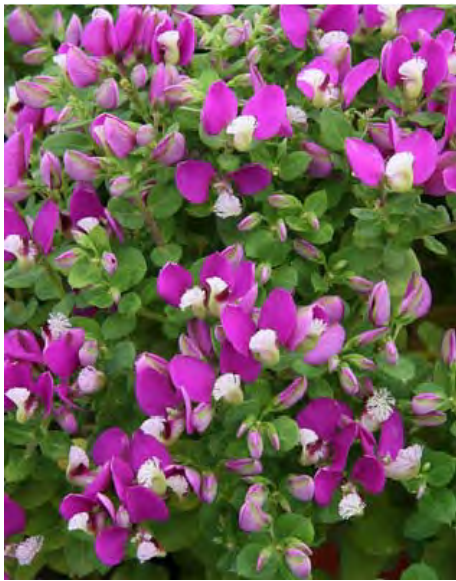
NANDIA SPECIES,
HEAVENLY BAMBOO, 1 GALLON



PITTOSPORUM SPECIES,
TOBIRA, 1 GALLON



PENNISETUM SPECIES,
FOUNTAIN GRASS, 1 GALLON



POLYGALA F. 'PETITE
BUTTERFLY,
COMPACT SWEET PEA,
5 GALLON



ROSA SPECIES,
SHRUB ROSE, 1 GALLON



SALVIA GREGGII SPECIES,
SAGE, 1 GALLON

INTERMEDIATE SHRUB

Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021



AGAPANTHUS SPECIES,
LILY OF THE NILE, 1 GALLON



CALLIANDRA 'JAZZ TIME',
NCN, 1 GALLON



DIANELLA SPECIES,
FLAX LILY, 1 GALLON



HEMEROCALLIS SPECIES,
EVERGREEN DAYLILY, 1 GALLON



LAVANDULA SPECIES,
LAVENDER, 1 GALLON



NANDINA SPECIES,
HEAVENLY BAMBOO, 1 GALLON



TEUCRIUM SPECIES
GERMANDER, 1 GALLON



ZAUSCHNERIA CALIFORNICA,
CALIFORNIA FUCHSIA, 1 GALLON

INTERMEDIATE SHRUB



CONVOLVULUS SPECIES,
GROUND MORNING GLORY,
1 GALLON



COPROSMA KIRKII 'PROSTATUM',
NCN, 1 GALLON



COPROSMA KIRKII 'VARIEGATA',
NCN, 1 GALLON



GERANIUM SPECIES,
GARANIUM, 1 GALLON



GREVELLEA LANIGERA 'COASTAL GEM',
NCN, 1 GALLON



LANTANA SPECIES,
LANTANA, 1 GALLON



LOROPETALUM 'PURPLE PIXIE',
FRINGE FLOWER, 1 GALLON

GROUNDCOVER



ROSA SPECIES,
GROUNDCOVER ROSE, 2 GALLON



TEUCRIUM SPECIES,
GERMANDER, 1 GALLON



ZAUSCHNERIA CANUM 'EVERETT'S CHOICE',
EVERETT'S CALIFORNIA FUCHSIA, 1 GALLON

GROUNDCOVER

Oak Road Townhouse Condos
Contra Costa County, CA
October 28, 2021

Proposed Plant Images
L-9.3



ARISTIDA PURPUREA,
PURPLE THREE-AWN, 1 GALLON



CAREX TUMULICOLA,
BERKELY SEDGE, 1 GALLON



CHONDROPETALUM TECTORUM,
CAPE RUSH, 1 GALLON

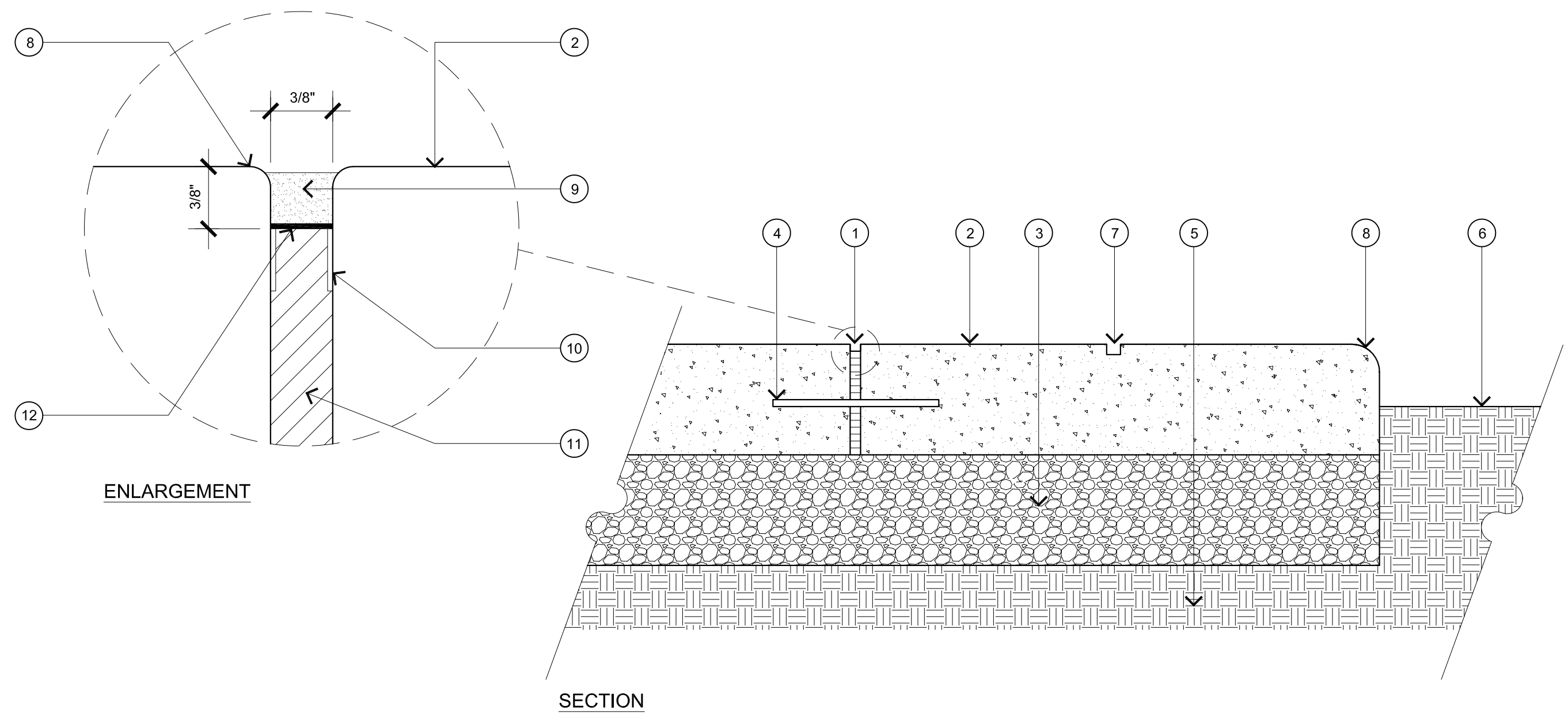


JUNCUS SPECIES,
RUSH, 1 GALLON



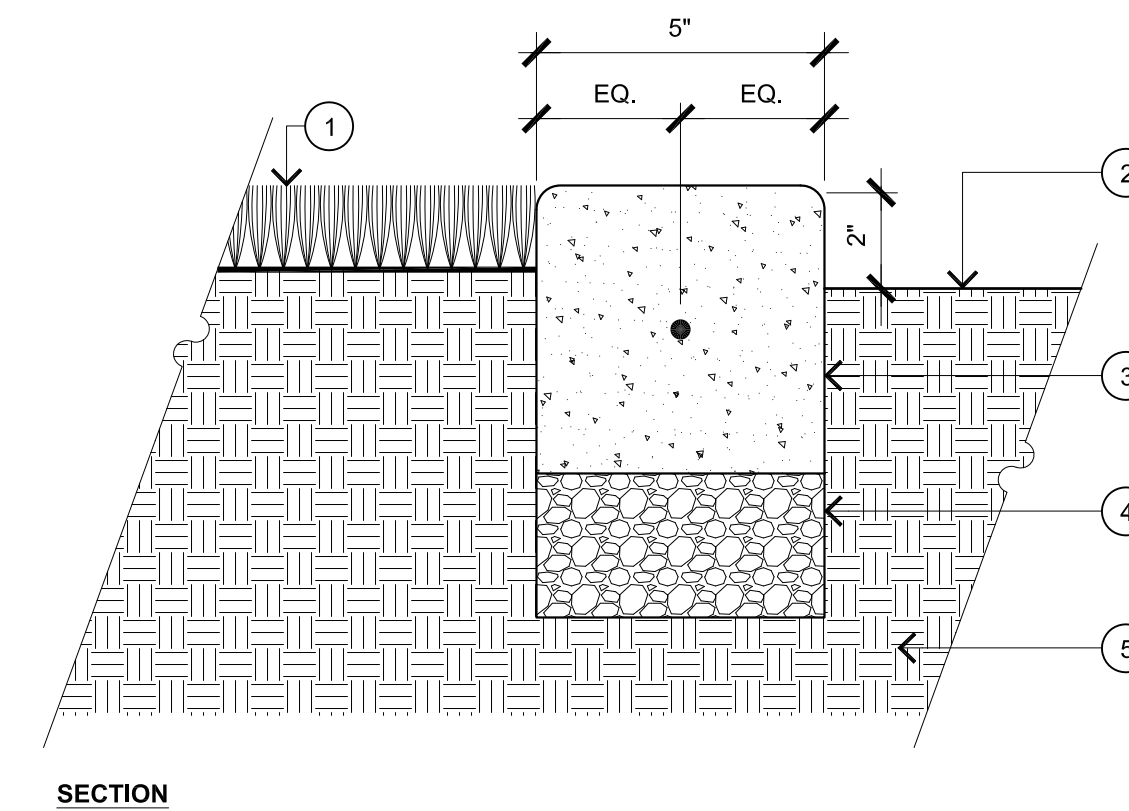
MIMULUS SPECIES,
MONKEY FLOWER, 1 GALLON

STORM WATER TREATMENT SHRUBS AND GRASSES



- 1 3/8" EXPANSION JOINT WITH SEALANT & BACKER ROD. EXPANSION JOINTS SHALL OCCUR EVERY 25' C.C. EACH WAY- REFER TO PLAN FOR LOCATIONS
- 2 4" THICK CONCRETE PAVING
- 3 4" THICK CLASS II AGGREGATE SUB BASE
- 4 #4 X 24" LONG DOWELS @ 24" O.C.
- 5 90% COMPACTED SUB GRADE
- 6 FINISH GRADE AT PLANTING AREA 1" BELOW AT TURF AREAS, 2" AT SHRUB AND GROUNDCOVER AREAS
- 7 SCORED JOINT- 1" DEEP X 1/8" WIDE SAWCUT @ 12" C.C. EACH WAY, REFER TO PLANS FOR LOCATIONS (TYP.)
- 8 RADIUSED EDGE
- 9 SEALANT - ALSO INSTALL WHERE PAVING ABUTS TO BUILDING FOUNDATIONS
- 10 PVC CAP
- 11 EXPANSION MATERIAL
- 12 BOND BREAKER TAPE

NOTE:
CONCRETE MIX SHALL BE LOW SHRINK.



