

Project Description

15.5ac Industrial Warehouse Fulfillment Center at 555 Sally Ride Dr., Buchanan Field in Concord, CA.

FSRE Industrial Concord LLC is the applicant to develop a warehouse fulfillment center at Buchanan Field in Concord, CA. Montecito Development Co LLC is the development manager and point of contact. The project applicant proposes to construct a single-story concrete tilt-up building including an engineered canopy over the van loading area. There is a total of 97,989 sq ft of warehouse and 8,192 sq ft of mezzanine office for a combined square footage of 106,181 +/- sq ft on 15.5 acs of raw land at the airport's western edge abutting Marsh Dr and Sally Ride Dr. The building footprint will create a 20% lot coverage with parking taking up the balance of the acreage.

The discretionary required entitlements for the project include a General Plan Amendment, Site Development Application, adoption of the appropriate CEQA Review and an Airport Land Use Consistency Hearing.

The parcel is zoned as 'Unrestricted'. The County General Plan designation is Public/Semi-Public but a private commercial use on the site will require a General Plan Amendment. A 2020 airport-initiated ALP update currently under review by the FAA designates the site as non-aeronautical use. The site was released from aeronautical use by the FAA and airport in March of 1983.

The intended use is ecommerce warehouse fulfillment. Operation of the business is expected to be seven days a week, with primary business activity during normal weekday hours. Fulfillment vehicle operations will be off peak to AM and PM commutes. The building will be cast concrete tilt-up panels. It will have a 36' clear height ceiling and maximum roof height at the top of parapet walls measuring 44'. All roof-mounted mechanical equipment will be fully screened. The roof will be 'solar-ready' from an engineering and construction standpoint however, no photo-voltaic system installation is planned at this time. The applicant has had the required FAA technical guidance glare study on PV systems at public airports performed by HMMH Engineering. The study utilized updated 2021 FAA guidance and policy requirements. The study concluded there is no glare HMMH analyzed the potential for the proposed roof mount solar PV to produce glare at the Air Traffic Control Tower, ATCT. Based on the design and layout, GlareGauge modeling showed no glare detected at the ATCT; the proposed design meets the FAA Standard for glare at the ATCT.

Required parking for warehouse is 1/1000' and 1/800' for office. A total of 225 auto stalls, including ADA, are provided with 379 delivery van stalls for both warehouse and office use, which exceeds County parking requirements. The vehicle parking lots will be designed, engineered and constructed to meet electric vehicle, EV, charging specifications with necessary

infrastructure installed during trenching. There are 7 dock high doors and 4 grade level doors proposed. The building will be oriented on the parcel so noise generators, such as trucks docks, are pointing north/south towards the airport and away from residential uses. Construction of a 12ft high sound wall is planned on the northwestern edge of the project in the area for truck parking and loading docks. The sound wall will be part of the landscaping to soften the appearance, deter graffiti and diminish any operational noise towards residents across Marsh Dr. Landscaping, fencing, lighting and glazing will meet or exceed airport Minimum Standards. Fire suppression systems will be state of the art code compliant.

The parcel is raw land and is generally flat. Biologically the parcel is composed of Non-Native Grasslands and is regularly mowed by the airport under FAA regulations to prevent wildlife habitation which may create a hazard to safe aircraft navigation and safe flight. A small 0.2ac drainage ditch runs southeast to northwest transecting the northern tier of the parcel and empties into the Marsh Drive drainage ditch. The ditch carries stormwater runoff from the western portion of the airport's runways, taxiways and tarmac areas. Stormwater from the development will be collected in surface inlets onsite then conveyed to a new underground pipe, pump and force main system to discharge into Grayson Creek. In addition, a surface water quality basin would be created on the north end of the project. That water will then be piped underground as well for discharge to an existing headwall that will empty into Grayson Creek. The project will not use the Marsh Drive drainage ditch for any discharge.

Although not a part of the project, just east of and parallel to Marsh Drive is a 4000ft +/-linear wetlands drainage ditch measuring approximately .48acs according to a recent wetlands delineation. The ditch empties into Grayson Creek and eventually into the Walnut Creek Flood Control Channel. The applicant's warehouse project will need to cross that drainage twice with box culverts to create ingress and egress roadways. The project will extend Sally Ride Drive north over the drainage to Marsh Drive. The second crossing may also be at Marsh Drive and the project's ingress/egress opposite Aria Way and subject to traffic impact analysis.

CEQA review will be conducted as required. Geotechnical investigations and ESA Phase 1 studies have been completed. No unusual conditions were discovered in either analysis. The site is not within a flood plain according to FIRM mapping. There is one tree on the project site which has been identified in the required Landscape Tree Survey. The tree will be removed. A draft landscape plan has been prepared and submitted.

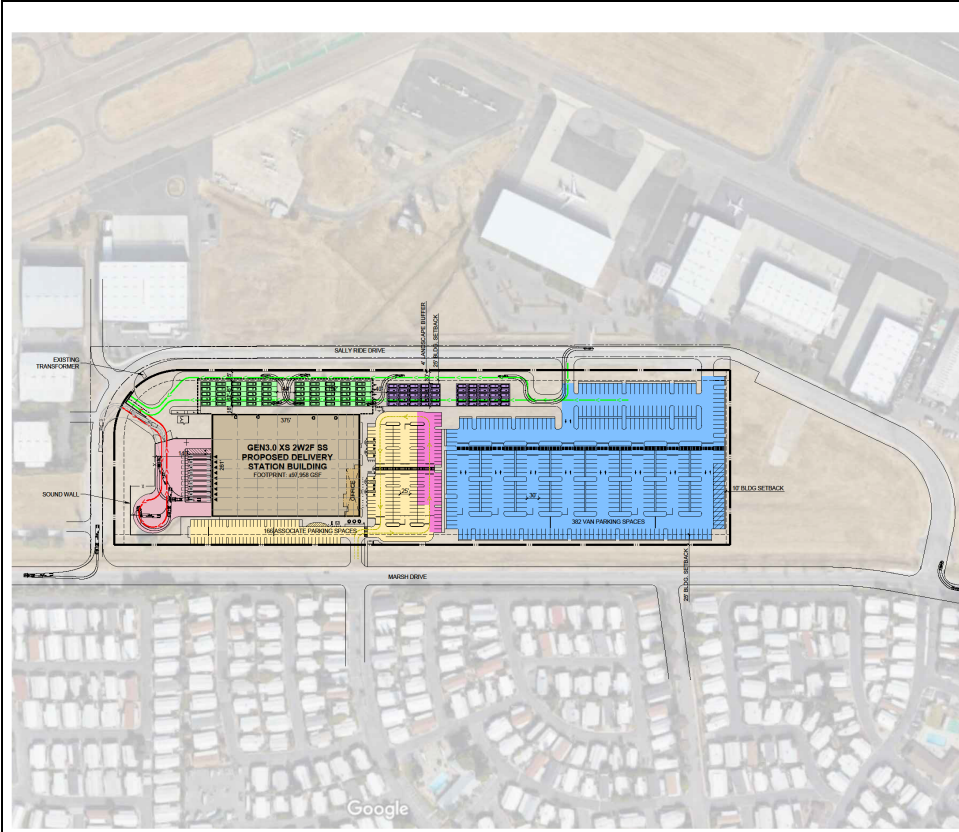
Sally Ride Drive, which will be further improved, provides access on the east side of the parcel with curbs, gutters and sidewalks. All utilities are in Marsh Drive which runs north/south along the west edge of the parcel. Power, sewer, water and fire hydrants are in Sally Ride Drive as well. Above ground power lines and poles at the north portion of the parcel will be removed and undergrounded. An existing set of unenergized lines and poles, also in the north central portion of the parcel crossing Sally Ride Dr. and terminating near the taxiway Juliet, will be removed.

Geographically, to the north are airport hangars and State Highway 4 [which runs east-west]. A fuel tank farm is farther north beyond Highway 4. To the west of the project is a mobile home park community, Interstate 680 [which runs north-south], several commercial businesses and a fire station. To the south of the project are additional airport lands, hangars and non-aeronautical business uses. Farther south is a golf course and commercial businesses in the City of Concord. To the east of the project are airport offices and the main runways and taxiway.

For further information contact:

Karl Higgins
CEO, Montecito Development Co LLC
619-888-5525 karlhiggins1955@charter.net

v9 June 30, 2021 kh



PROJECT DATA:		DEVELOPMENT STANDARDS:	
SITE AREA:	15.53 AC	ZONING:	U
GROSS:	676,000 SF	MAX. F.A.R.:	50%
PROPOSED DELIVERY STATION:	87,750 SF	MAX. COVERAGE:	50%
WAREHOUSE:	81,870 SF	MAX. HEIGHT:	SEE NOTE 1
OFFICE:	16,088 SF	BUILDING SETBACKS:	
COVERAGE:	@ 16%	FRONT:	25 FT 1
ROOFS:	14%	SIDE:	20 FT 1
NET:	14%	REAR:	15 FT 1
PARKING REQUIRED:		LANDSCAPE SETBACKS:	
WAREHOUSE:	1/1000 SF	FRONT:	4 FT 1
OFFICE:	1/800 SF	SIDE:	
TOTAL:	302 STALLS	REAR:	
PARKING PROVIDED:		LANDSCAPE REQ.:	30% 1
ASSOCIATE SPACES:	188 STALLS	OFF-STREET PARKING:	
REG. ACCESSIBLE:	7 STALLS	STANDARD:	8.5X18
VAN SPACES:	302 STALLS	COMPACT:	7.5X12
UTRVAN LOADING:	50 STALLS	COMPACT 10:	25%
UTRVAN STAGING:	50 STALLS	DRIVE AISLE:	25 FT
TRAILER SPACES:	0 STALLS	FIRE LANE:	20 FT
TRUCK DOCKS:	7	OVERHANG:	2 FT
LOOK-HIGH DOORS:	4	TREE WELL:	4 FT
GRADE-LEVEL DOORS:		REG. PARKING RATIO BY USE:	
		WAREHOUSE:	1/1000 SF
		OFFICE:	1/800 SF

NOTES:
 1. The above information is based on the information provided by the applicant and is subject to change without notice.
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PROPOSED PARKING BREAKDOWN	REQUIRED	PROPOSED	GAP
PARKING	125	125	0
ASSOCIATE	15	15	0
SUPPORT	20	20	0
EMP. MANAGERS	5	5	0
WHEELCHAIR ACCESSIBLE	2	2	0
ACCESSIBLE AUTO	3	3	0
ACCESSIBLE VAN	1	1	0
TOTAL AUTO	207	207	0
UTRVAN LOADING	50	50	0
UTRVAN STAGING	50	50	0
TRAILER PARKING	0	0	0
TOTAL PARKING	307	307	0
UTRVAN LOADING	50	50	0
UTRVAN STAGING	50	50	0
TRAILER PARKING	0	0	0
TRUCK DOCKS FOR RECYCLE	1	1	0
TRAILER PARKING	0	0	0