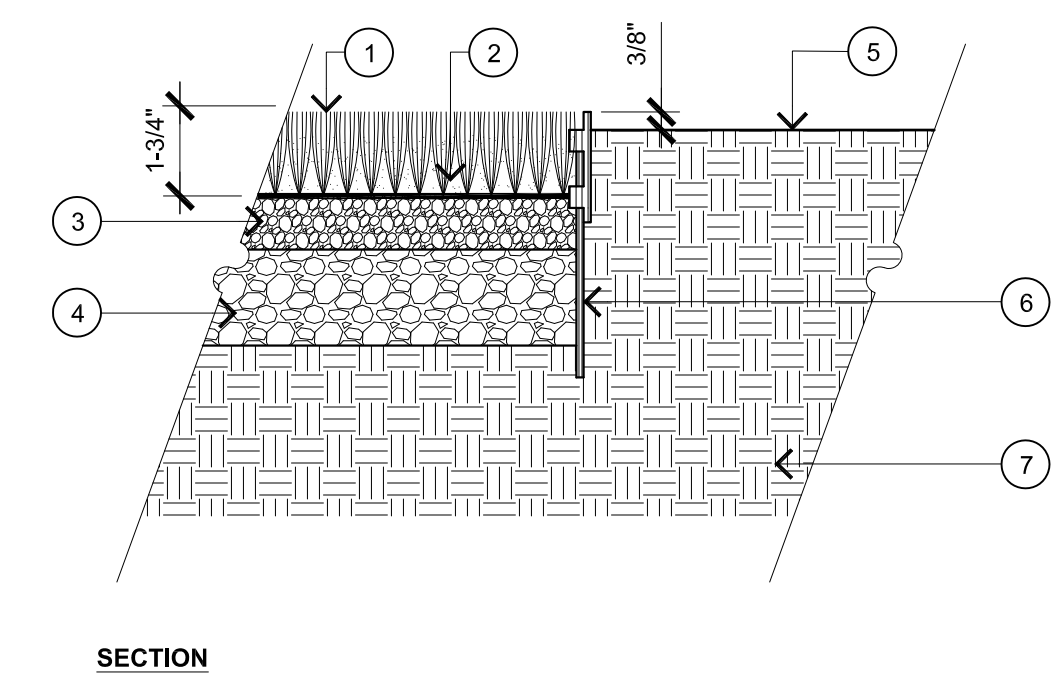
- 1 TURF
- 2 FINISH GRADE (PLANTING AREA)
- 3 5" WIDE CONCRETE MOWBAND
- 4 3" LAYER CLASS II AGGREGATE SUBBASE
- 5 COMPACTED SUBGRADE OR ENGINEERED FILL REFER TO SOILS REPORT

1 CONCRETE PAVING

SCALE : 3"=1'-0"

2 CONCRETE BAND AT TURF

SCALE : 3"=1'-0"

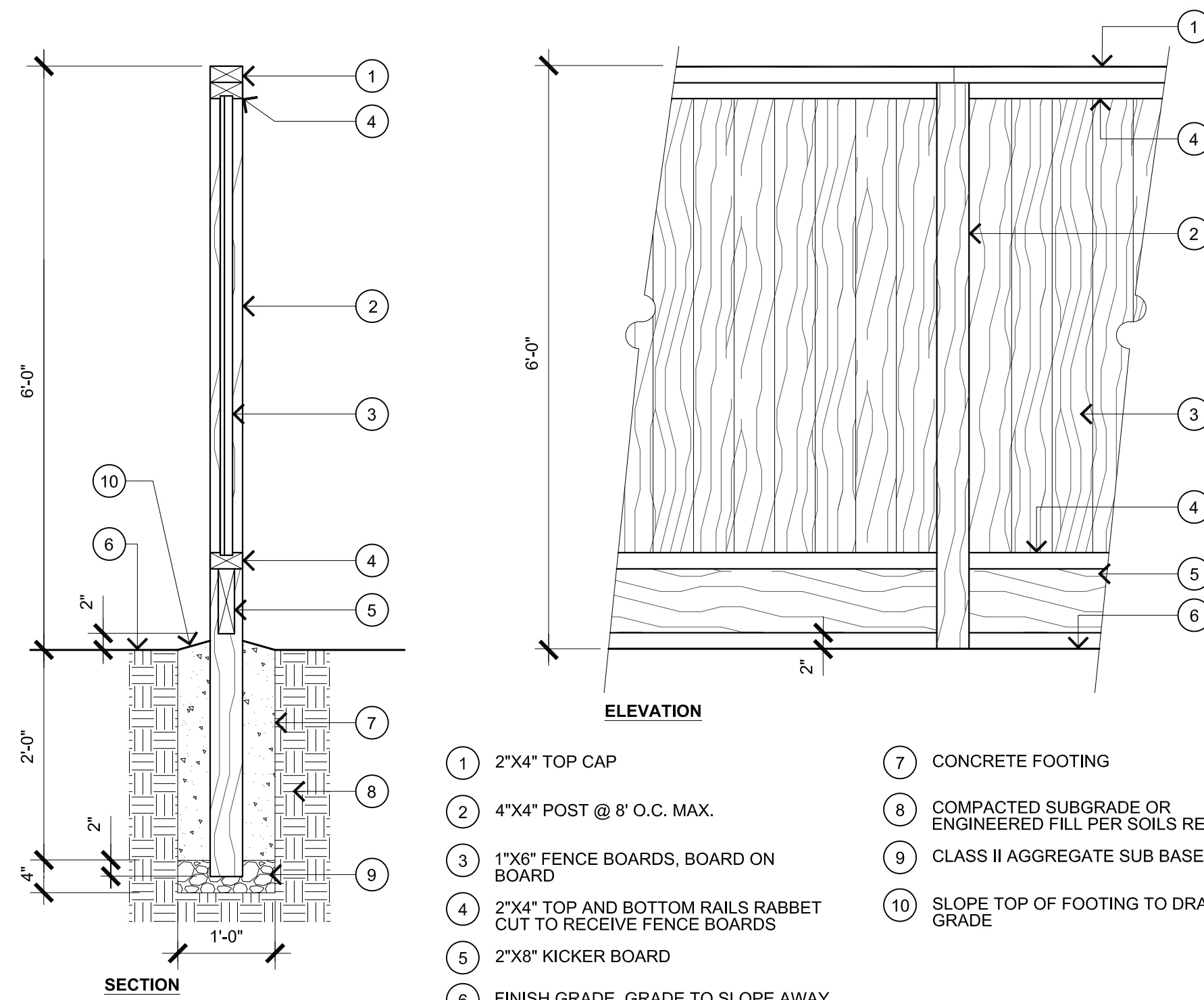


- 1 SYNTHETIC TURF: INSTALL PER MANUFACTURER'S RECOMMENDATIONS
- 2 SAND INFILL
- 3 1" - 1-1/2" DECOMPOSED GRANITE OR CLASS II AGGREGATE
- 4 2" - 2-1/2" DRAIN ROCK
- 5 FINISH GRADE (PLANTING AREA)
- 6 METAL EDGING PER MANUFACTURER'S RECOMMENDATIONS
- 7 COMPACTED SUBGRADE OR ENGINEERED FILL REFER TO SOILS REPORT

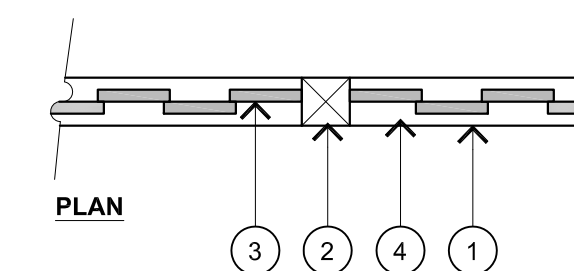


3 K-9 TURF

SCALE : 3"=1'-0"



- 1 2"X4" TOP CAP
- 2 4"X4" POST @ 8' O.C. MAX.
- 3 1"X6" FENCE BOARDS, BOARD ON BOARD
- 4 2"X4" TOP AND BOTTOM RAILS RABBET CUT TO RECEIVE FENCE BOARDS
- 5 2"X8" KICKER BOARD
- 6 FINISH GRADE, GRADE TO SLOPE AWAY FROM FENCE
- 7 CONCRETE FOOTING
- 8 COMPACTED SUBGRADE OR ENGINEERED FILL PER SOILS REPORT
- 9 CLASS II AGGREGATE SUB BASE
- 10 SLOPE TOP OF FOOTING TO DRAIN AT GRADE



NOTES:
- ALL POSTS & KICKER SHALL BE PRESSURE TREATED CEDARTONE. ALL OTHER WOOD SHALL BE CONSTRUCTION HEART REDWOOD OR RED CEDAR AS SELECTED BY OWNER.
- ALL SCREWS SHALL BE HOT DIPPED GALVANIZED

SCALE : 3/4"=1'-0"

4 WOOD FENCE

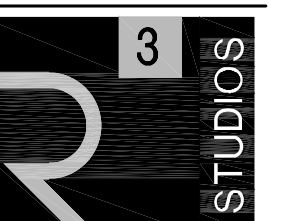
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Contra Costa County, CA
October 28, 2021

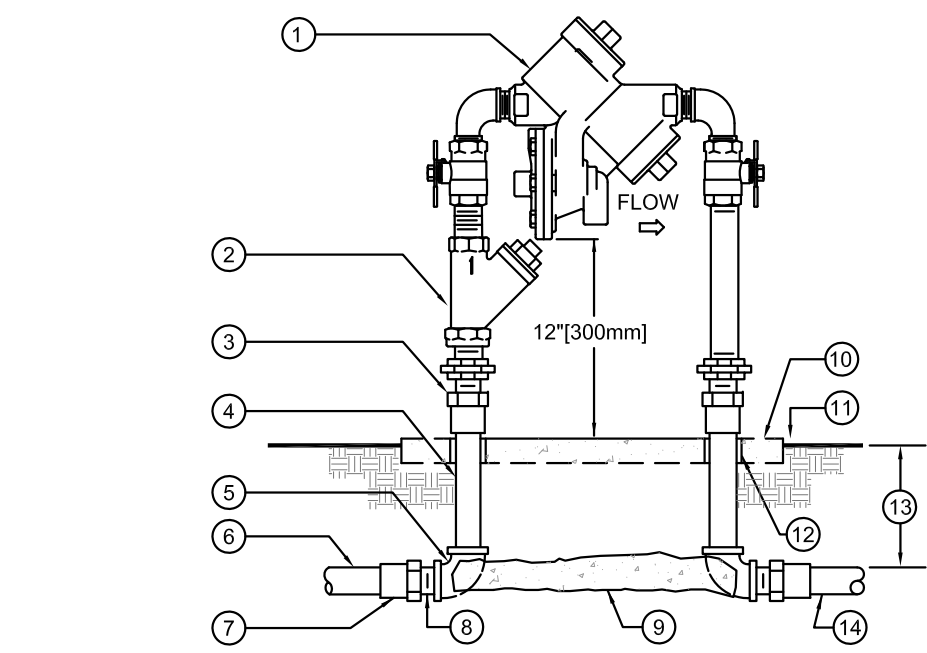
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L-10

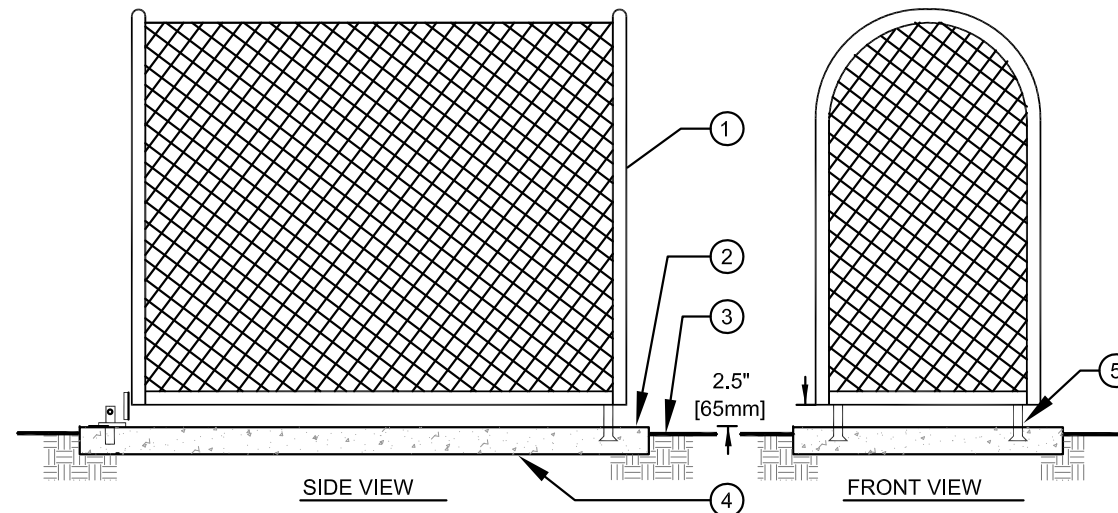
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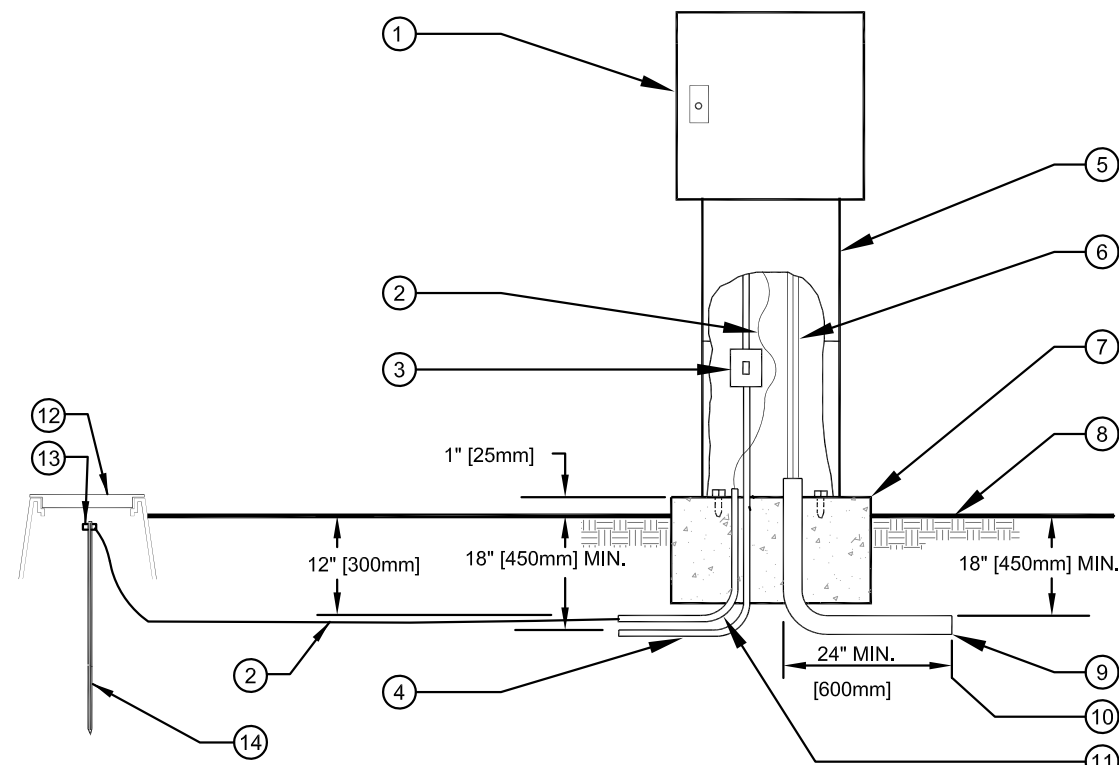


- 1 REDUCED PRESSURE BACKFLOW ASSEMBLY.
- 2 YB "Y" STRAINER SYSTEM (AS REQUIRED).
- 3 WROUGHT COPPER MALE ADAPTER-2 TOTAL (SOLDER x THREAD CONNECTION).
- 4 COPPER TYPE "K" PIPE (LENGTH AS REQUIRED).
- 5 WROUGHT COPPER 90° ELBOW-2 TOTAL (SOLDER x THREAD CONNECTION).
- 6 PVC MAIN LINE TO POINT OF CONNECTION.
- 7 BUSH AS NECESSARY FOR SIZE TRANSITION.
- 8 SCHEDULE 40 PVC MALE ADAPTER- 2 TOTAL.
- 9 CONCRETE SUPPORT BLOCK.
- 10 CONCRETE PAD-SEE ENCLOSURE DETAIL.
- 11 FINISH GRADE.
- 12 PVC SLEEVE BOTH SIDES.
- 13 REFER TO IRRIGATION LEGEND
- 14 PVC MAIN LINE TO IRRIGATION SYSTEM.

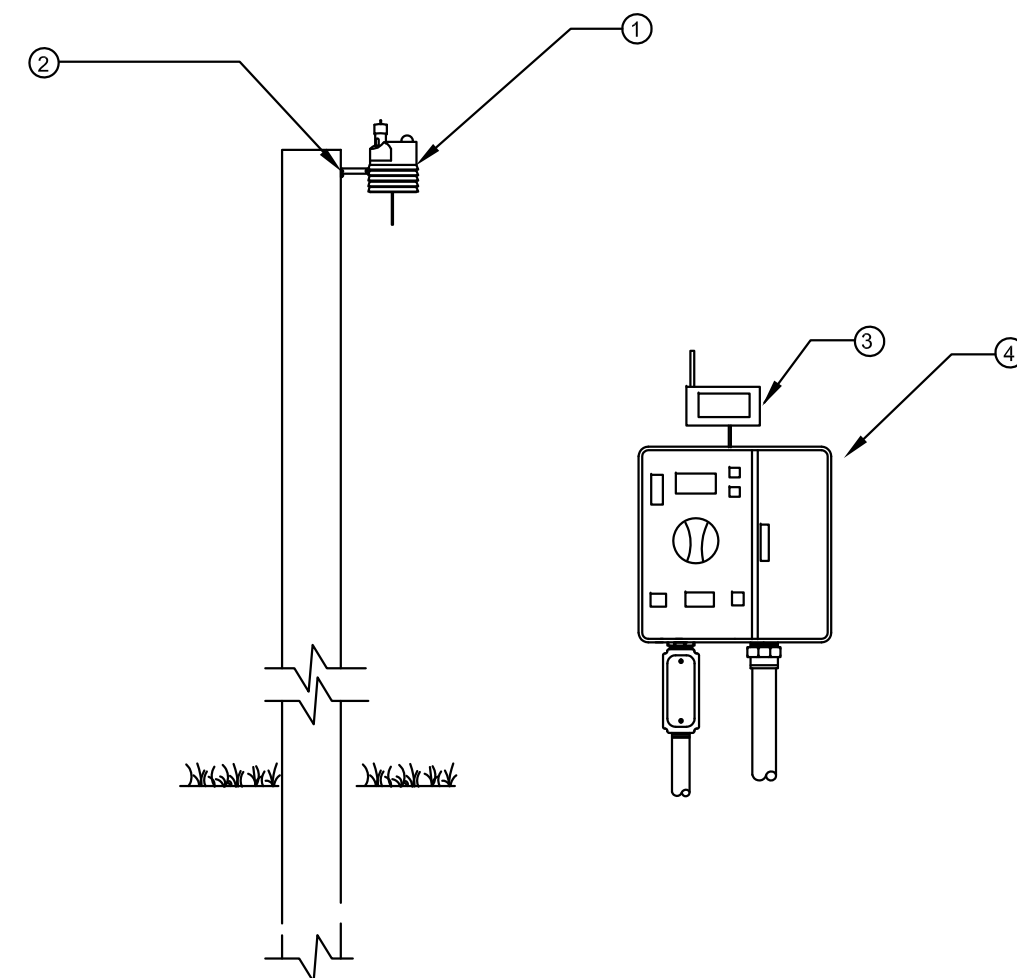
- NOTES:
1. INSTALL A FREEZE PREVENTATIVE BLANKET AROUND BACKFLOW ASSEMBLY. BLANKET SHALL BE GREEN.
 2. DO NOT SOLDER CONNECT FITTINGS WHILE THREADED INTO BACKFLOW ASSEMBLY. THIS MAY CAUSE DAMAGE TO DEVICE.
 3. NIPPLES AND FITTINGS TO BE SAME IPT SIZE AS BACKFLOW ASSEMBLY.
 4. PROVIDE A STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE. INSTALL ENCLOSURE TO CONCRETE BASE AS DIRECTED BY MANUFACTURER.



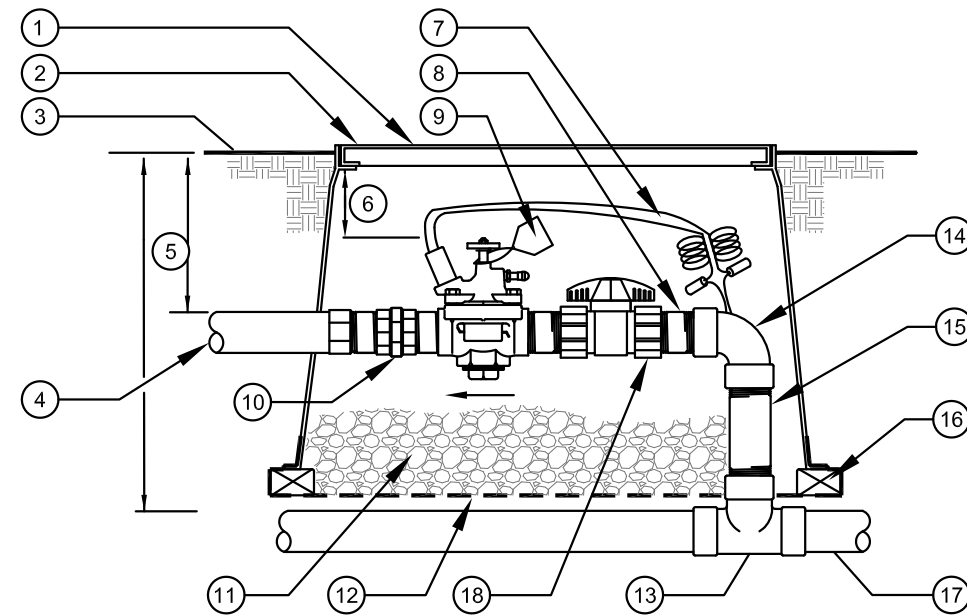
- 1 STAINLESS STEEL ENCLOSURE TO COMPLETELY ENCLOSE DEVICE
- 2 SET PAD 1/2" (13MM) ABOVE FINISH GRADE
- 3 FINISH GRADE
- 4 6" (150mm) THICK CONCRETE PAD FOR ENCLOSURE SUPPORT TO EXTEND 6" (150mm) BEYOND ENCLOSURE ON ALL SIDES. CONCRETE TO HAVE MEDIUM BROOM FINISH.
- 5 MOUNTING BRACKETS (STANDARD WITH ENCLOSURE) TO BE SET INTO CONCRETE PAD, PROVIDE LOCKING TAB TO ACCEPT PADLOCK PER MANUFACTURER'S INSTRUCTION.



- 1 IRRIGATION CONTROLLER.
- 2 #6 BARE COPPER GROUND WIRE.
- 3 120 VOLT LOCKABLE WEATHERPROOF ON/OFF SWITCH PROVIDED UNDER IRRIGATION CONTRACT.
- 4 120 VOLT A.C. ELECTRICAL SERVICE FROM SOURCE TO CONTROLLER LOCATION PROVIDED BY CONTRACTOR. IRRIGATION CONTRACTOR TO PROVIDE RIGID STEEL CONDUIT FROM SERVICE STUB-OUT TO CONTROLLER GCFI SWITCH AND COMPLETE ELECTRICAL SERVICE TO CONTROLLER.
- 5 PEDESTAL ENCLOSURE.
- 6 LOW VOLTAGE CONTROL WIRING.
- 7 CONCRETE PAD-5" (150mm) THICK (MIN.) EXTEND 6" (150mm) BEYOND EACH SIDE AND BACK, 24" (600mm) IN FRONT AND 1" (25mm) ABOVE FINISH GRADE.
- 8 FINISH GRADE.
- 9 SCHEDULE 40 GREY PVC ELECTRICAL CONDUIT WITH SWEEP ELL FOR LOW VOLTAGE WIRE.
- 10 24" MIN. (600mm) AND OR 12" (300mm) BEYOND HARDSCAPE.
- 11 1/2" (40mm) PVC SWEEP ELL FOR GROUND WIRE.
- 12 6" ROUND BLACK PLASTIC BOX WITH T-LID FOR GROUND ROD.
- 13 CADWELD CONNECTIONS
- 14 8' LONG COPPER GROUND ROD. LOCATE A MINIMUM OF 10' AWAY FROM CONTROLLER.