schema: REV6
 Conceptual Site Plan
 Sally Reek Drive
 Concord, CA 94520

WARE MALCOMB
 04/20/2020
 11/20/2020
 SHEET 1



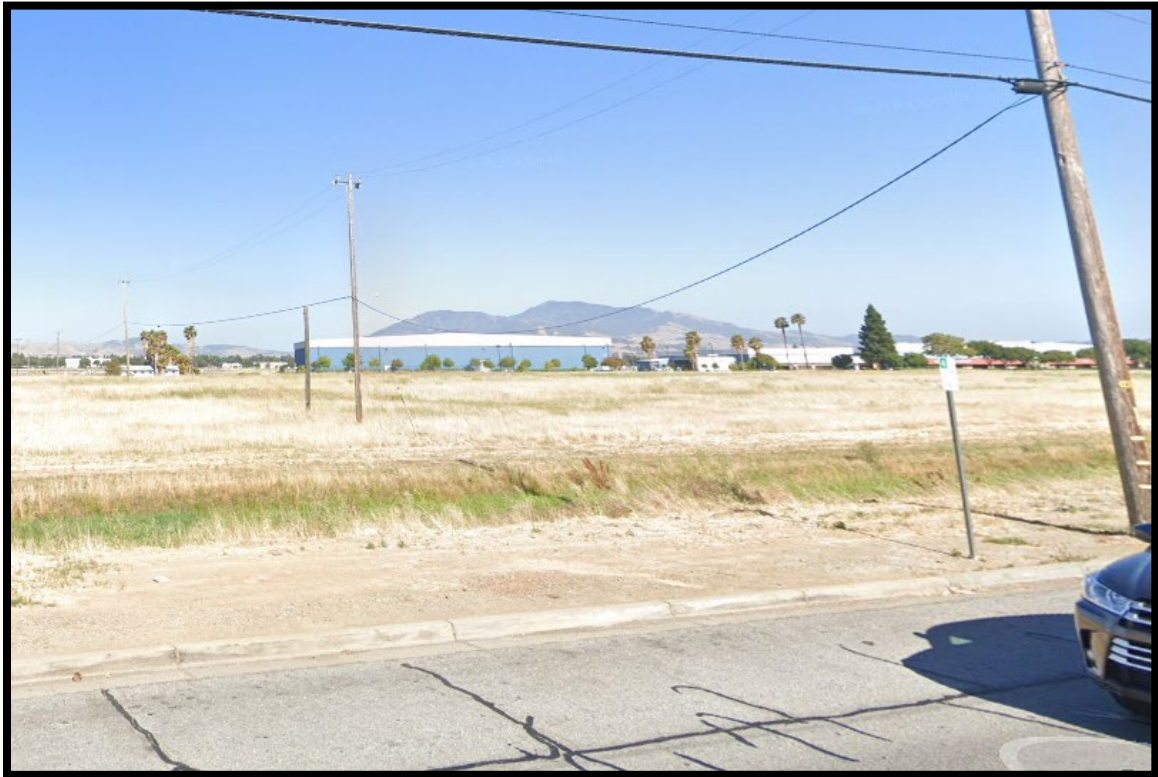
Aerial with site location



Aerial North to South



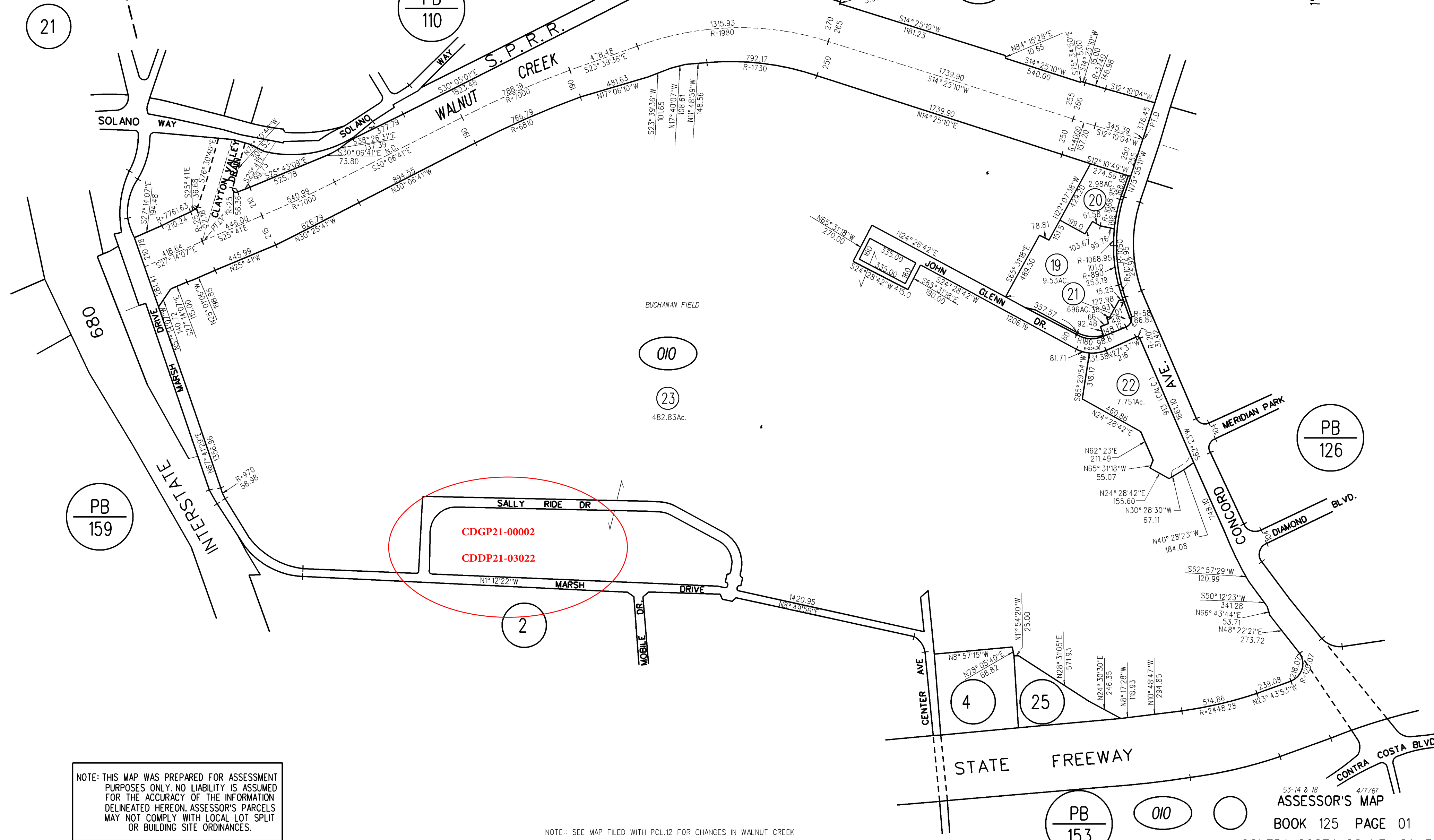
Sally Ride Drive terminates just east of Marsh Dr. A connection is planned. The overhead powerlines will be undergrounded.



This second set of powerlines, which are de-energized, will be removed.



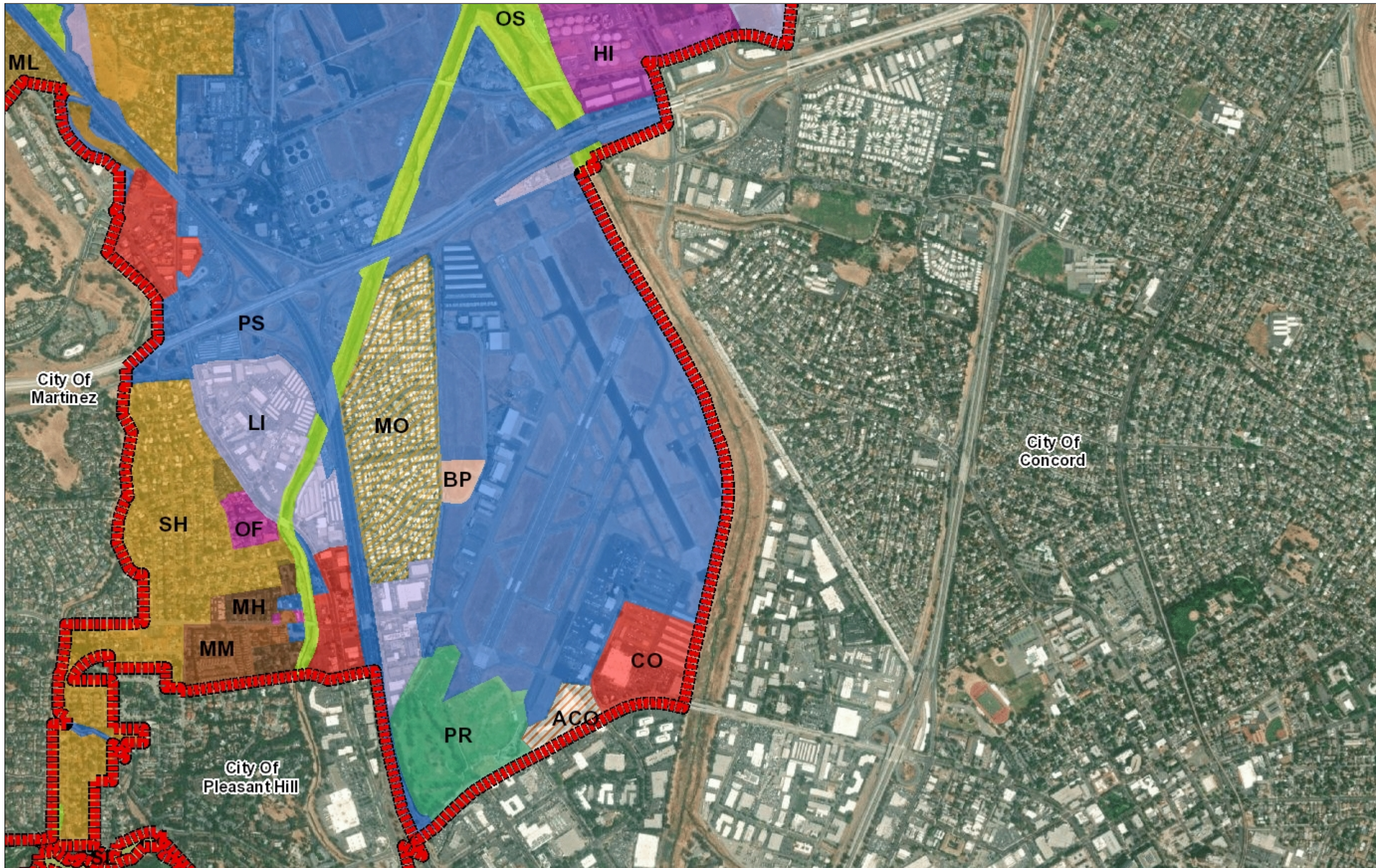
Looking South to North with the drainage ditch abutting Marsh Drive at the entrance to Sally Ride Dr. and overhead powerlines shown.



NOTE: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION DELINEATED HEREON. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL LOT SPLIT OR BUILDING SITE ORDINANCES.

NOTE: SEE MAP FILED WITH PCL.12 FOR CHANGES IN WALNUT CREEK

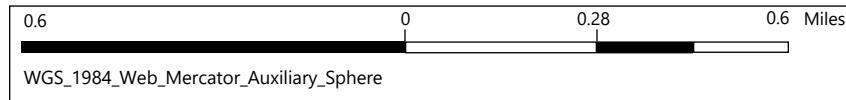
General Plan: Public/Semi-Public (PS)



Legend

- City Limits
- General Plan**
- SV (Single Family Residential - Ver
- SL (Single Family Residential - Low
- SM (Single Family Residential - Me
- SH (Single Family Residential - Hig
- ML (Multiple Family Residential - Lc
- MM (Multiple Family Residential - M
- MH (Multiple Family Residential - H
- MV (Multiple Family Residential - V
- MS (Multiple Family Residential - V
- CC (Congregate Care/Senior Housi
- MO (Mobile Home)
- M-1 (Parker Avenue Mixed Use)
- M-2 (Downtown/Waterfront Rodeo I
- M-3 (Pleasant Hill BART Mixed Use
- M-4 (Willow Pass Road Mixed Use)
- M-5 (Willow Pass Road Commercia
- M-6 (Bay Point Residential Mixed U
- M-7 (Pittsburg/Bay Point BART Sta
- M-8 (Dougherty Valley Village Cent
- M-9 (Montalvin Manor Mixed Use)
- M-10 (Willow Pass Business Park M
- M-11 (Appian Way Mixed Use)
- M-12 (Triangle Area Mixed Use)
- M-13 (San Pablo Dam Road Mixed
- M-14 (Heritage Mixed Use)
- CO (Commercial)
- OF (Office)
- BP (Business Park)
- LI (Light Industry)
- HI (Heavy Industry)
- AL, OIBA (Agricultural Lands & Off
- CR (Commercial Recreation)
- ACO (Airport Commercial)
- LF (Landfill)
- PS (Public/Semi-Public)
- PR (Parks and Recreation)
- OS (Open Space)

1: 18,056

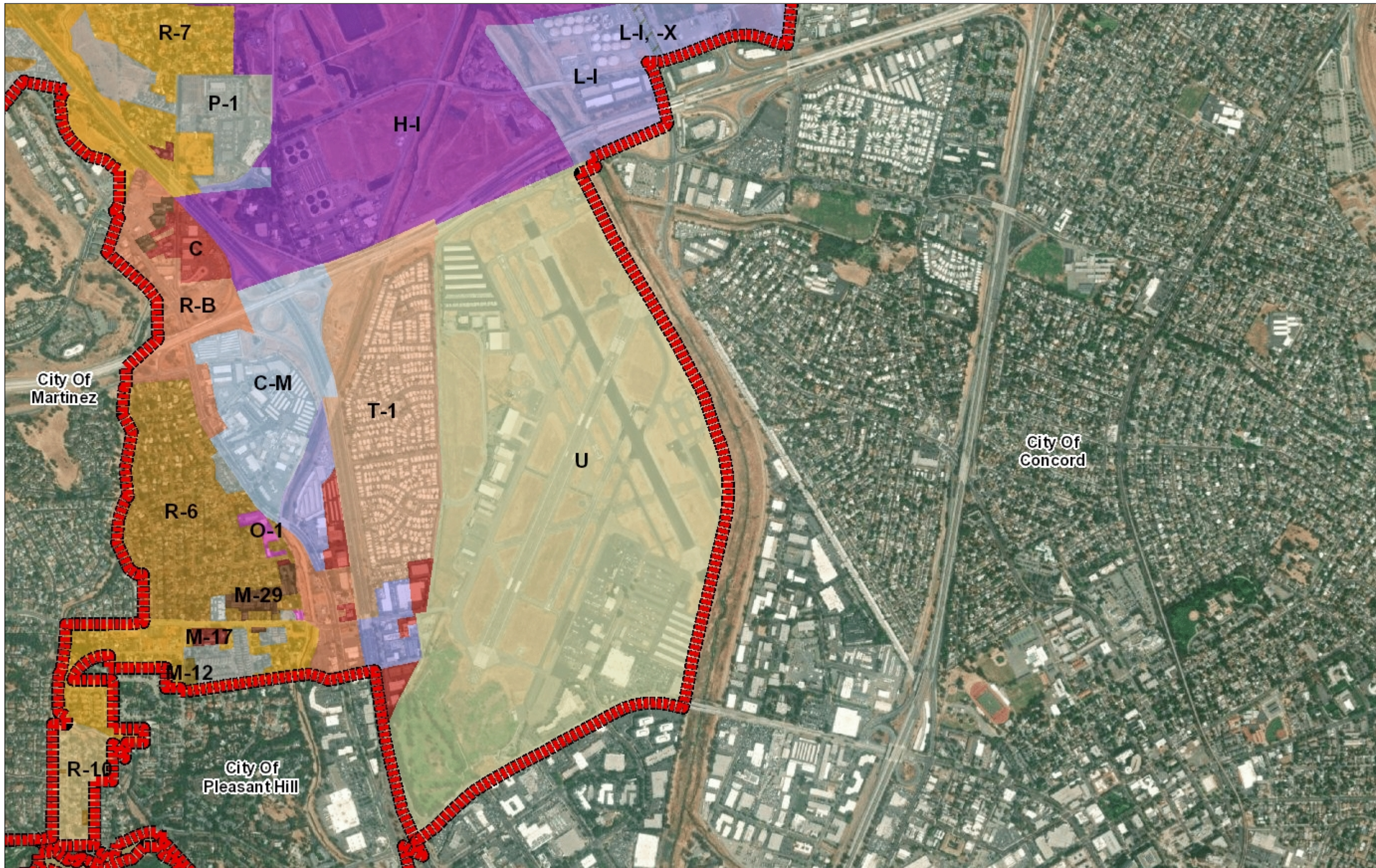


This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes
CDDP21-03022

Zoning: Unrestricted (U)