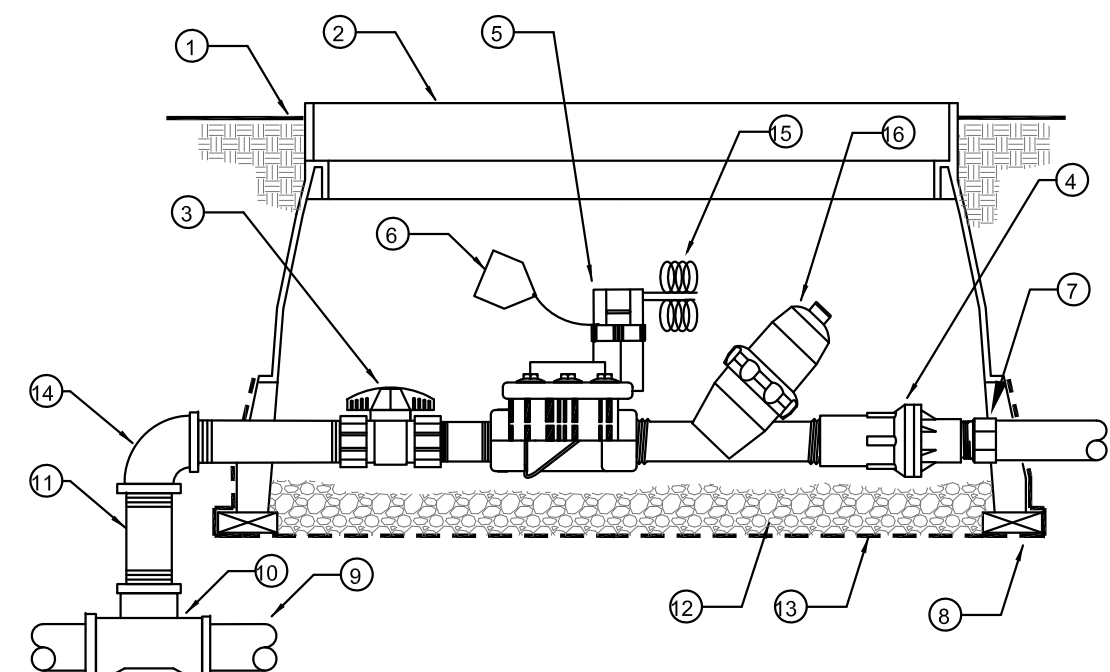
- NOTE: MAXIMUM LINE OF SIGHT FROM SENSOR TO RECEIVER IS 1000 FT. DISTANCE IS LESS IF OBSTRUCTIONS EXIST. SENSOR MUST BE INSTALLED IN "CLEAR SPACE" WHERE IT IS EXPOSED TO UNOBSTRUCTED RAINFALL AND IS CLEAR OF IRRIGATION SPRAY.
- 1 WIRELESS CLIMATE SENSOR TRANSMITTER
 - 2 SUITABLE POST, POLE, OR GUTTER MOUNT. MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN. IS OPEN TO RAINFALL AND OUT OF SPRINKLER SPRAY PATTERN
 - 3 SENSOR RECEIVER
 - 4 CONTROLLER



- 1 REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED (PRESSURE REGULATOR WHERE SHOWN ON PLANS).
- 2 USE A 14" X 19" RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID FOR 1" VALVES. FOR 1.5" AND LARGER VALVES INSTALL BALL VALVE WITHIN A SEPARATE 10" ROUND BOX OR ONE BALL VALVE PER MANIFOLD OF VALVES. GATE VALVE SIZE SHALL BE SAME AS LARGEST VALVE WITHIN MANIFOLD. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- 3 FINISH GRADE.
- 4 PVC LATERAL LINE.
- 5 REFER TO IRRIGATION SPECS.
- 6 3" (75mm) MIN. 6" (150mm) MAX.
- 7 VALVE CONTROL WIRE- PROVIDE SEAL PACKS AT ALL SPLICES AND 3' (1m) OF EXCESS UF WIRE IN A 1" (25mm) DIAMETER COIL.
- 8 SCHEDULE 80 PVC NIPPLE (4 TOTAL).
- 9 VALVE I.D. TAG (CONTROLLER AND STATION NUMBER).
- 10 SCHEDULE 80 PVC THREADED UNION.
- 11 PEA GRAVEL OR 3/4" DRAIN ROCK-4" (100mm) DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- 12 19 GAUGE 1/2" (12mm) SQUARE WIRE MESH.
- 13 UPC APPROVED SCHEDULE 40 PVC TEE.
- 14 SCHEDULE 80 PVC 90° ELBOW (TXT).
- 15 SCHEDULE 80 PVC NIPPLE- LENGTH AS REQUIRED.
- 16 BRICK-1 EACH CORNER.
- 17 PVC MAIN LINE.
- 18 SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE).

1 REDUCED PRESSURE BACKFLOW ASSEMBLY

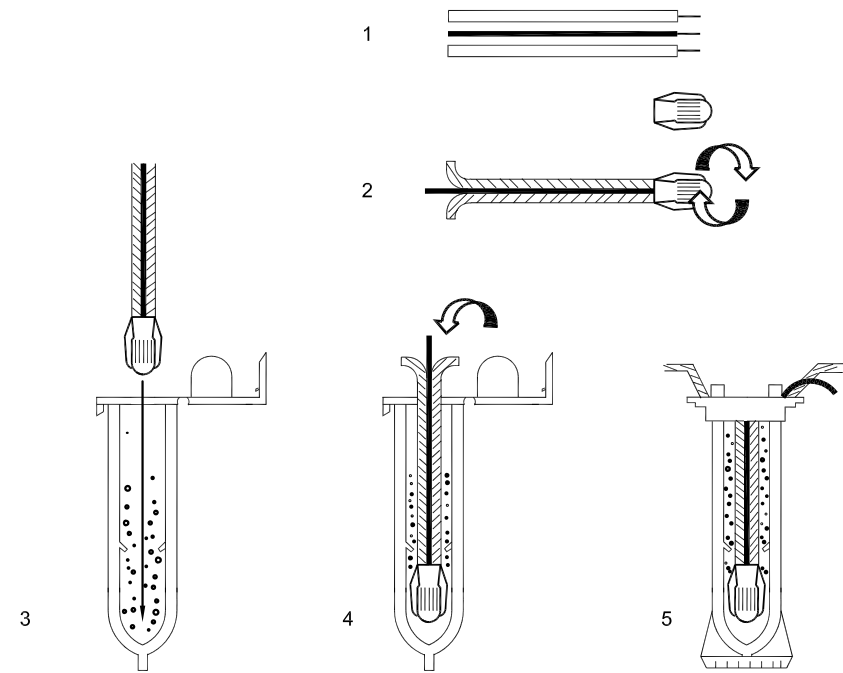
SCALE: NONE



- 1 FINISH GRADE
- 2 JUMBO RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID. ONE VALVE PER BOX- NO EXCEPTIONS. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL.
- 3 SCHEDULE 80 PVC UNION BALL VALVE (ONE PER VALVE)
- 4 PRESSURE REGULATOR (INCLUDED IN DRIP ZONE KIT)
- 5 REMOTE CONTROL VALVE DRIP ZONE KIT. (SHALL INCLUDE VALVE, FILTER AND A 40 PSI PRESSURE REDUCING VALVE)
- 6 VALVE I.D. TAG (CONTROLLER AND STATION NUMBER).
- 7 SCHEDULE 40 MALE ADAPTER
- 8 BRICK-1 EACH CORNER.
- 9 PVC MAIN LINE.
- 10 UPC APPROVED SCHEDULE 40 PVC TEE.
- 11 SCHEDULE 80 PVC NIPPLE-(4-TOTAL) LENGTH AS REQUIRED.
- 12 PEA GRAVEL OR 3/4" (20mm) DRAIN ROCK - 4" (102mm) DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
- 13 19 GAUGE 1/2" (13mm) SQUARE WIRE MESH.
- 14 SCHEDULE 80 PVC 90° ELBOW (TXT).
- 15 VALVE CONTROL WIRE- PROVIDE 3M-DBY SEAL PACKS AT ALL SPLICES AND 3' (1m) OF EXCESS UF WIRE IN A 1" (25mm) DIAMETER COIL.
- 16 Y-FILTER (INCLUDED IN DRIP ZONE KIT)

2 BACKFLOW ASSEMBLY ENCLOSURE

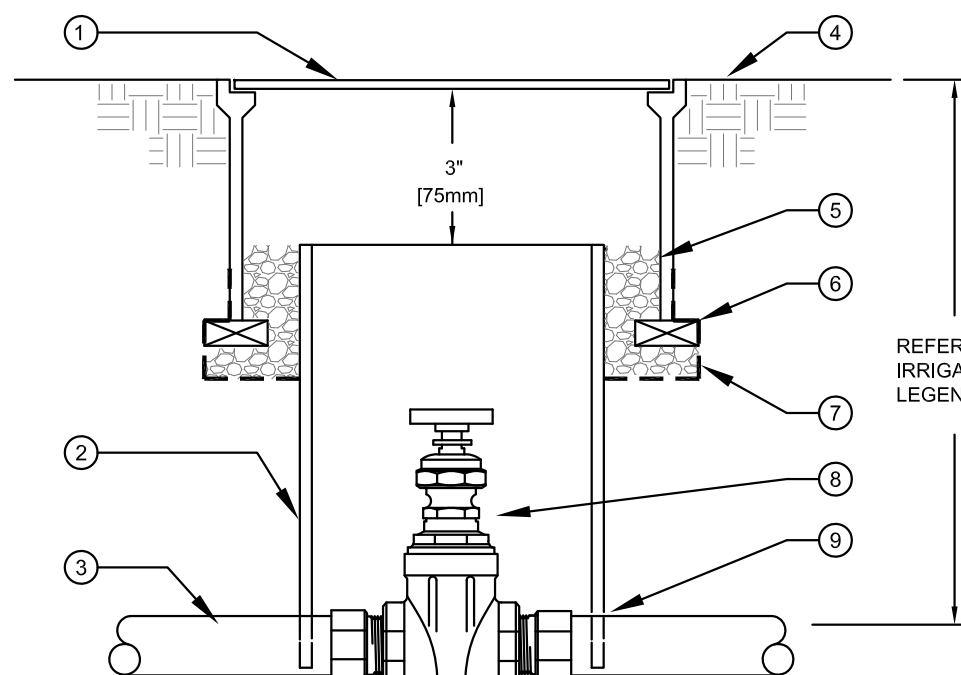
SCALE: NONE



- INSTRUCTIONS:
1. STRIP WIRES APPROXIMATELY 1/2" (13 mm) TO EXPOSE WIRE.
 2. TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN.
 3. INSERT WIRE ASSEMBLY INTO PLASTIC TUBE UNTIL WIRE CONNECTOR SNAPS PAST LIP IN BOTTOM OF TUBE.
 4. PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.
 5. INSPECT FINAL SPLICE ASSEMBLY TO BE SECURE AND FINISHED.

3 CONTROLLER - PEDESTAL MOUNT

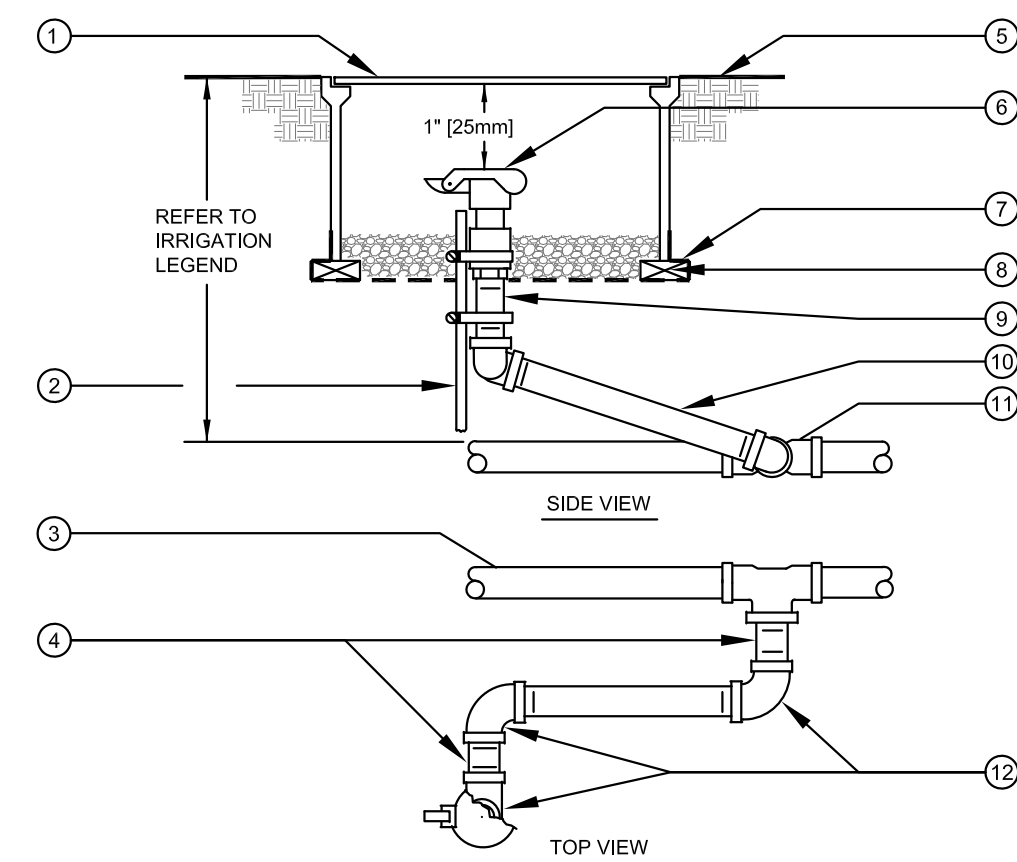
SCALE: NONE



- 1 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
- 2 8" (200mm) CLASS 160 OR SCHEDULE 40 PVC PIPE (NOTCH TO FIT OVER MAIN LINE PIPE).
- 3 PVC MAIN LINE.
- 4 FINISH GRADE.
- 5 PEA GRAVEL OR 3/4" (20mm) DRAIN ROCK - 4" (100mm) DEEP (NO SOIL IN VALVE BOX).
- 6 BRICK-2 TOTAL.
- 7 19 GAUGE 1/2" (13mm) SQUARE WIRE MESH.
- 8 GATE VALVE.
- 9 MALE ADAPTER. REFER TO LEGEND FOR FITTING TYPE.

4 WIRELESS WEATHER SENSOR

SCALE: NONE

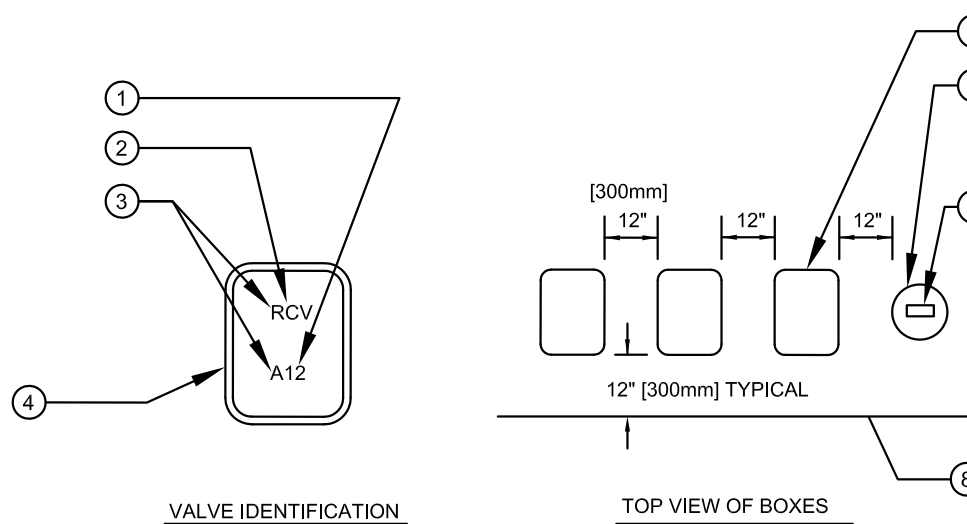


- 1 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN LID.
- 2 1 1/4" x 1 1/4" x 3/16" (30mm x 30mm x 5mm) ANGLE IRON 30" (760mm) LONG W/2 STAINLESS STEEL STRAPS (ONE AROUND QCV).
- 3 PVC MAIN LINE.
- 4 3" (75mm) LONG SCHEDULE 80 PVC THREADED NIPPLE.
- 5 FINISH GRADE.
- 6 QUICK COUPLING VALVE.
- 7 19 GAUGE 1/2" (13mm) SQUARE WIRE MESH.
- 8 BRICK - 2 TOTAL.
- 9 SCHEDULE 80 PVC THREADED NIPPLE.
- 10 10" (250mm) LONG SCHEDULE 80 PVC THREADED NIPPLE.
- 11 UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW.
- 12 SCHEDULE 80 PVC THREADED 90° ELL.

- NOTE:
- NIPPLES AND FITTINGS TO BE SAME SIZE AS VALVE IPT INLET THREAD SIZE.

5 REMOTE CONTROL VALVE

SCALE: NONE



- 1 CONTROLLER AND STATION
- 2 VALVE TYPE
- 3 HEAT BRAND LETTERS AND NUMBERS INTO LID.
- 4 VALVE BOX COVER
- 5 RECTANGULAR VALVE BOX
- 6 ROUND VALVE BOX FOR QCV AND GATE VALVE.
- 7 HEAT BRAND LETTERS AND NUMBERS INTO LID (TYPICAL).
- 8 EDGE OF LAWN, WALK, FENCE, CURB, ETC.

- INSTRUCTIONS:
1. CENTER VALVE BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
 2. SET BOXES 1" (25mm) ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
 3. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
 4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF LAWN, WALK, FENCE, CURB, ETC.
 5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOXES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
 6. INSTALL EXTENSION BY VALVE BOX MANUFACTURER AS REQUIRED TO COMPLETELY ENCLOSE ASSEMBLY FOR EASY ACCESS.