Legend

- City Limits
- Zoning**
- R-6 (Single Family Residential)
- R-6, -FH -UE (Flood Hazard and A
- R-6 -SD-1 (Slope Density Hillside I
- R-6 -TOV -K (Tree Obstruction anc
- R-6, -UE (Urban Farm Animal Excl
- R-6 -X (Railroad Corridor Combinir
- R-7 (Single Family Residential)
- R-7 -X (Railroad Corridor Combinir
- R-10 (Single Family Residential)
- R-10, -UE (Urban Farm Animal Exc
- R-12 (Single Family Residential)
- R-15 (Single Family Residential)
- R-20 (Single Family Residential)
- R-20, -UE (Urban Farm Animal Exc
- R-40 (Single Family Residential)
- R-40, -FH -UE (Flood Hazard and A
- R-40, -UE (Urban Farm Animal Exc
- R-65 (Single Family Residential)
- R-100 (Single Family Residential)
- D-1 (Two Family Residential)
- D-1 -T (Transitional Combining Dist
- D-1, -UE (Urban Farm Animal Excl
- M-12 (Multiple Family Residential)
- M-12 -FH (Flood Hazard Combining
- M-17 (Multiple Family Residential)
- M-29 (Multiple Family Residential)
- F-R (Forestry Recreational)
- F-R -FH (Flood Hazard Combining I
- F-1 (Water Recreational)
- F-1 -FH (Flood Hazard Combining I
- A-2 (General Agriculture)
- A-2, -BS (Boat Storage Combining I
- A-2, -BS -SG (Boat Storage and So
- A-2 -FH (Flood Hazard Combining I
- A-2, -FH -SG (Flood Hazard and Sc
- A-2 -SD-1 (Slope Density Hillside D
- A-2, -SG (Solar Energy Generation

1: 18,056



0.6 0 0.28 0.6 Miles

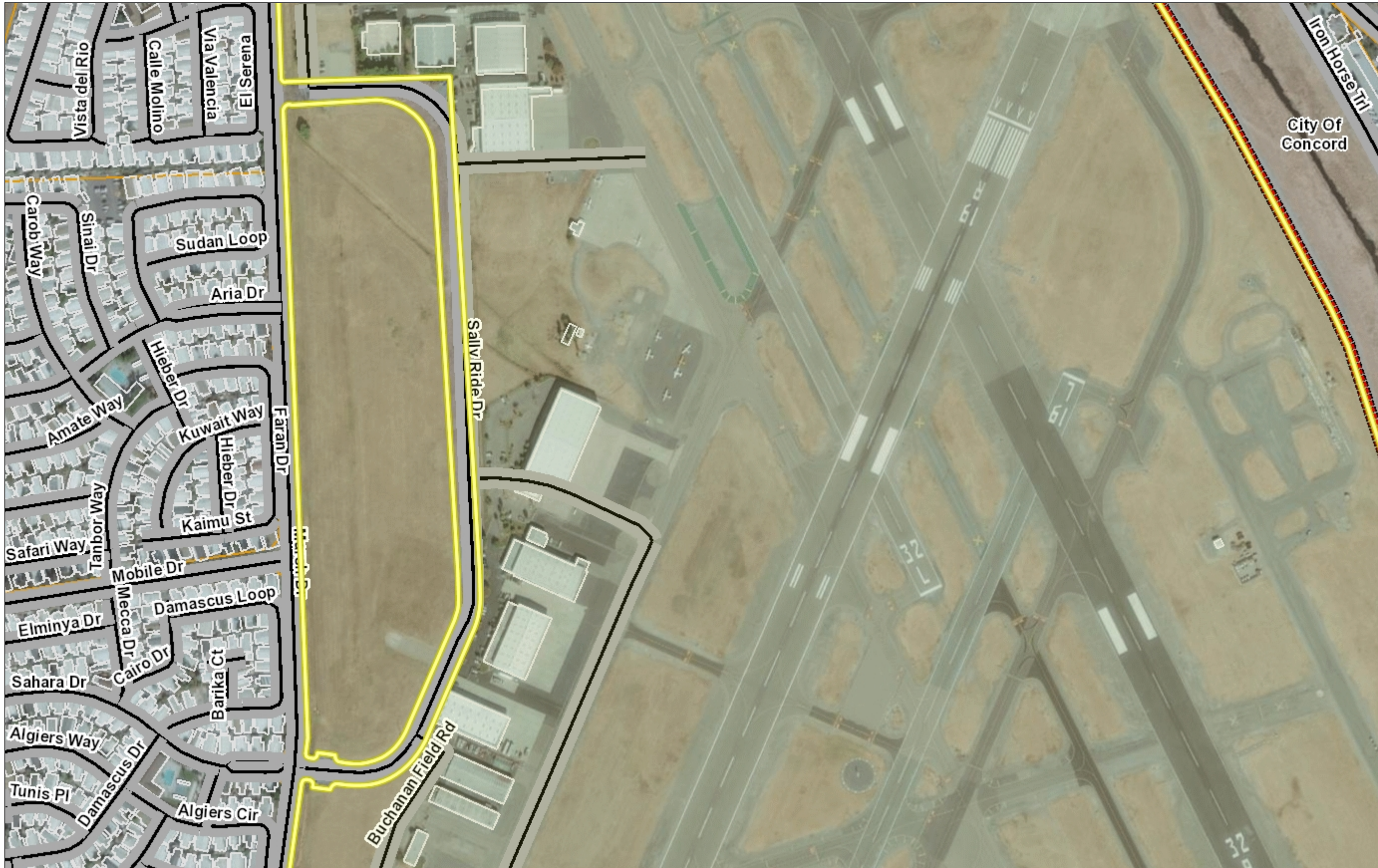
WGS_1984_Web_Mercator_Auxiliary_Sphere

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Notes

CDDP21-03022



Legend

-  City Limits
-  Streets
-  Building Outlines
-  Assessment Parcels
- World Imagery
- Low Resolution 15m Imagery
- High Resolution 60cm Imagery
- High Resolution 30cm Imagery
- Citations

1:4,514



0.1 0 0.07 0.1 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

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Notes

CDDP21-03022

FSRE INDUSTRIAL CONCORD

555 SALLY RIDE DR.
CONCORD, CALIFORNIA 94520

PLANNING SUBMITTAL SHEET INDEX

LANDSCAPE		ARCHITECTURAL	
SHEET ISSUED ON DATE INDICATED, WITH MODIFICATIONS ●	ISSUE	SHEET ISSUED ON DATE INDICATED, WITH MODIFICATIONS ●	ISSUE
SHEET ISSUED ON DATE INDICATED, NO MODIFICATIONS ○		SHEET ISSUED ON DATE INDICATED, NO MODIFICATIONS ○	
L1	LANDSCAPE PLAN	A0.0a	COVER SHEET
L2	PLANT PALETTE	A0.5	OVERALL SITE PLAN
L3	SCHEMATIC IRRIGATION PLAN	A0.5a	PARTIAL SITE PLAN - AREA A
	LANDSCAPE SHEET COUNT: 3	A0.5b	PARTIAL SITE PLAN - AREA B
C-1	EXISTING CONDITIONS	A1.11	OVERALL FLOOR PLAN
C-2	PRELIMINARY SITE PLAN	A1.11a	PARTIAL FLOOR PLAN - ZONE A
C-3	HIGH FLOW STORM DRAIN FORCE MAIN EXTENSION TO GRAYSON CREEK	A1.11b	PARTIAL FLOOR PLAN - ZONE B
	CIVIL SHEET COUNT: 3	A2.11	BUILDING ELEVATIONS
		A2.12	BUILDING ELEVATIONS
		A3.11	ENLARGED ENTRY EXTERIOR ELEVATIONS
		A4.10	MAIN INTERIORS AREA FLOOR PLAN

WARE MALCOMB
Leading Design for Commercial Real Estate

architecture
planning
graphics
civil engineering

1919 MCKINNEY AVENUE, SUITE 100
DALLAS, TX 75201
720.661.4789

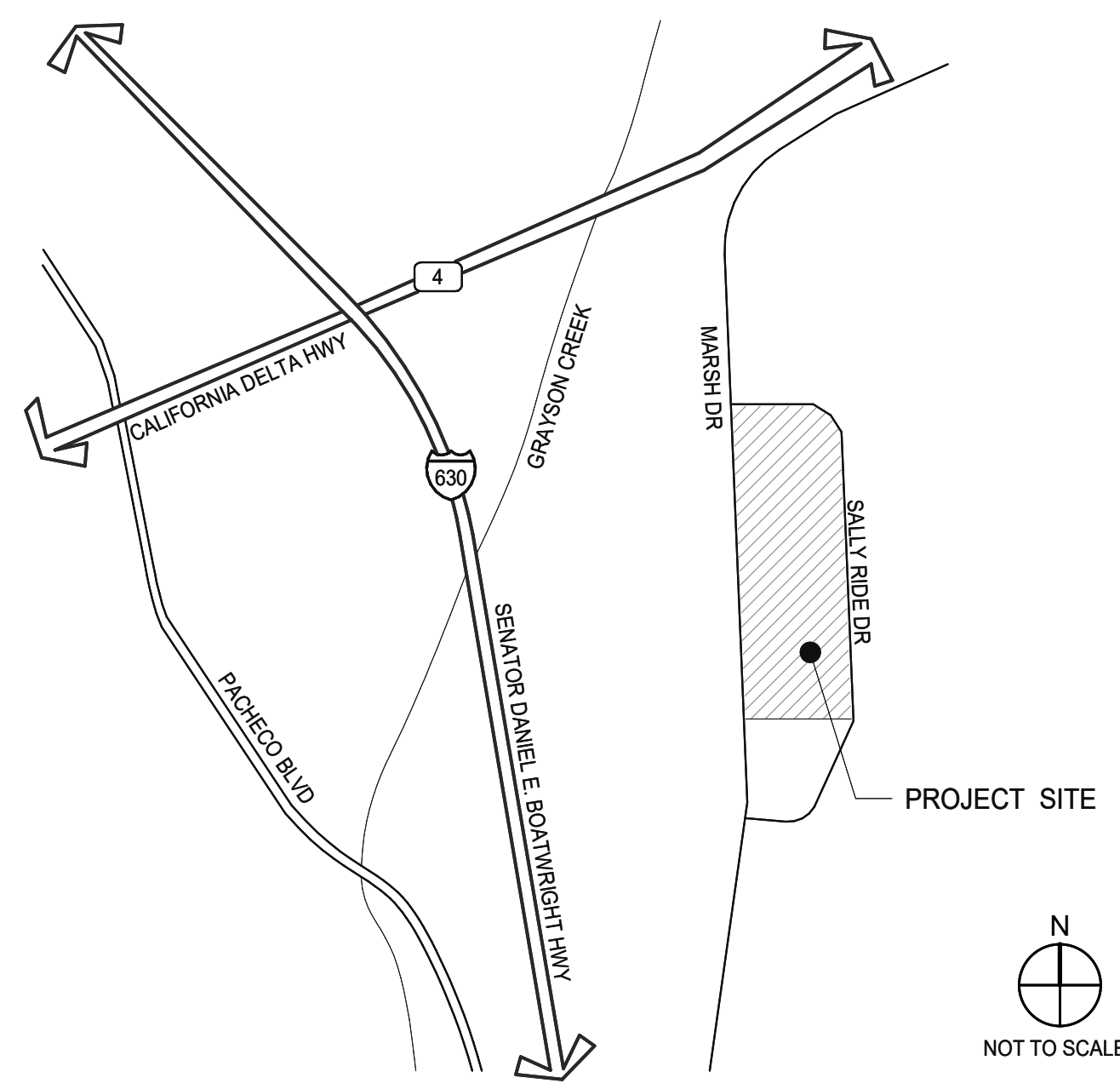
FSRE INDUSTRIAL CONCORD
555 SALLY RIDE DR.
CONCORD, CALIFORNIA 94520

TITLE SHEET	
DATE	REMARKS
06/29/2021	PLANNING SUBMITTAL

PA/PM:	A.JAFF
DRAWN BY:	O.M.J.J.B.
JOB NO.:	DAL20-0069-00

SHEET
G0.0a

VICINITY MAP



PROJECT TEAM

DEVELOPER

FSRE INDUSTRIAL CONCORD
1247 FIRECREST WAY
FALLBROOK, CALIFORNIA 92028

KARL HIGGINS
PH: (619) 888-5525
karlhiggins1955@charter.net

DEVELOPMENT MANAGER

MONTECITO DEVELOPMENT CO LLC
3494 CAMINO TASSAJARA, #229
DANVILLE, CALIFORNIA 94506

MARK HEAVEY
PH: 415.250.7550
mark@mdevair.com

ARCHITECT

WARE MALCOMB

1919 MCKINNEY AVENUE #100
DALLAS, TEXAS 75201

Project Manager: ASO JAFF
P 469.583.5379
ajaff@waremalcomb.com

CIVIL ENGINEER

CBG CIVIL ENGINEERS

2633 CAMINO RAMON #350
SAN RAMON, CALIFORNIA 94583

LEE ROSENBLATT
PH: 925.866.0322
lrosenblatt@cbandg.com

LANDSCAPE

GATES AND ASSOCIATES

2671 CROW CANYON RD.
SAN RAMON, CALIFORNIA 94583

LINDA GATES
PH: 925.736.8176 X 210
linda@gates.com

GENERAL NOTES

- SEE SHEET 00.2 & 00.2a FOR GENERAL NOTES
- SIGNAGE NOTES:**
- REFER TO SIGNAGE AND STRIPING PLAN FOR LOCATIONS OF SIGNS AND PAVEMENT MARKINGS.
 - ALL SIGNAGE, STRIPING, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - ALL STRIPING SHALL BE LONG LIFE EPOXY RESIN AND 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT GRAPHICS SHALL BE HOT-APPLIED THERMOPLASTIC (REFLECTIVE).
 - COLOR SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE, UNLESS OTHERWISE NOTED.
 - ASPHALT SPEED HUMPS AND SPEED BUMPS SHALL BE USED IN COLDER CLIMATES WHERE SNOW REMOVAL EQUIPMENT IS INTENDED TO BE USED. RUBBER SPEED HUMPS AND SPEED BUMPS MAY BE USED IN WARMER CLIMATES OR REGIONS WHERE CONCRETE PAVEMENT IS PREVALENT.
 - ALL PROPOSED SIGNAGE AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE TENANT FULFILLMENT WORLDWIDE REAL ESTATE SIGNAGE STANDARDS REVISION 16 DATED QUARTER 2, 2019.
 - FINAL QUANTITIES SHALL BE COORDINATED AND VERIFIED IN FIELD.
 - ADDITIONAL SIGNAGE NOT SHOWN ON GRAPHICS PLAN (E.G. FIRE LANES) MAY BE REQUIRED PER LOCAL CODE AND/OR A.H.J. SUB-CONTRACTOR SHALL COORDINATE WITH LOCAL A.H.J. AND PROVIDE AS REQUIRED.
 - MOUNT SIGNAGE ACCORDING TO LOCAL CODES.
 - TYPICAL SIGN FONT IS SET IN ARIAL.