6 REMOTE CONTROL VALVE (DRIPZONE)

SCALE: NONE

7 WEATHERPROOF WIRE SPLICE ASSEMBLY

SCALE: NONE

8 GATE VALVE

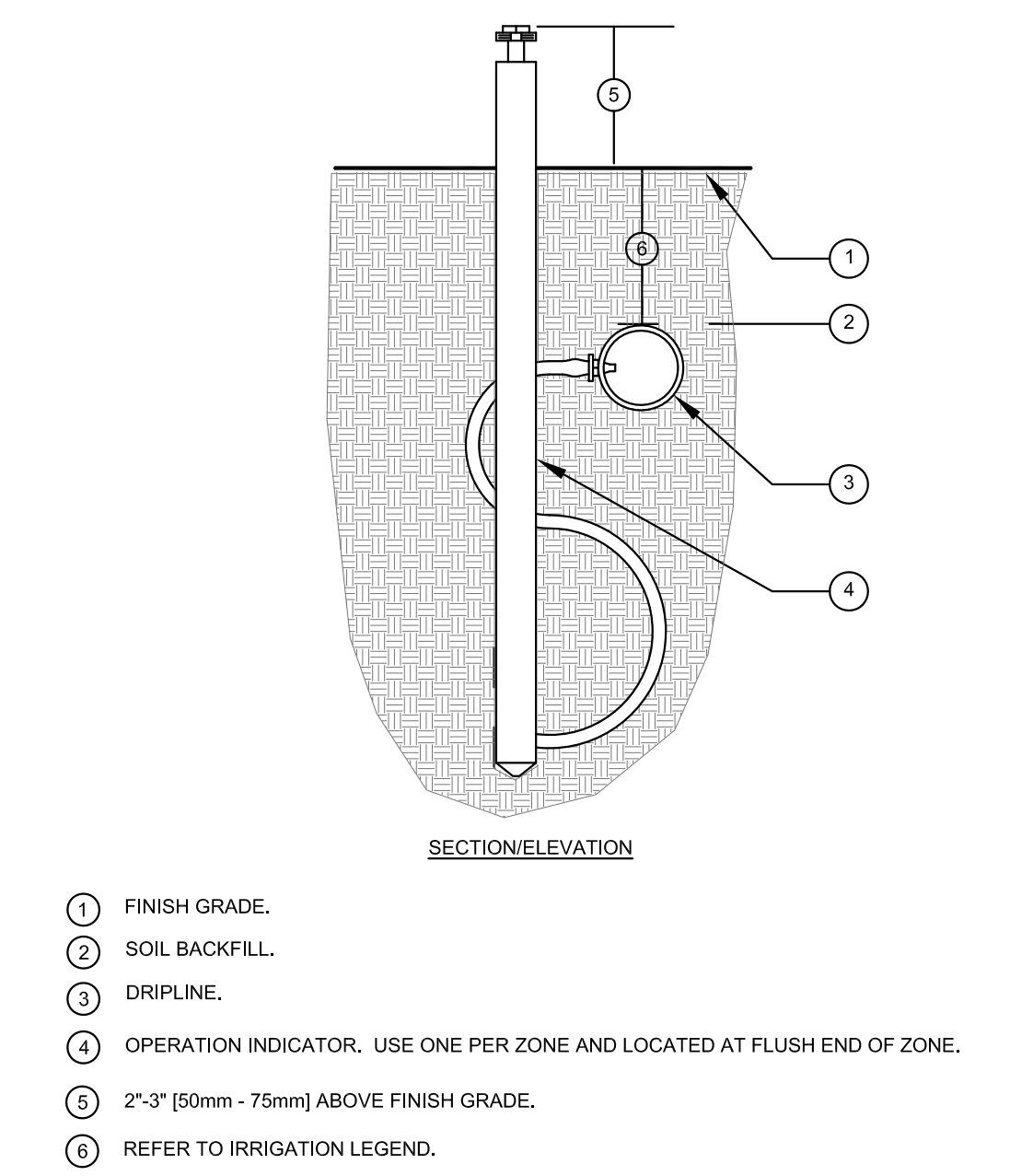
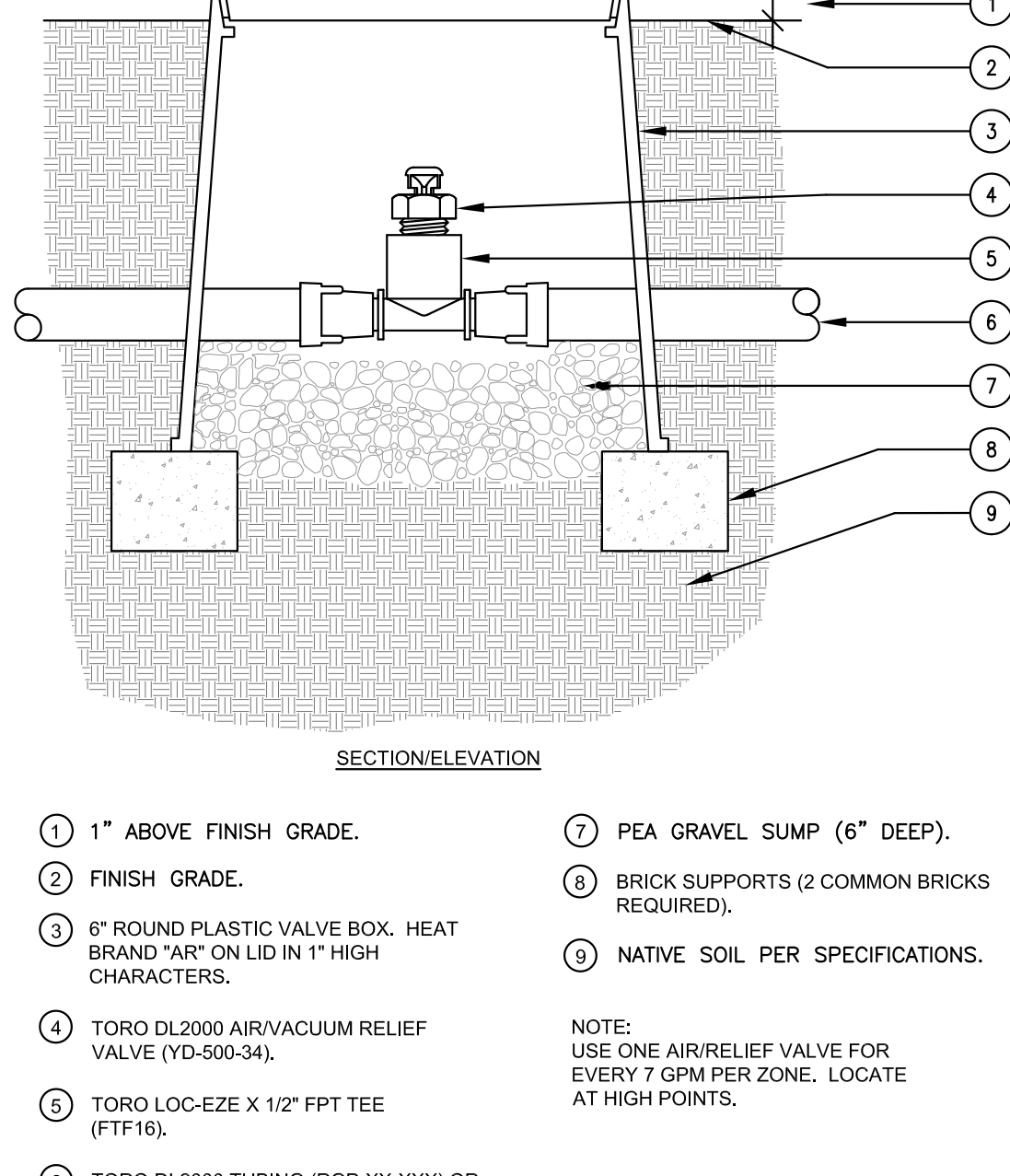
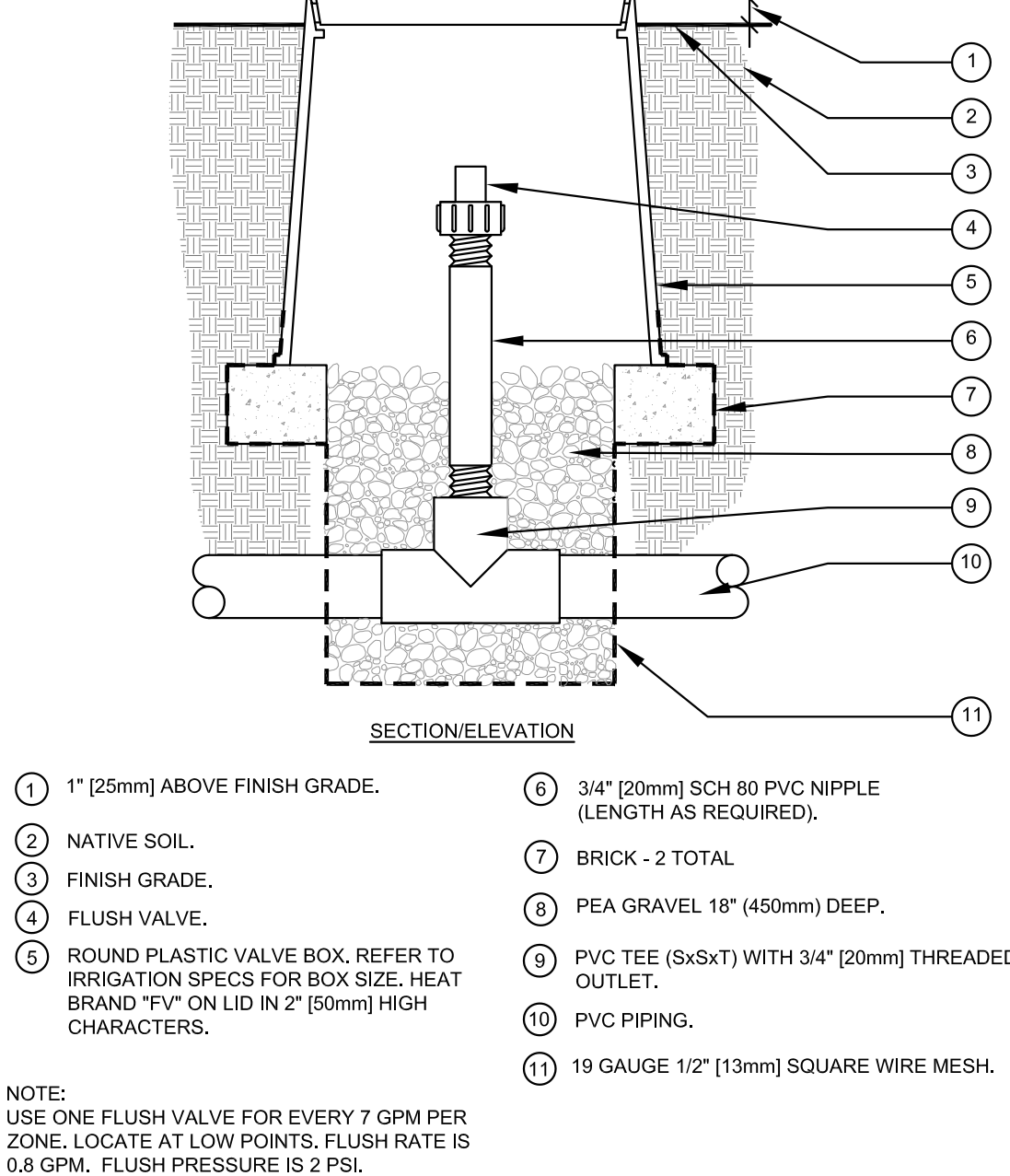
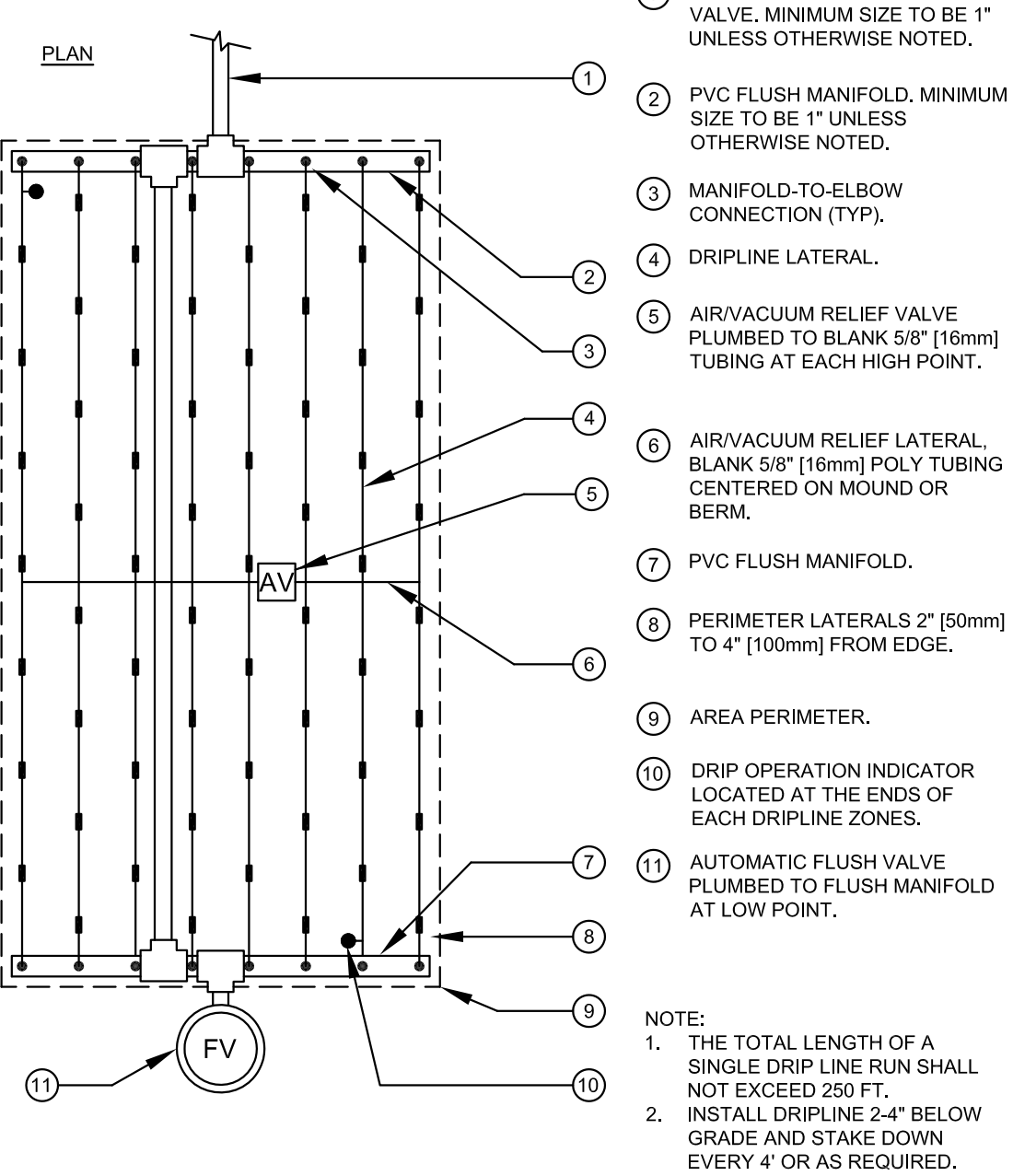
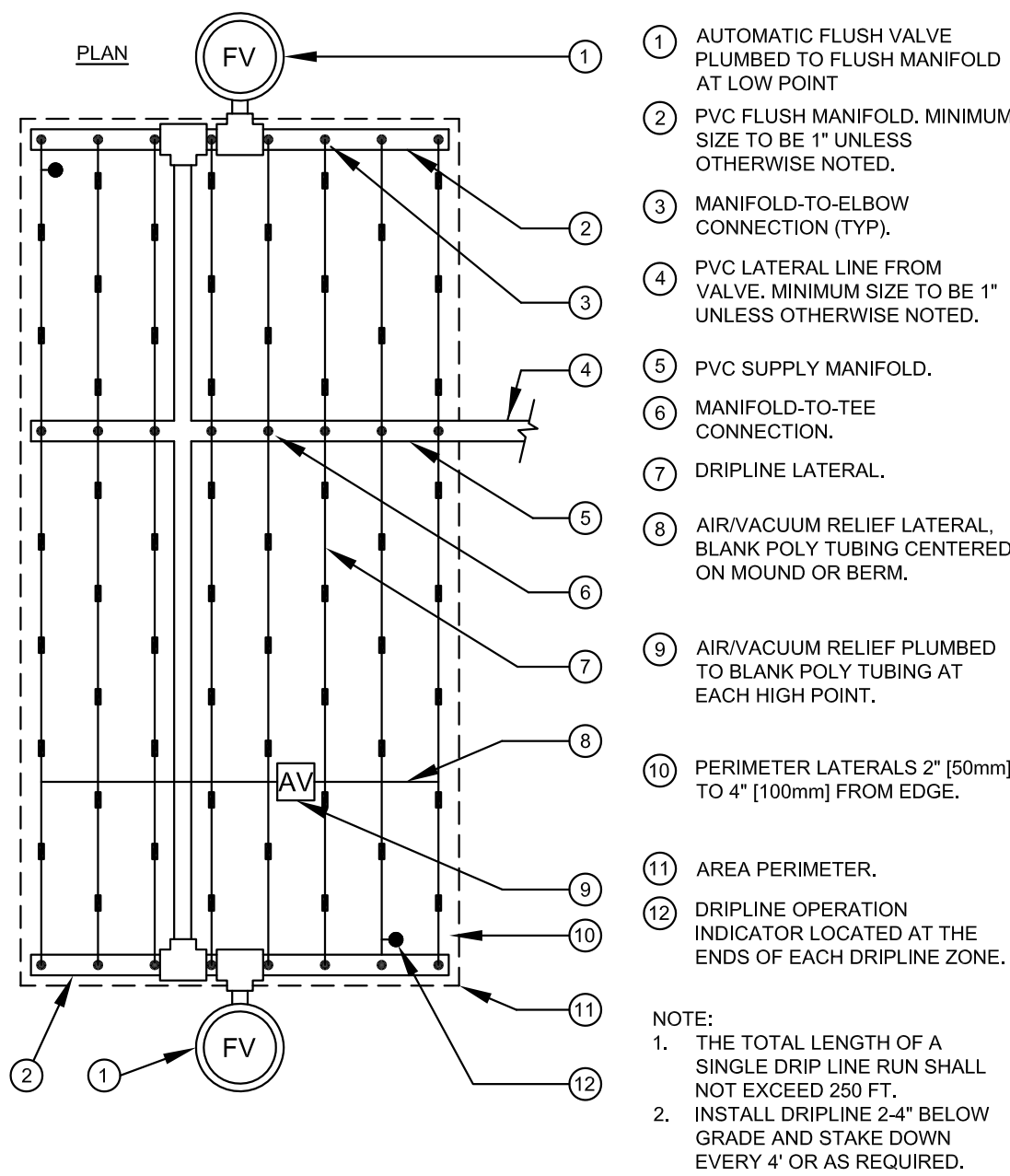
SCALE: NONE

9 QUICK COUPLING VALVE

SCALE: NONE

10 VALVE BOX INSTALLATION

SCALE: NONE



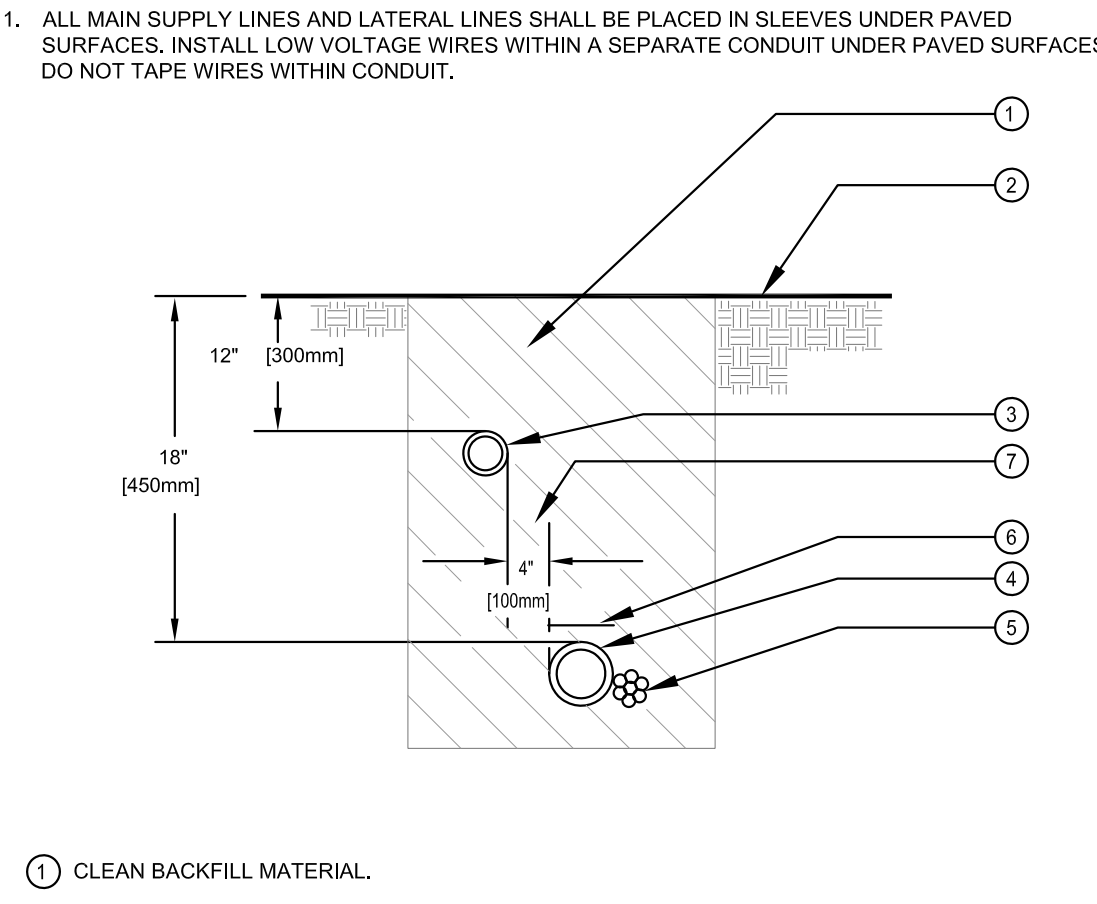
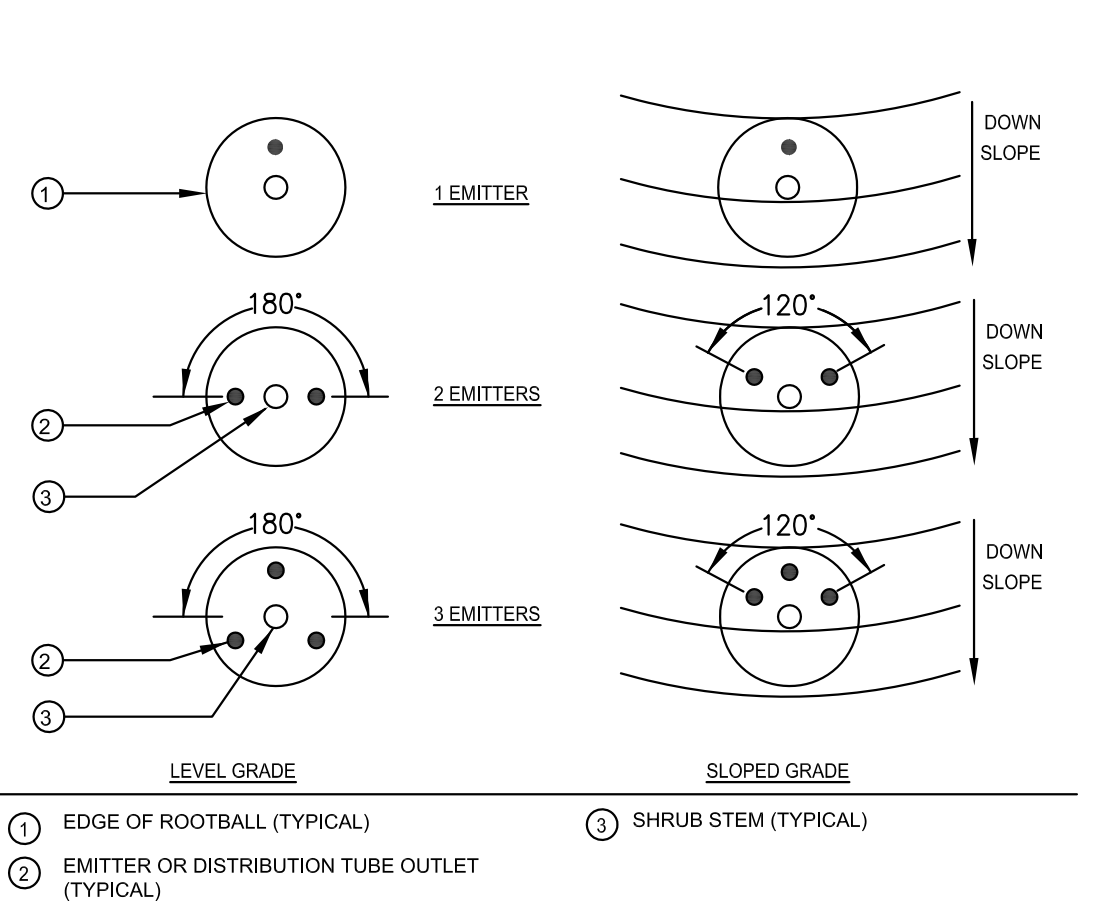
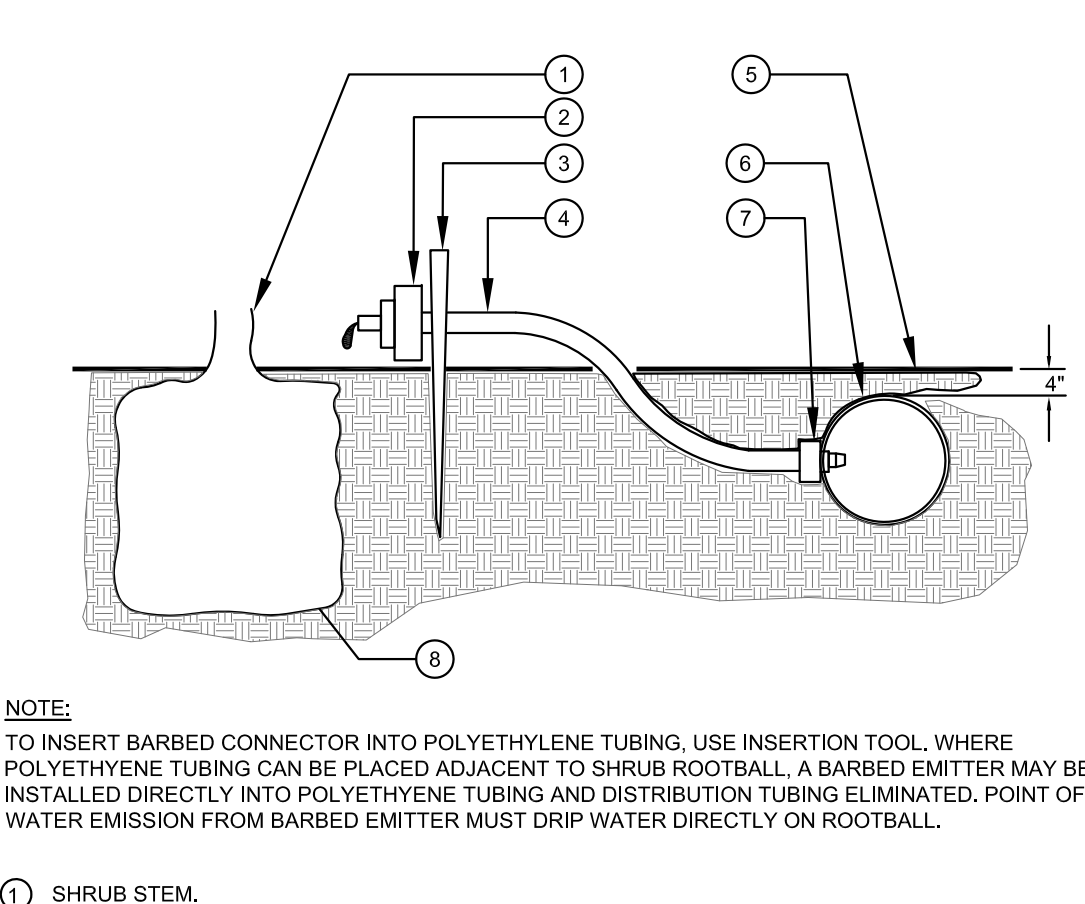
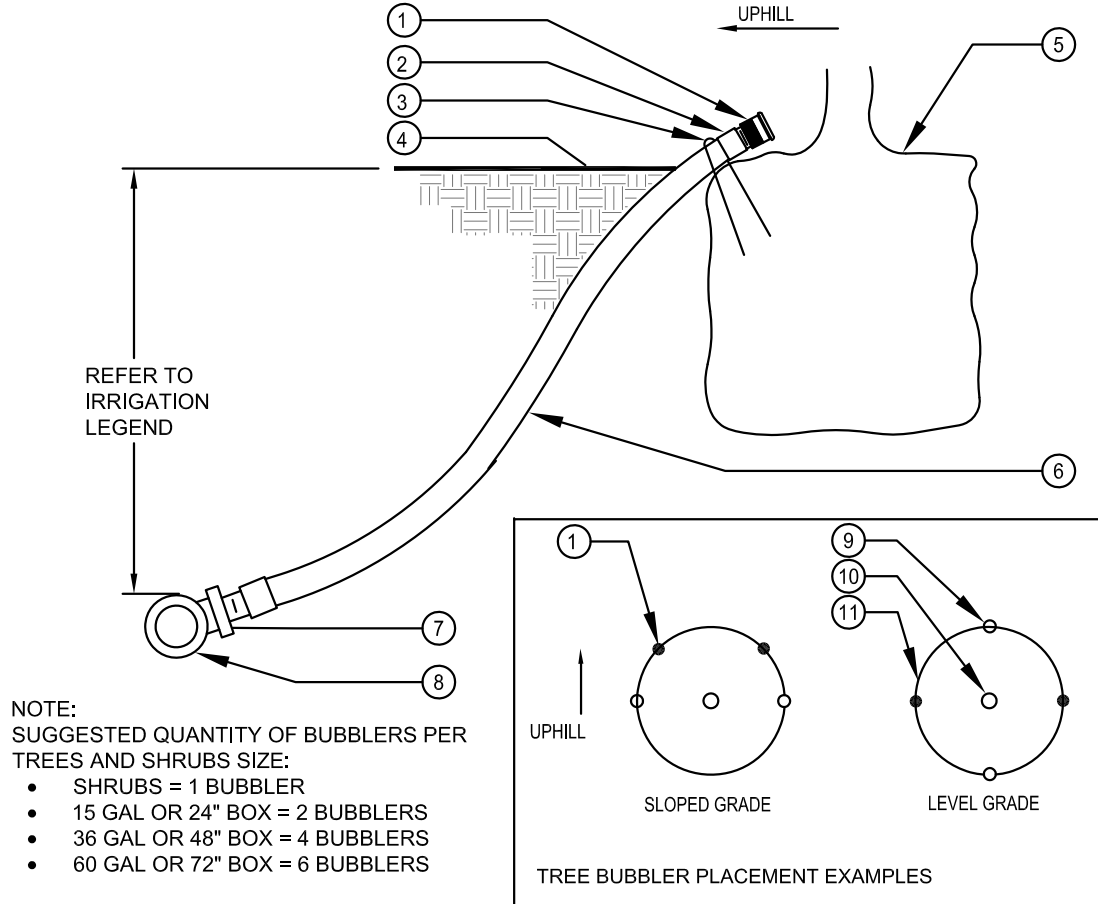
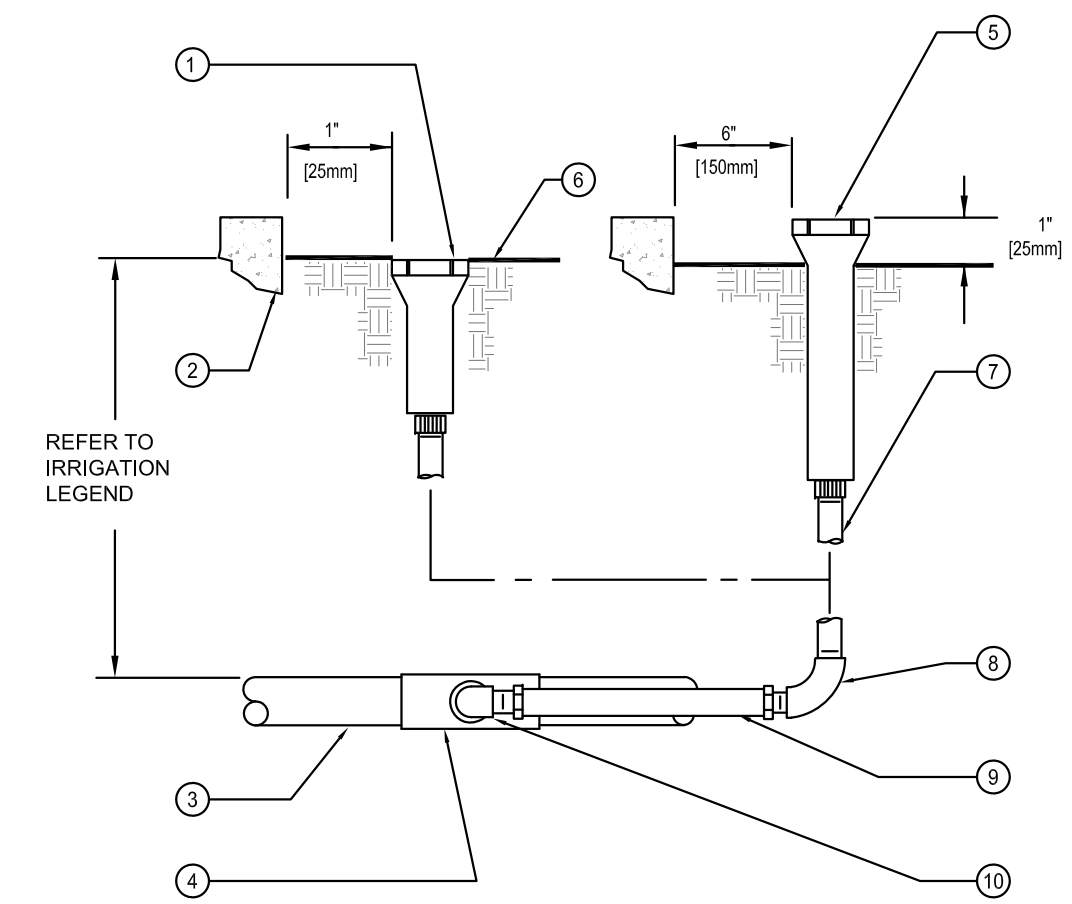
1 TORO DL 2000 CENTER FEED LAYOUT SCALE: NONE