PROJECT DATA

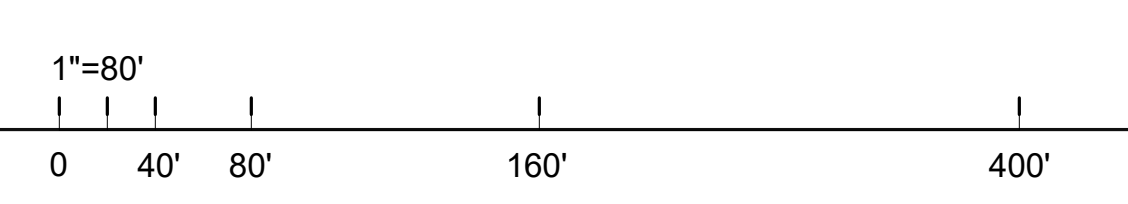
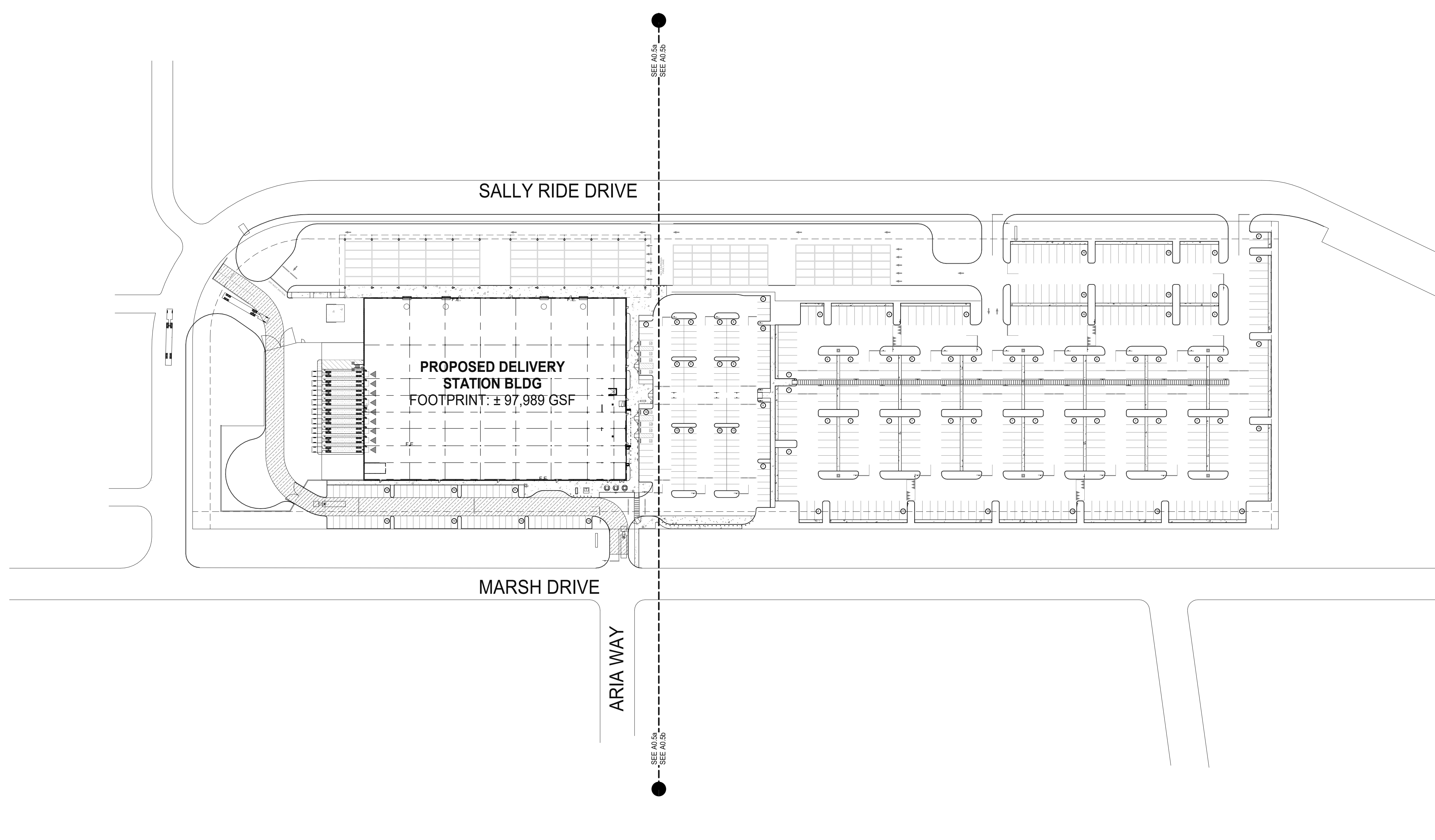
SITE DATA	
PROPOSED USE:	INDUSTRIAL
SITE AREA:	+4,676,076 SF (15.52 ACRES)
BUILDING AREA (GROSS) TOTAL:	106,181 GSF
1ST FLOOR:	97,989 GSF
MEZZANINE:	8,192 GSF
CANOPY AREA:	38,704 GSF
LOT COVERAGE:	20 %
BUILDING SETBACKS:	
FRONT: (25 FT MIN):	700 FT MIN
SIDE (10 FT MIN):	91 FT MIN
REAR (15 FT MIN):	195 FT MIN
LANDSCAPE AREA:	100,939 SF
LANDSCAPE COVERAGE (10% MIN):	14.9 %

PARKING SUMMARY

PARKING SPACES REQUIRED: CCCC CHAPTER 82-16	
AUTO PARKING:	
OFFICE: 1/250 GSF	11,858/250 = 48
WAREHOUSE: 1/1,000 GSF	94,323/1000 = 95
TOTAL REQUIRED:	143
BICYCLE PARKING:	
SHORT TERM:	2
LONG TERM:	12
TOTAL REQUIRED:	14
TENANT REQUIRED PARKING:	
AUTO SPACES (8'0" X 4'0")	115
ASSOCIATE SPACES:	15
SUPPORT SPACES:	20
DSP MANAGER SPACES:	50
VAN PERSONAL SPACES:	50
TOTAL REQUIRED:	200
ACCESSIBLE AUTO:	6
ACCESSIBLE VAN:	1
VAN FLEET SPACES (11' X 27')	269
VAN PARKING SPACES:	100
VAN PERSONAL SPACES:	25
TOTAL REQUIRED:	380
VAN LOADING SPACES:	50
VAN STAGING SPACES:	50
TRAILER/TRUCK BOX LOADING BAYS:	9
ROLL UP DOORS TO LOADING AREA:	4
TRAILER PARKING:	4
PARKING SPACES PROVIDED:	
AUTO PARKING:	
ASSOCIATE SPACES:	123
SUPPORT SPACES:	15
DSP MANAGER SPACES:	20
VAN PERSONAL SPACES:	50
TOTAL PROVIDED:	208
ACCESSIBLE AUTO:	6
ACCESSIBLE VAN:	2
BICYCLE PARKING:	
SHORT TERM:	4
LONG TERM:	12
TOTAL PROVIDED:	16
VAN FLEET SPACES (ALL EV CHARGING):	
VAN PARKING SPACES:	269
VAN PERSONAL SPACES:	100
VAN BUFFER SPACES:	14
TOTAL PROVIDED:	383
VAN LOADING SPACES:	50
VAN STAGING SPACES:	50
TRAILER/TRUCK BOX LOADING BAYS:	9
ROLL UP DOORS TO LOADING AREA:	4
TRAILER PARKING:	4

SITE LEGEND

- PROPERTY LINE
- ☐ POLE MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS.
- ⊞ WALLPACK LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS.
- ⊞ TRANSFORMER WITH CONCRETE PAD, (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- ▨ LANDSCAPE AND IRRIGATION AREA
- ▨ FIRE LANE
- ① PARKING STALL COUNT TOTAL
- ◀ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR



OVERALL SITE PLAN 1 N

WARE MALCOLM
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civil engineering
1919 McKinney Avenue, Suite 100
Dallas, TX 75201
720.160.4789

**FSRE INDUSTRIAL
CONCORD**
555 SALLY RIDE DR.
CONCORD, CALIFORNIA 94520

OVERALL SITE PLAN	
DATE	REMARKS
06/29/2021	PLANNING SUBMITTAL

PA/PM:	A.JAFF
DRAWN BY:	O.M.J.B.
JOB NO.:	DAL20-0069-00

SHEET
A0.5

GENERAL NOTES

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 - TYPICAL SIGN FONT IS SET IN AERIAL.

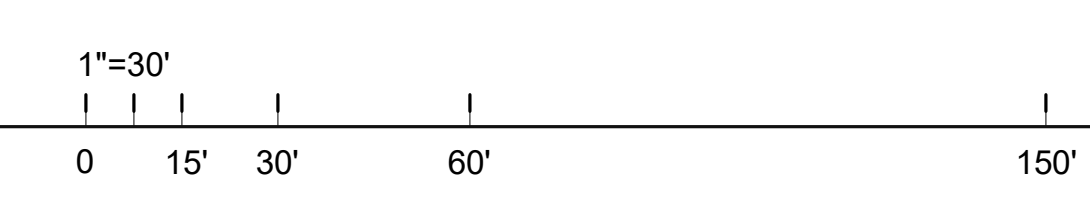
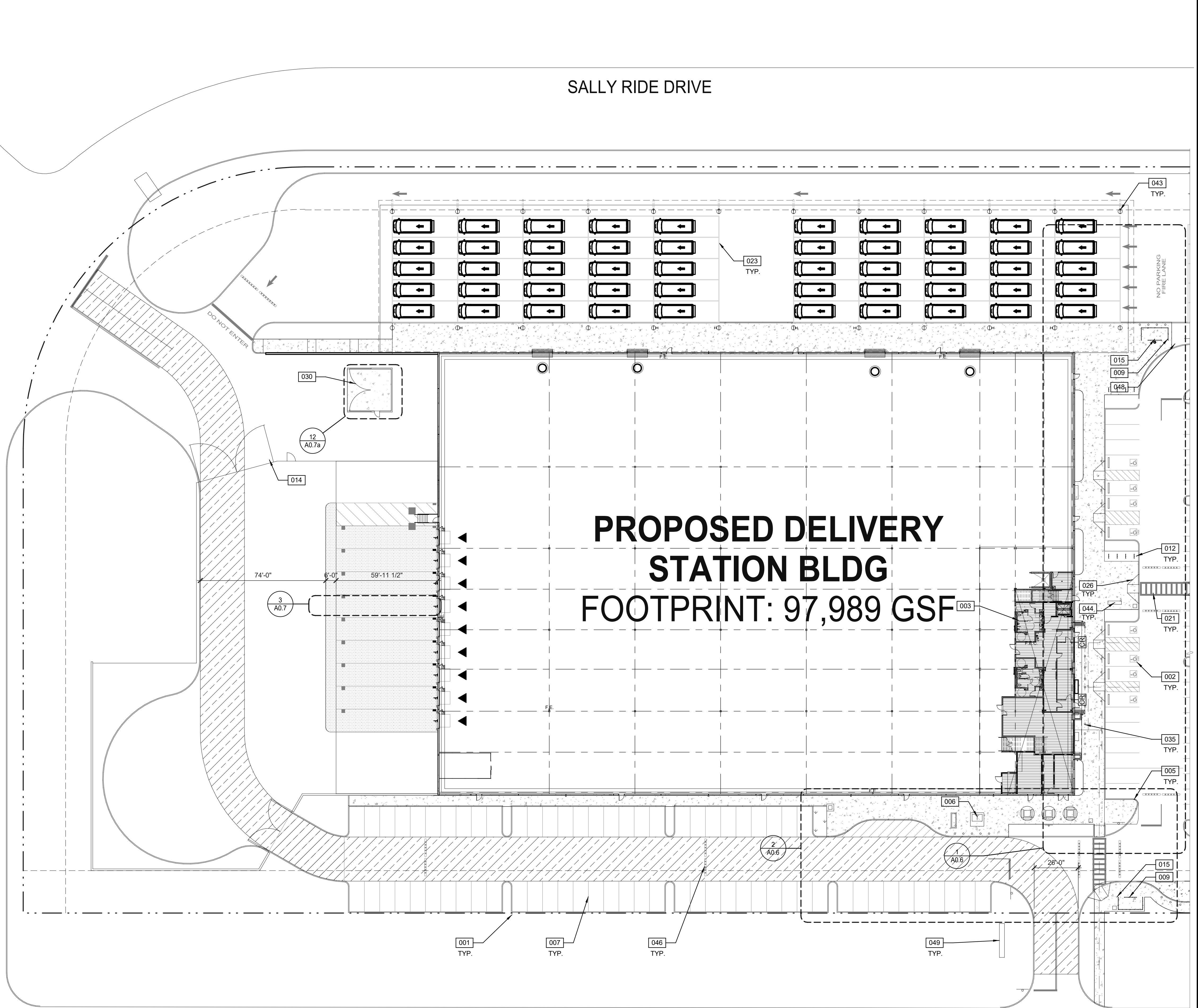
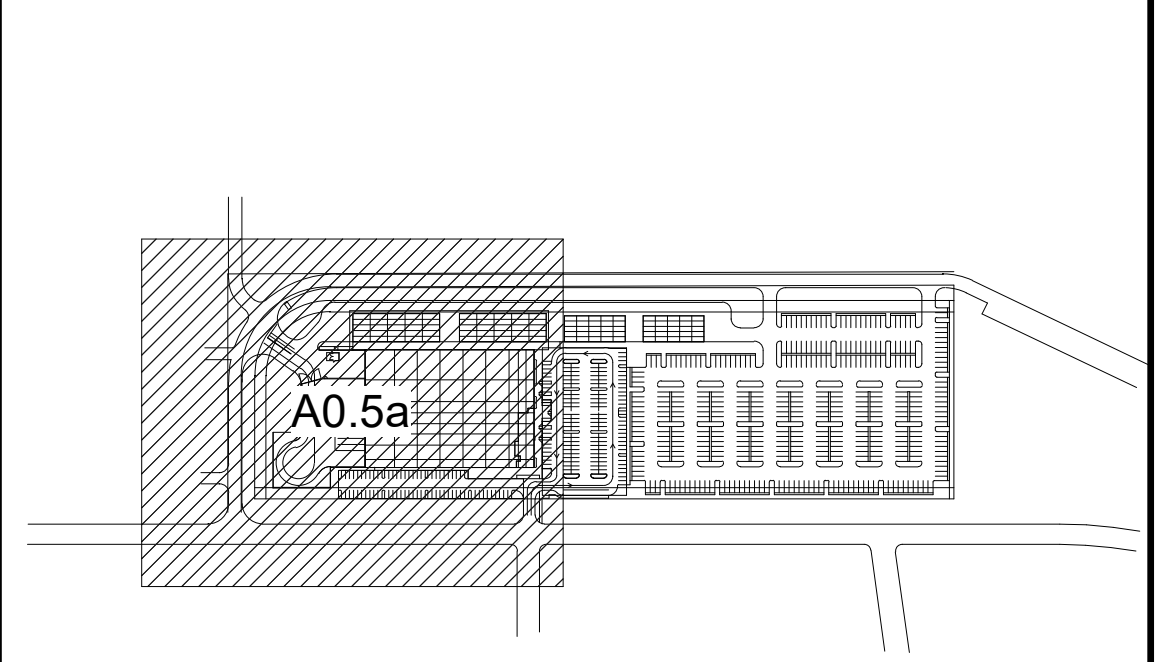
KEYNOTES:

- SEE SHEET G0.2 & G0.2a FOR GENERAL NOTES
- PROPERTY LINE.
 - VAN ACCESSIBLE PARKING STALL WITH SIGNAGE AND SYMBOL AS PER CBC. SEE DETAILS SHEET A0.7a.
 - HATCHED AREA INDICATES OFFICE AREA.
 - LANDSCAPE AREA, SEE LANDSCAPE DRAWINGS.
 - 5" HIGH CONCRETE CURB TYP. SEE CIVIL DRAWINGS.
 - TRANSFORMER.
 - PAINTED PARKING STRIPING PER CITY STANDARDS.
 - BENCH.
 - ASH CAN BY TENANT.
 - KNOX-BOX, COORDINATE EXACT LOCATION WITH FIRE DEPARTMENT.
 - CONCRETE APRON 2% MAX SLOPE.
 - BIKE RACKS, SEE 10/A0.7a.
 - PREFABRICATED SMOCKERS SHELTER BY G.C. SEE CIVIL DWGS FOR DETAILS.
 - EACH DOCK SHALL HAVE A DOCK IDENTIFICATION SIGN MOUNTED DIRECTLY TO THE BUILDING FACADE, CENTERED ABOVE DOCK DOOR, COORDINATE WITH TENANT FOR DOCK NUMBER. SEE SIGNAGE PLAN FOR DOCK NUMBERS.
 - RIDE-SHARE SHELTER, SEE CIVIL DWGS FOR DETAILS.
 - 4" WIDE CROSSWALK, 4" WIDE WHITE STRIPING AT 36" ON CENTER MAX.
 - PAINTED TRAFFIC MARKINGS.
 - ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
 - TRASH ENCLOSURE WITH BINS.
 - STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW. SEE 23/A0.7a.
 - BUILDING CANOPY AND COLUMNS PER ARCHITECTURAL.
 - ELECTRICAL EQUIPMENT WITH BOLLARD PROTECTION PER ELECTRICAL PLANS.
 - SPEED BUMP.
 - TRASH CAN (BY TENANT) ON CONCRETE PAD.
 - MONUMENT SIGN. SEE 12/A0.7b.

SITE LEGEND

- ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- PROPERTY LINE.
- POLE MOUNTED LIGHT FIXTURE.
- WALLPACK LIGHT FIXTURE.
- TRANSFORMER WITH CONCRETE PAD. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS).
- LANDSCAPE AND IRRIGATION AREA.
- FIRE LANE (HATCHED)
- INDICATES LIGHT DUTY CONCRETE PADS AND WALK AREAS
- PARKING STALL COUNT TOTAL
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR

KEYPLAN



PARTIAL SITE PLAN - AREA A
SCALE: 1" = 30'-0"

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PARTIAL SITE PLAN - AREA A	
DATE	06/29/2021
REVISIONS	
PLANNING/SUBMITTAL	

PA/PM:	A.JAFF
DRAWN BY:	O.M.J.B.
JOB NO.:	DAL20-0069-00

SHEET
A0.5a

GENERAL NOTES

SEE SHEET G0.2 & G0.2a FOR GENERAL NOTES

SIGNAGE NOTES:

- REFER TO SIGNAGE AND STRIPING PLAN FOR LOCATIONS OF SIGNS AND PAVEMENT MARKINGS.
- ALL SIGNAGE, STRIPING, AND OTHER TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL STRIPING SHALL BE LONG LIFE EPOXY RESIN AND 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT GRAPHICS SHALL BE HOT-APPLIED THERMOPLASTIC (REFLECTIVE).
- COLOR SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE, UNLESS OTHERWISE NOTED.
- ASPHALT SPEED HUMPS AND SPEED BUMPS SHALL BE USED IN COLDER CLIMATES WHERE SNOW REMOVAL EQUIPMENT IS INTENDED TO BE USED. RUBBER SPEED HUMPS AND SPEED BUMPS MAY BE USED IN WARMER CLIMATES OR REGIONS WHERE CONCRETE PAVEMENT IS PREVALENT.
- ALL PROPOSED SIGNAGE AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE TENANT FULFILLMENT WORLDWIDE REAL ESTATE SIGNAGE STANDARDS REVISION 16 DATED QUARTER 2, 2019.
- FINAL QUANTITIES SHALL BE COORDINATED AND VERIFIED IN FIELD.
- ADDITIONAL SIGNAGE NOT SHOWN ON GRAPHICS PLAN (E.G. FIRE LANES) MAY BE REQUIRED PER LOCAL CODE AND/OR AHJ. SUB-CONTRACTOR SHALL COORDINATE WITH LOCAL AHJ AND PROVIDE AS REQUIRED.
- MOUNT SIGNAGE ACCORDING TO LOCAL CODES.
- TYPICAL SIGN FONT IS SET IN AERIAL.

KEYNOTES:

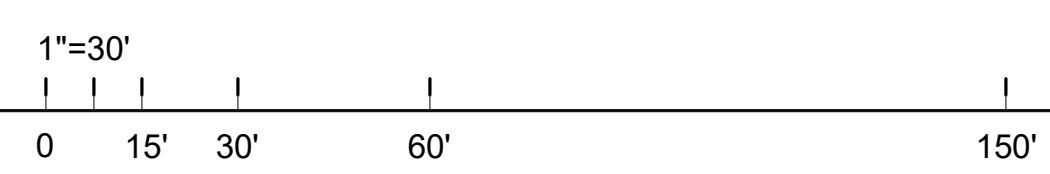
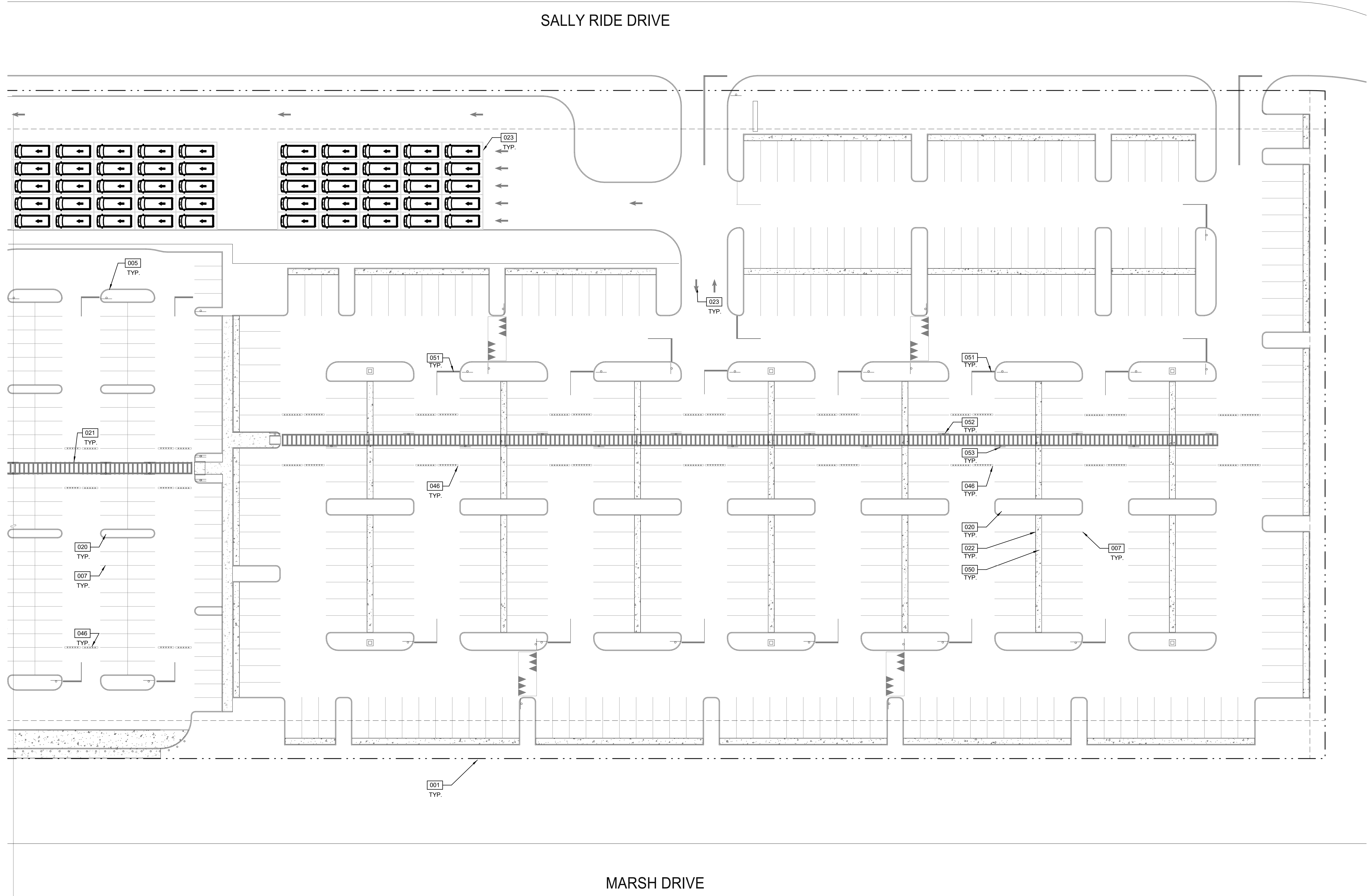
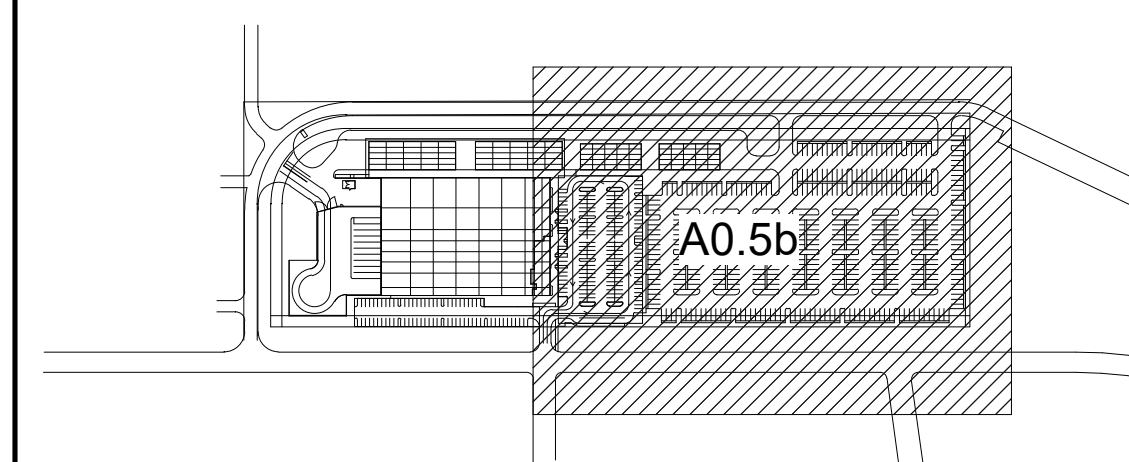
SEE SHEET G0.2 & G0.2a FOR GENERAL NOTES

- 001 PROPERTY LINE.
- 005 6" HIGH CONCRETE CURB TYP. SEE CIVIL DRAWINGS.
- 007 PAINTED PARKING STRIPING PER COUNTY STANDARDS.
- 020 LANDSCAPE ISLAND.
- 021 4" WIDE CROSSWALK, 4" WIDE WHITE STRIPING AT 36" ON CENTEF
- 022 STRIPED PEDESTRIAN ACCESS.
- 023 PAINTED TRAFFIC MARKINGS.
- 046 SPEED BUMP.
- 050 CONCRETE SIDE WALK.
- 051 SPEED TABLE/PEDESTRIAN WALKWAY.
- 052 PEDESTRIAN CROSSING, LEFT ARROW
- 053 PEDESTRIAN CROSSING, RIGHT ARROW