2 TORO DL 2000 END FEED LAYOUT SCALE: NONE

3 TORO DL 2000 FLUSH VALVE (PVC TEE) SCALE: NONE

4 TORO DL 2000 AIR VACUUM RELIEF VALVE SCALE: NONE

5 TORO DL 2000 OPERATION INDICATOR SCALE: NONE



- 1 POP-UP LAWN SPRAY SPRINKLER
- 2 WALL, WALK, CURB OR BUILDING
- 3 PVC LATERAL LINE
- 4 UPC APPROVED SCHEDULE 40 PVC TEE OR ELBOW
- 5 POP-UP SHRUB SPRAY SPRINKLER OR BUBBLER
- 6 FINISH GRADE
- 7 1/2" [13mm] SCHEDULE 80 PVC THREADED NIPPLE (LENGTH AS REQUIRED).
- 8 1/2" [13mm] SCHEDULE 40 PVC THREADED 90° ELL.
- 9 1/2" [13mm] FLEXIBLE IPS HOSE 6" [150mm] LONG WITH MALE ADAPTERS OR 1/2" [13mm] FLEXIBLE SWING JOINT (1/2" x 6") [13mm x 150mm] WITH A MINIMUM PRESSURE RATING OF 100 PSI [690kPa].
- 10 1/2" [13mm] SCHEDULE 40 PVC STREET ELL.

- 1 BUBBLER (TO BE INSTALLED ON TOP OF ROOTBALL).
- 2 1/2" [13mm] SCH. 40 MALE ADAPTER.
- 3 6" [150mm] STEEL STAPLE.
- 4 FINISH GRADE.
- 5 TREE OR SHRUB ROOTBALL.
- 6 1/2" [13mm] IPS FLEXIBLE PVC.
- 7 PVC TEE (SST), ELBOW (ST) OR FEMALE ADAPTER.
- 8 PVC LATERAL LINE.
- 9 TREE STAKES.
- 10 TREE OR SHRUB.
- 11 EDGE OF ROOTBALL (TYPICAL).

- 1 SHRUB STEM.
- 2 EMITTER REFER TO EMITTER SCHEDULE FOR QUANTITY OF EMITTERS PER PLANT.
- 3 TUBING SUPPORT STAKE (SALCO DTS-200-400)
- 4 1/4" TUBING DO NOT EXCEED 3' [1m] IN LENGTH.
- 5 FINISH GRADE.
- 6 SALCO PVC FLEX HOSE, INSTALL 4" [100mm] BELOW FINISH GRADE.
- 7 BARBED MALE ADAPTER.
- 8 EDGE OF ROOTBALL.

EMITTER SCHEDULE			
PLANT SIZE	EMITTER SPECIFACATION	FLOW (GPH)/PER EMITTER OR OUTLET	QUANTITY OF EMITTERS PER SHRUB/TREE
1 GALLON SHRUBS	USE SLV-PS-CV-1	1 GPH	2
5 GALLON SHRUBS	USE SLV-PS-CV-2	2 GPH	2
15 GALLON	USE SLV-PS-CV-2	2 GPH	3

- 1 CLEAN BACKFILL MATERIAL.
- 2 FINISH GRADE.
- 3 LATERAL LINE.
- 4 MAIN LINE.
- 5 LOW VOLTAGE CONTROL WIRE, TAPE AND BUNDLE TUBING OR WIRING AT 10 FT. INTERVALS. WIRING SHALL BE LAID OUT LOOSELY IN THE TRENCH.
- 6 DETECTABLE WARNING TAPE OVER MAIN LINE - 3" [75mm] ABOVE PIPE.
- 7 TYPICAL DISTANCE BETWEEN PIPES.

6 POP-UP SPRAY SPRINKLER RISER SCALE: NONE

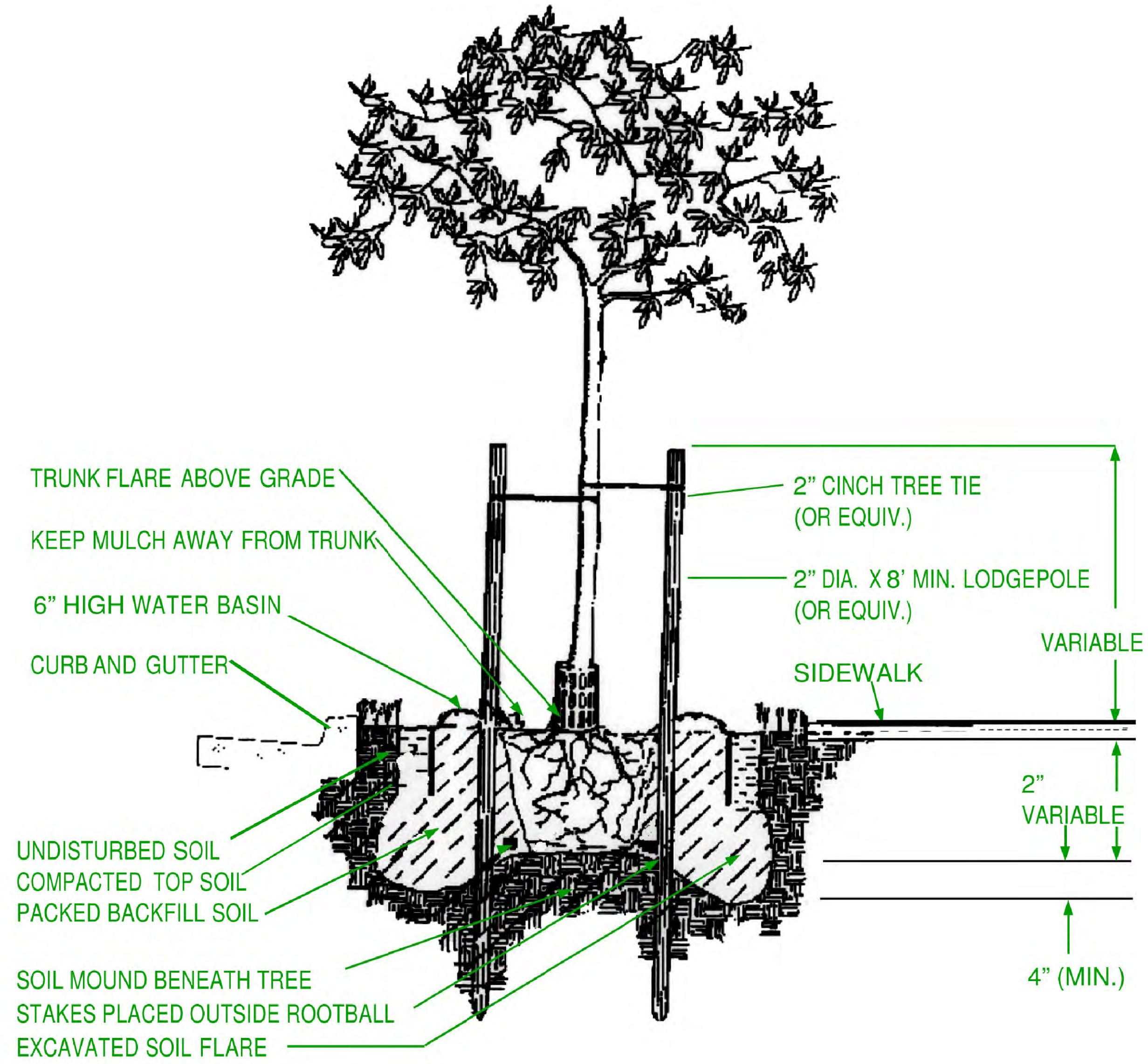
7 TREE AND SHRUB BUBBLER SCALE: NONE

8 SALCO FLEX TUBING EMITTER PLACEMENT SCALE: NONE

9 SALCO EMITTER PLACEMENT AND SCALE: NONE

10 TRENCHING SCALE: NONE

TREE PLANTING DETAIL



1 CITY STANDARD TREE STAKING