SITE LEGEND

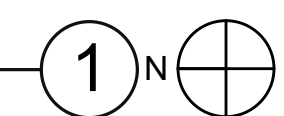
- ACCESSIBLE PATH OF TRAVEL, 1:20 MAX. SLOPE, 2% MAX. CROSS SLOPE.
- - - PROPERTY LINE.
- ⊞ POLE MOUNTED LIGHT FIXTURE.
- ⊞ WALLPACK LIGHT FIXTURE.
- ⊞ TRANSFORMER WITH CONCRETE PAD. (PROVIDE PROTECTION BOLLARDS PER LOCAL UTILITY OR PUBLIC WORK STANDARDS)
- ⊞ LANDSCAPE AND IRRIGATION AREA.
- ▨ FIRE LANE (HATCHED)
- ⊞ INDICATES LIGHT DUTY CONCRETE PADS AND WALK AREAS
- ① PARKING STALL COUNT TOTAL
- ▲ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR

KEYPLAN



PARTIAL SITE PLAN - AREA B

SCALE: 1" = 30'-0"



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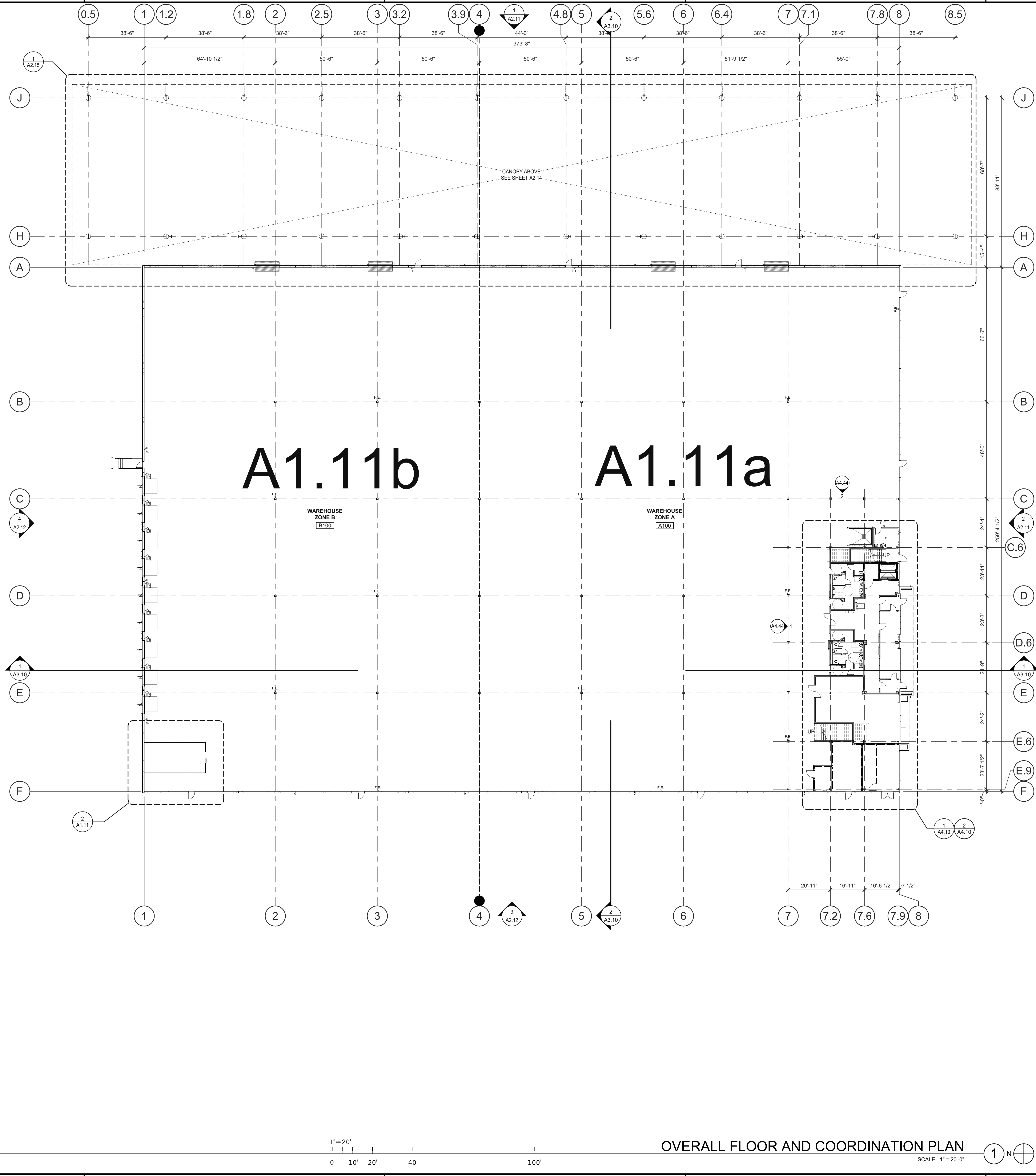
PARTIAL SITE PLAN - AREA B

DATE	06/29/2021
PLANNING SUBMITTAL	
REMARKS	

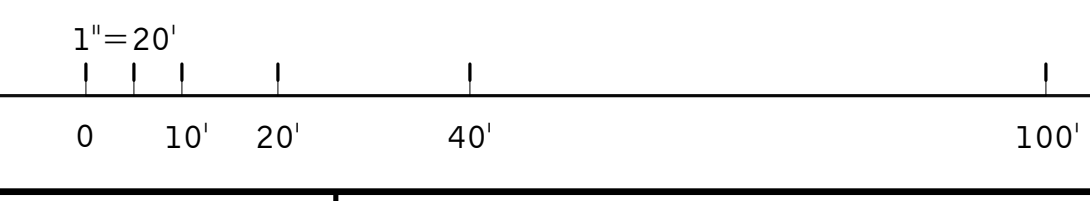
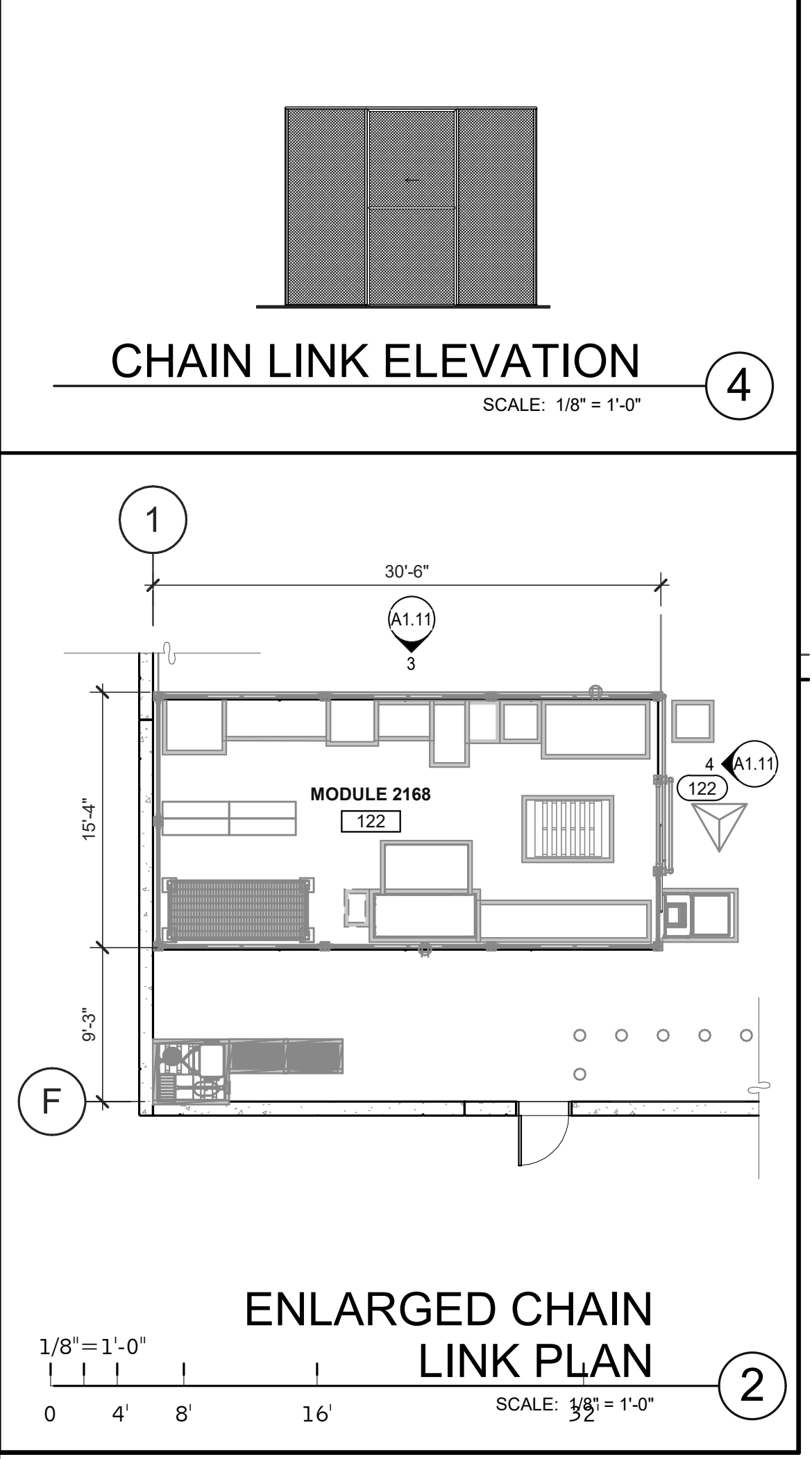
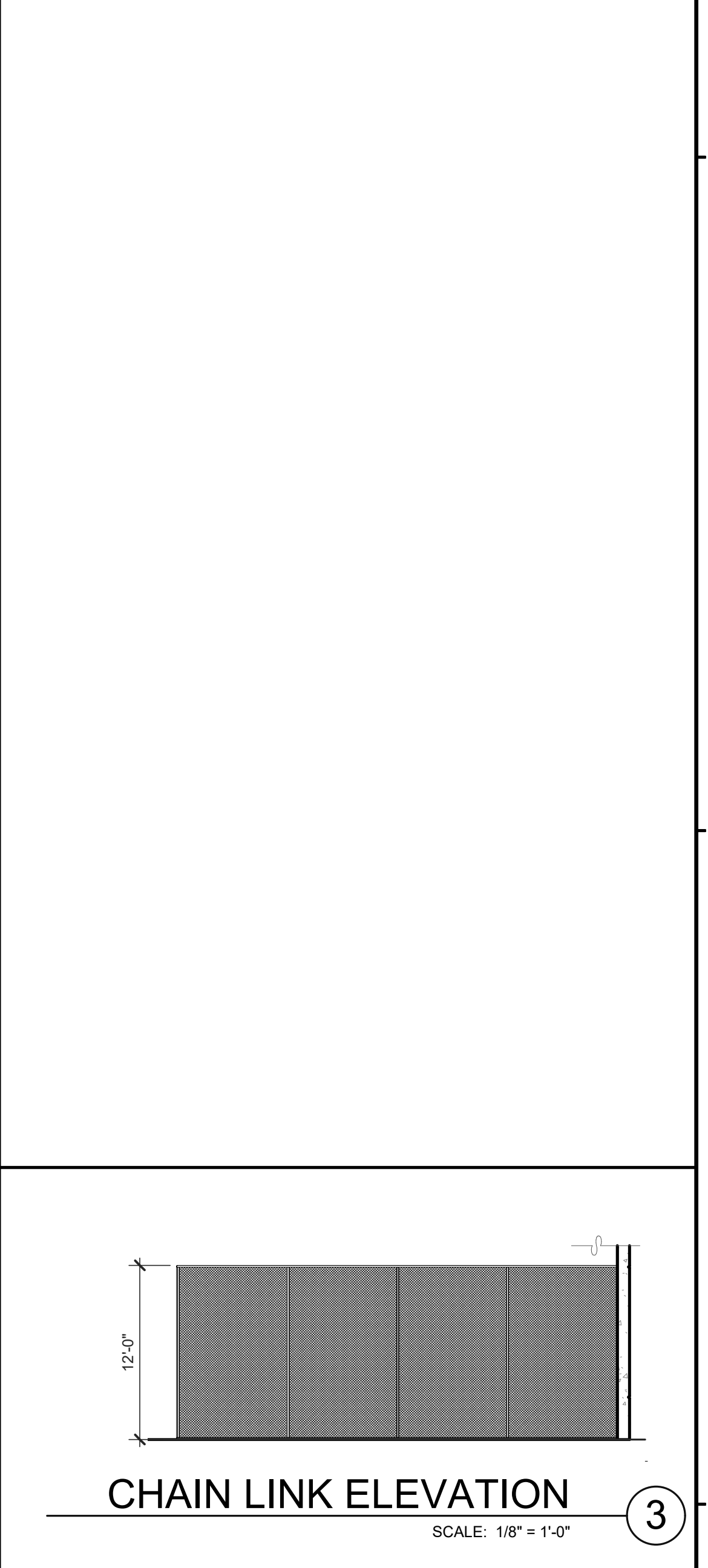
PA/PM:	A.JAFF
DRAWN BY:	O.M.J.B.
JOB NO.:	DAL20-0069-00

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- ### GENERAL NOTES
- SEE SHEETS G0.2 & G0.2a FOR GENERAL NOTES
- ALL FINISH MATERIALS SHALL MEET THE CLASS C FLAME SPREAD INDEX OF 76-200 AND SMOKE-DEVELOPED INDEX OF 0-450 PER LOCAL CODES.
 - DOORS INTO ELECTRICAL CONTROL PANEL ROOMS SHALL BE MARKED WITH A PLAINLY VISIBLE AND LEGIBLE SIGN STATING "ELECTRICAL ROOM" OR SIMILAR WORDING.
 - FIRE PROTECTION EQUIPMENT ROOMS CONTAINING SPRINKLER RISERS, FACP, OR OTHER SUPPRESSION OR CONTROL ELEMENTS SHALL BE IDENTIFIED WITH APPROVED SIGNS. SIGNS SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALLED AND READILY VISIBLE PER LOCAL CODES.
 - THESE DRAWINGS DO NOT REFLECT THE GUIDELINES SET FORTH BY THE WORLD HEALTH ORGANIZATION AND CENTER FOR DISEASE CONTROL OR OTHER GOVERNMENTAL AGENCY GUIDELINES RELATED TO COVID-19.
 - THIS PLAN IS PROVIDED FOR COORDINATION PURPOSES OF FURNITURE, EQUIPMENT, APPLIANCES, SIGNAGE, ACCESS CONTROL, AND SECURITY. IF CONFLICTS ARE IDENTIFIED, PLEASE NOTIFY TENANT PROJECT LEAD AND/OR ARCHITECT IMMEDIATELY.
 - ALL VENDING AND EQUIPMENT INDICATED AS HALFTONE AND DASHED TO BE PROVIDED BY TENANT, UNLESS NOTED OTHERWISE.
 - REFER TO ARCHITECTURAL GENERAL NOTES ON G0.2 & G0.2a FOR ADDITIONAL INFORMATION. REFER TO A5.19 FOR WALL TYPES.
 - DETAIL REFERENCES SHOULD BE APPLIED TO ALL INSTANCES WHERE THE SAME CONDITIONS OCCUR, UNLESS NOTED OTHERWISE.



OVERALL FLOOR AND COORDINATION PLAN
SCALE: 1" = 20'-0"

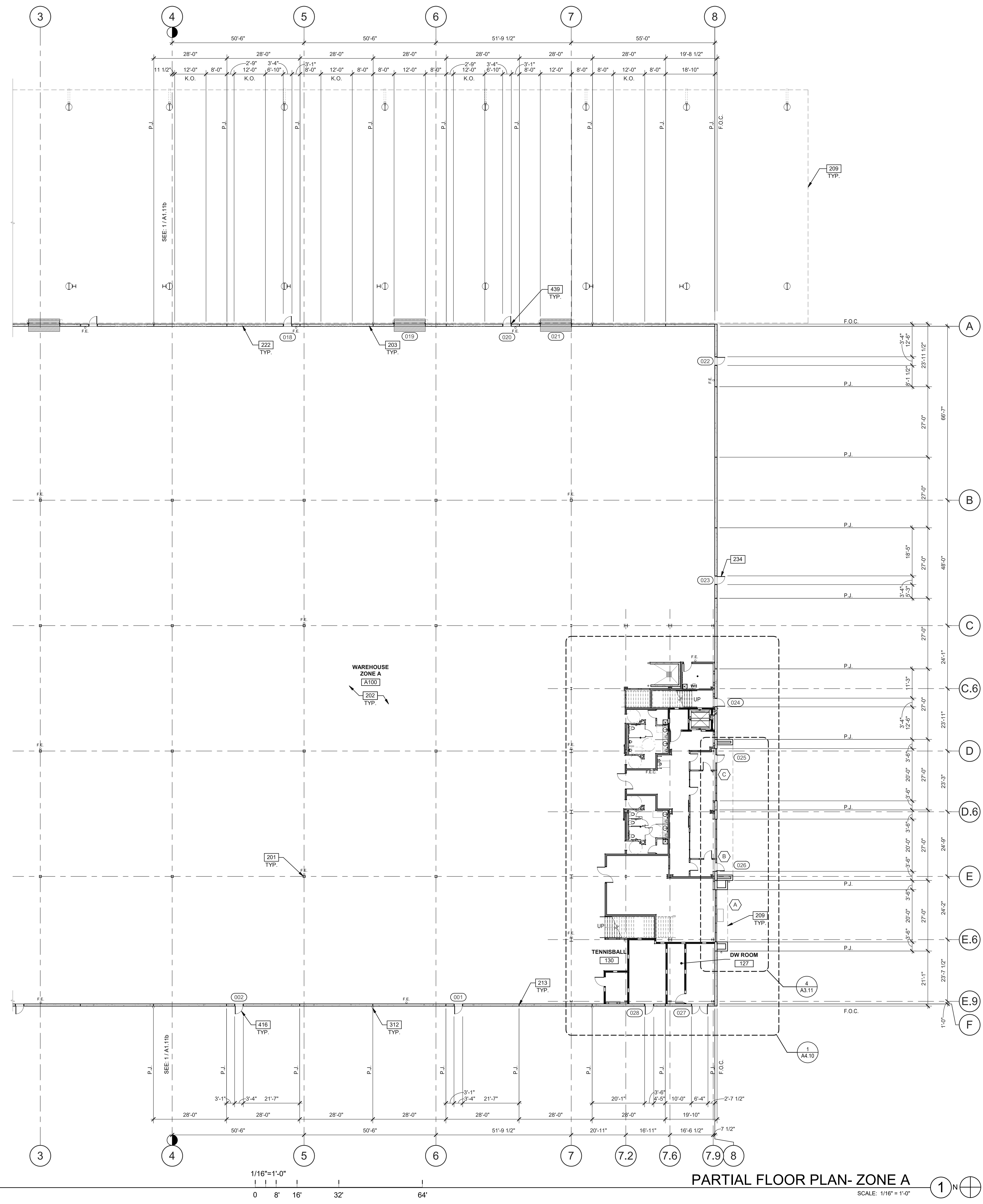
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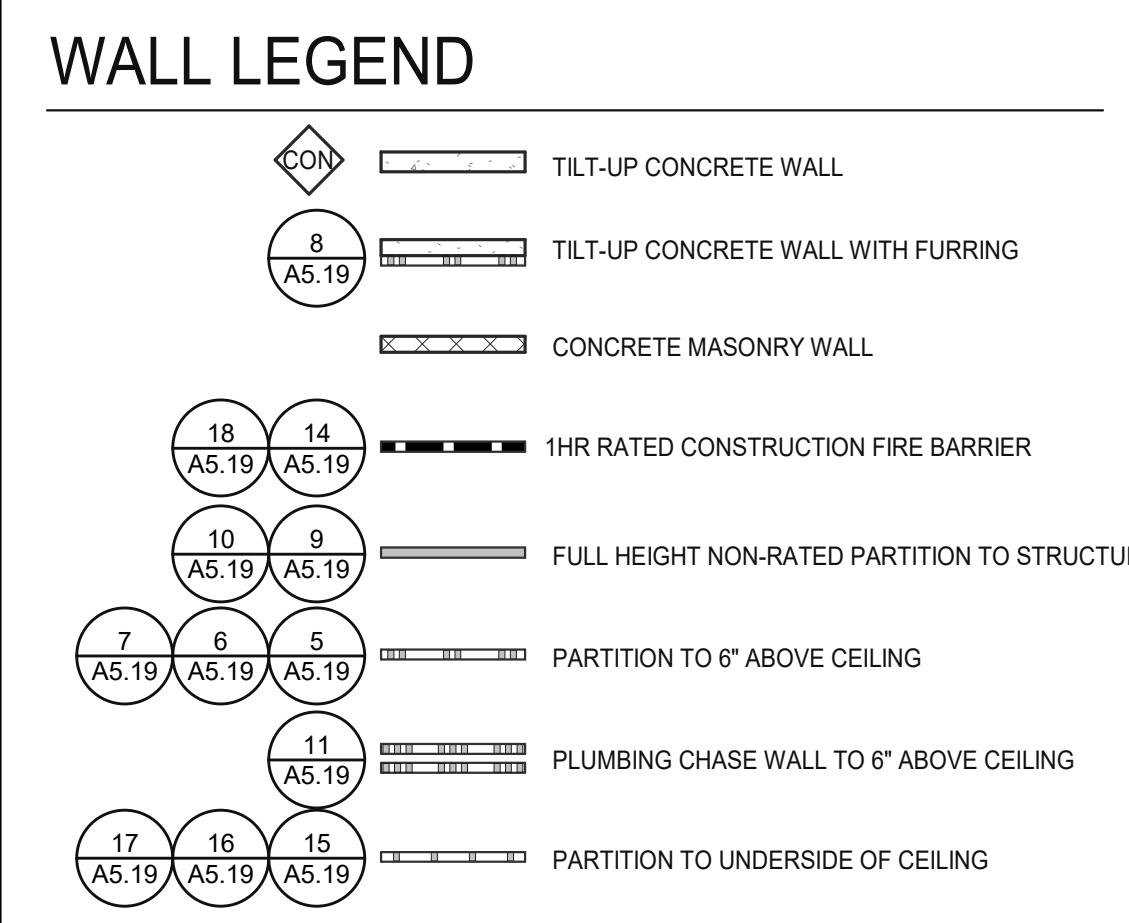
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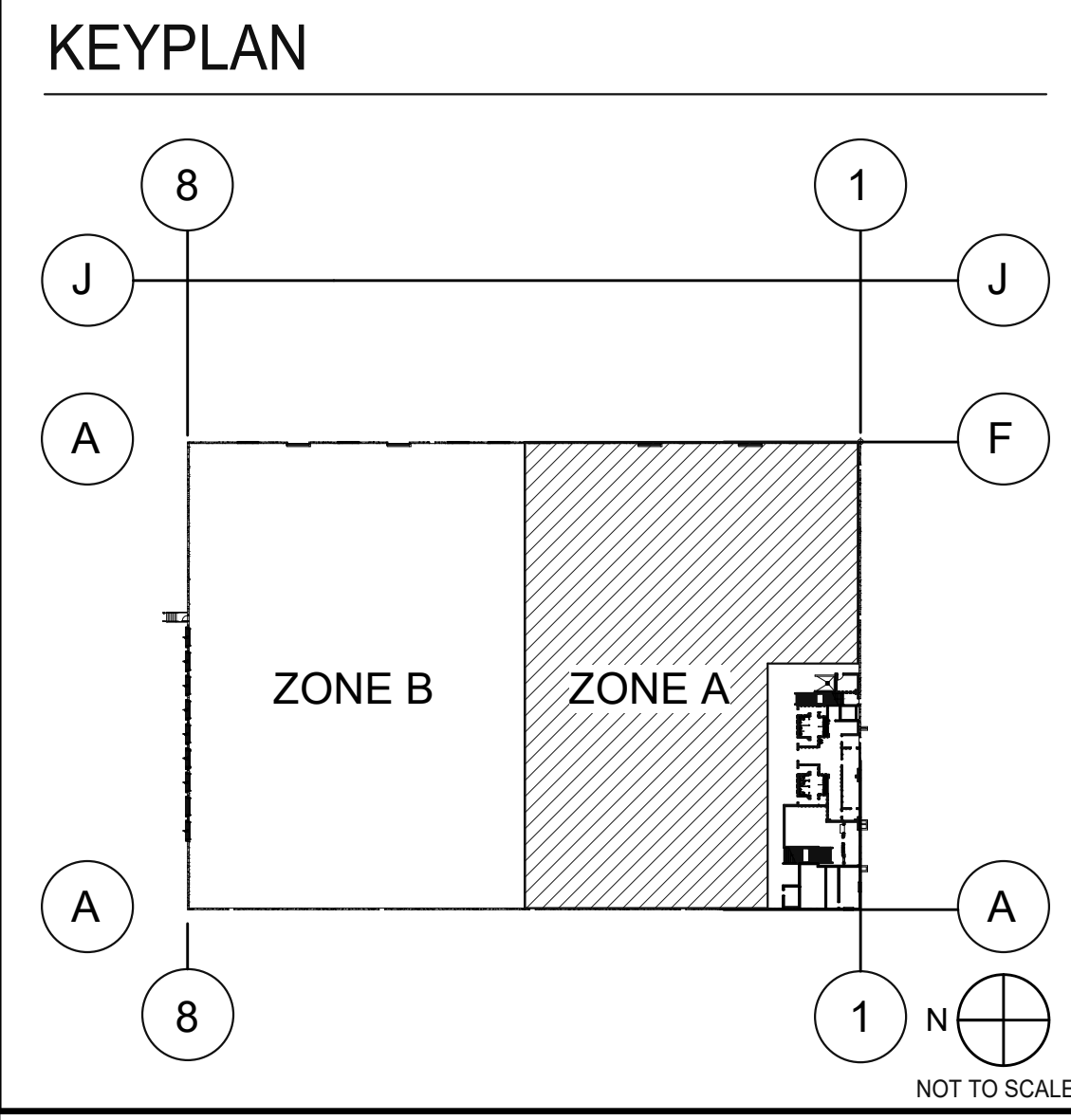
OVERALL FLOOR AND COORDINATION PLAN	
REMARKS	
DATE	06/29/2021
PLANNING SUBMITTAL	
PA/PM:	A.JAFF
DRAWN BY:	O.M.J.J.B.
JOB NO.:	DAL20-0069-00
SHEET	
A1.11	



- KEYNOTES :**
- SEE SHEETS G0.2 & G0.2a FOR GENERAL NOTES
 - 201 STRUCTURAL STEEL COLUMN, GRAY PRIMED, TYP. PAINT COLUMN SAFETY YELLOW TO 12' AFF
 - 202 PROVIDE A 10-MIL VAPOR RETARDER EQUAL TO STREGO WRAP CLASS A UNDER SLABS ON-GRADE BELOW OFFICE AREAS ONLY UNLESS DIRECTED OTHERWISE BY THE GEOTECHNICAL ENGINEER. SEAMS SHALL BE LAPPED AND TAPED USING MANUFACTURER APPROVED TAPE. VAPOR RETARDER SHALL EXTEND A MINIMUM OF 4'-0" FROM EDGE OF OFFICE AREA AND ASSOCIATED SPACES (I.E., BREAK ROOM, RESTROOMS, TRAINING ROOM, ETC.)
 - 203 PAINTED TILT-UP CONCRETE PANEL, PAINT EXTERIOR PER EXTERIOR ELEVATIONS
 - 209 OUTLINE OF CANOPY ABOVE
 - 213 PANEL JOINT, TYPICAL UNLESS OTHERWISE NOTED.
 - 222 KNOCK-OUT PANEL FOR FUTURE WINDOWS OR DOORS.
 - 234 DSP ENTRANCE
 - 312 DOWNPOUT AND THROUGHWALL SCUPPER WITH OVERFLOW. SIZE AND NUMBER WITH SITE CONDITIONS. ALIGN W/ PANEL JOINT. PAINT TO MATCH TILT-UP PANEL. CONNECT TO STORMWATER SYSTEM.
 - 416 PAINTED HOLLOW METAL DOOR AND FRAME
 - 439 SIGNAGE AT EMERGENCY EXIT DOOR. SEE DETAIL 10/A0.8b.



- LEGEND**
- NOTE:** SEE STRUCTURAL DRAWINGS FOR METAL WALL STUD TABLE TO SELECT APPROPRIATE WALL STUD SIZE GAUGE & SPACING FOR WALL HEIGHT.
- PROVIDE SEMI-RECESSED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER BY LARSEN'S MANUFACTURING CO. CABINET TO BE ARCHITECTURAL SERIES VERTICAL DUO, STEEL WITH BAKED WHITE FINISH. EXTINGUISHER TO BE "MP10" 4A:80B:C. U.N.O. SEE 24 A5.21
 - PROVIDE WALL MOUNTED FIRE EXTINGUISHER, "MP10" BY LARSEN'S MANUFACTURING CO. 4A:80B:C WITH WALL HANGING BRACKET & SIGN.
 - PROVIDE 15.5LB HALOTRON WALL-MOUNTED FIRE EXTINGUISHER 2A:10B:C WITH BRACKET & SIGN.
 - CARD READER LOCATED BY SECURITY VENDOR. G.C. TO PROVIDE POWER TO ALL LOCATIONS AND CONDUIT PULL STRING AT HARD WALL LOCATIONS FOR SECURITY VENDOR DATA LINES. SEE SPECIFICATIONS AND SECURITY DRAWINGS FOR MORE INFO.
 - NEW CHILLED WATER COOLER FOR WAREHOUSE. PROVIDE POWER, AND PLUMBING LINE WITH VALVE AS REQUIRED. SEE PLUMBING AND ELECTRICAL DRAWINGS. FINAL NUMBER AND LOCATION TBD.
 - ELECTRIC WATER HEATER - SEE PLUMBING DRAWINGS.
 - EQUIPMENT TAG - SEE EQUIPMENT SCHEDULE ON THIS SHEET
 - DOOR TAG - SEE DOOR SCHEDULE ON SHEETS A6 SERIES
 - WALL TAG - SEE PARTITION TYPE LEGEND ON DETAIL IX.XX
 - WINDOW TAG - SEE WINDOW ELEVATIONS ON SHEET AX.XX



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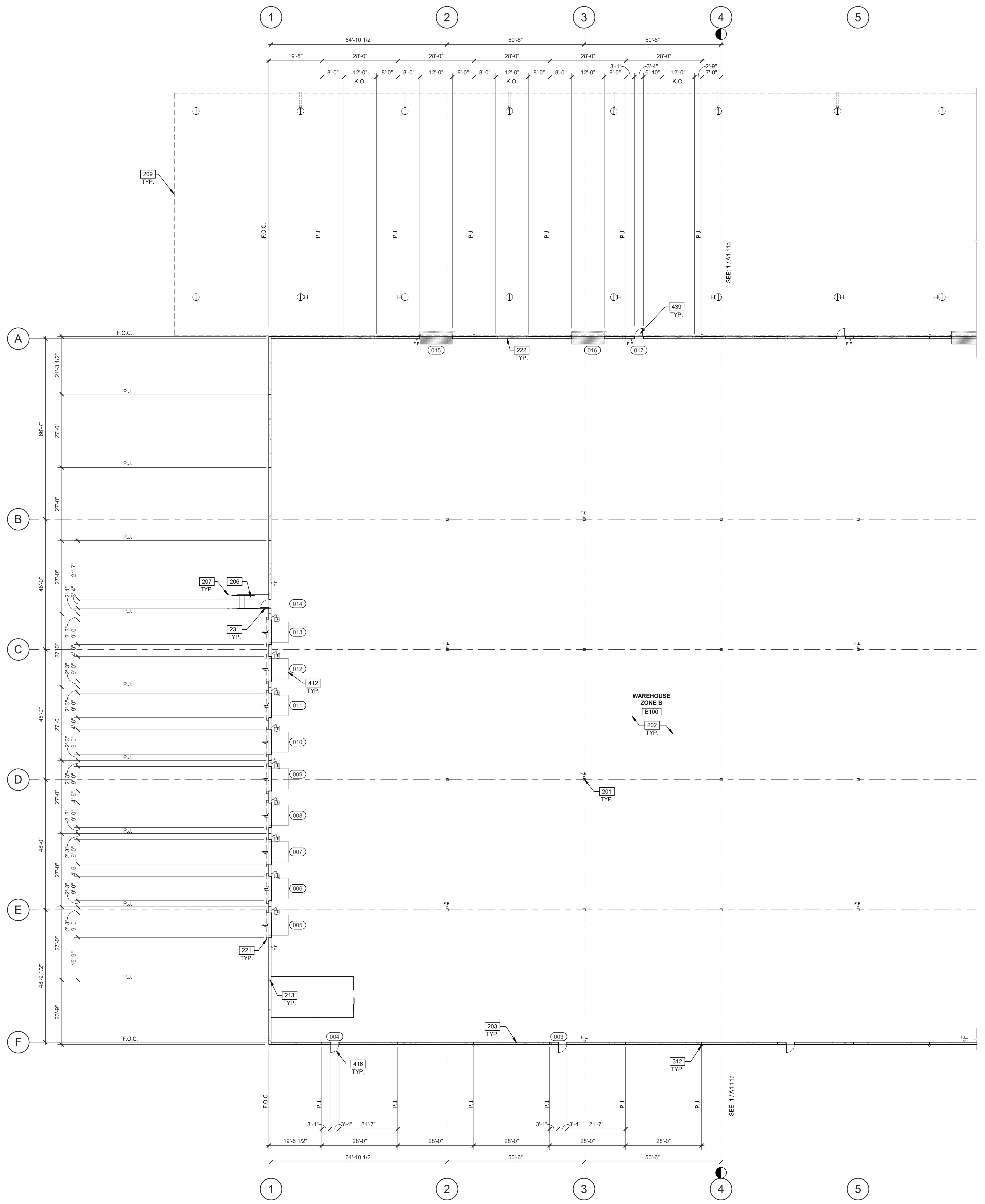
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PARTIAL FLOOR PLAN - ZONE A

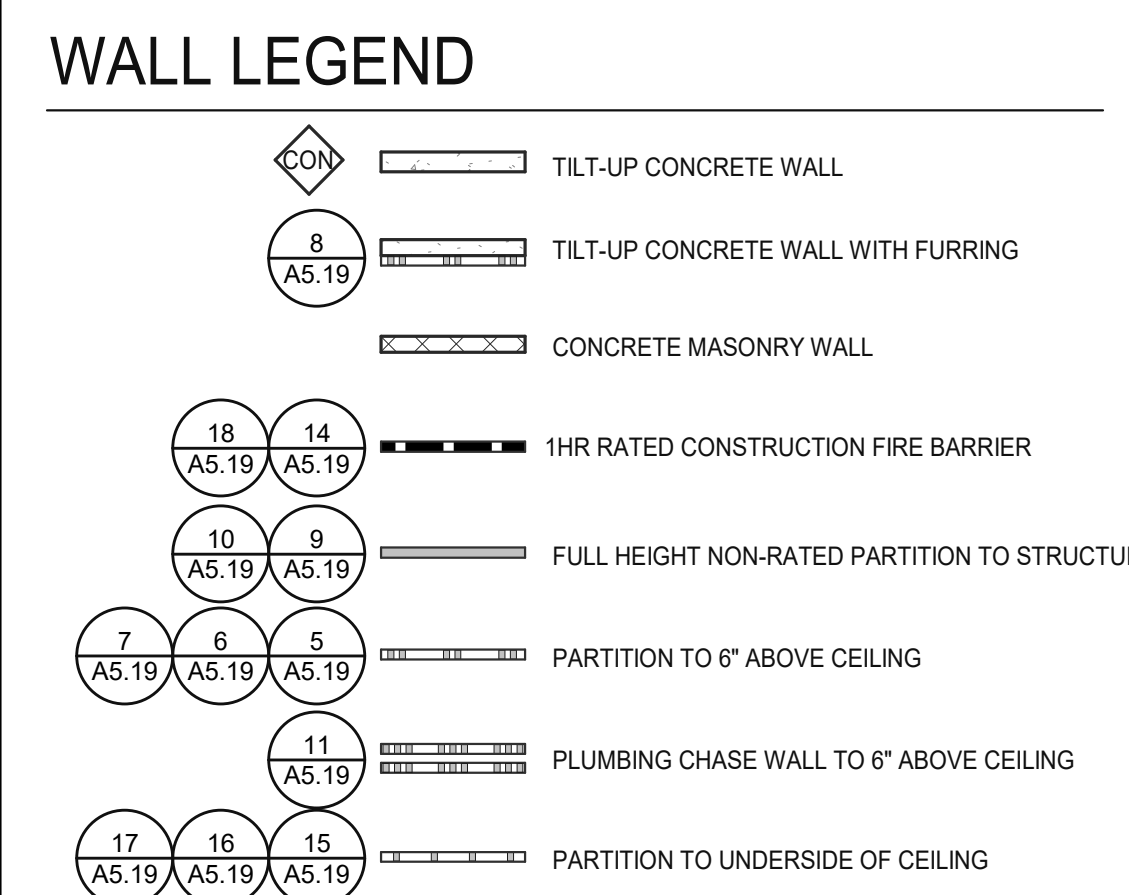
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JOB NO.:	DAL20-0069-00

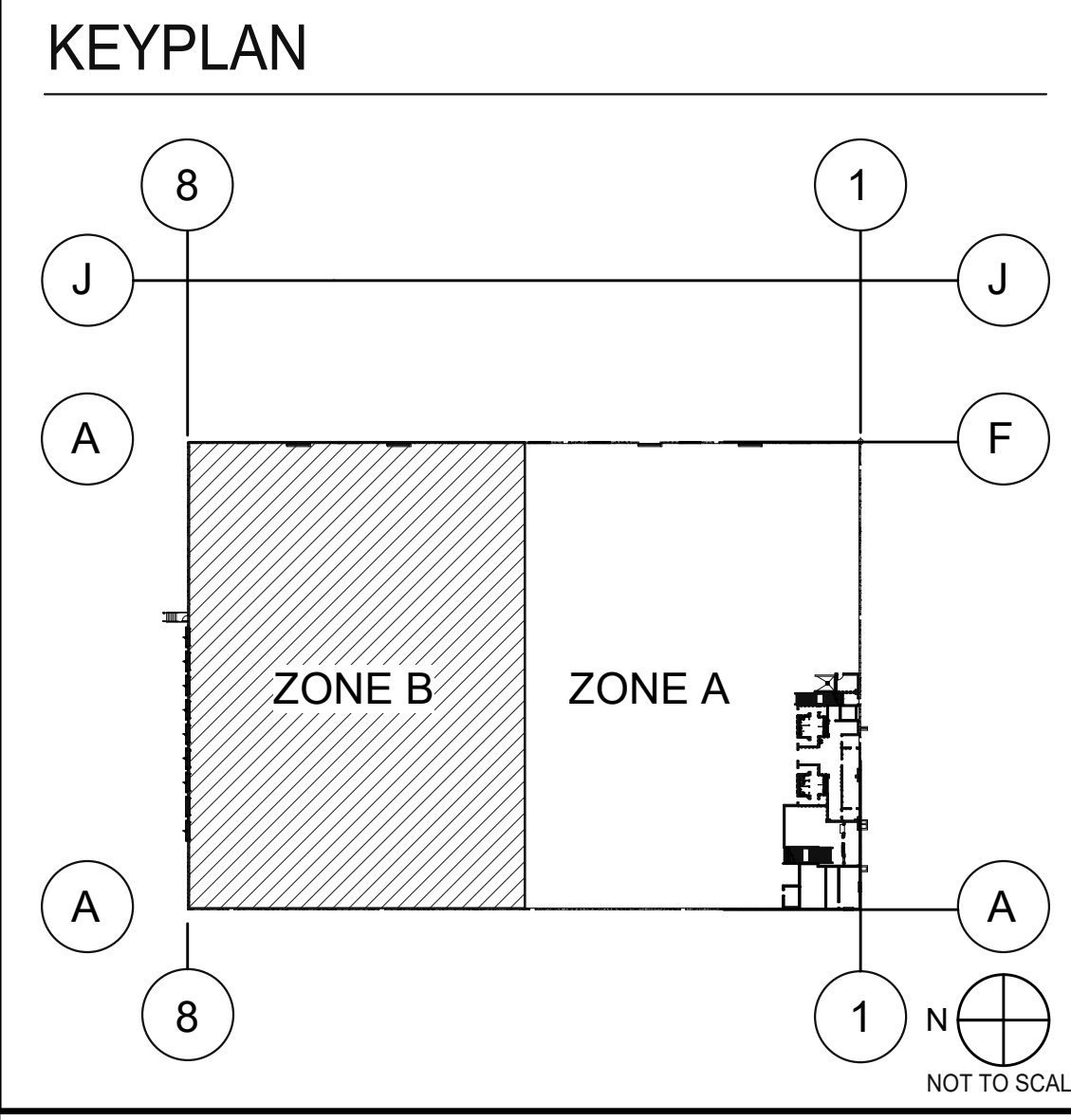
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A1.11a
NOT TO SCALE



- KEYNOTES :**
- SEE SHEETS G0 2 & G0 2a FOR GENERAL NOTES
- 201 STRUCTURAL STEEL COLUMN, GRAY PRIMED, TYP. PAINT COLUMN SAFETY YELLOW TO 12' AFF
 - 202 PROVIDE A 10MIL VAPOR RETARDER EQUAL TO STREGO W/RAP CLASS A UNDER GLASS-ON-GRADE BELOW OFFICE AREAS ONLY UNLESS DIRECTED OTHERWISE BY THE GEOTECHNICAL ENGINEER. SEAMS SHALL BE LAPPED AND TAPED USING MANUFACTURER APPROVED TAPE. VAPOR RETARDER SHALL EXTEND A MINIMUM OF 4'-0" FROM EDGE OF OFFICE AREA AND ASSOCIATED SPACES (I.E., BREAK ROOM, RESTROOMS, TRAINING ROOM ETC.)
 - 203 PAINTED TILT-UP CONCRETE PANEL, PAINT EXTERIOR PER EXTERIOR ELEVATIONS.
 - 206 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED.
 - 207 6" DIAMETER CONCRETE FILLED GALVANIZED STEEL PIPE BOLLARD, PRIME PAINTED WITH SAFETY YELLOW PLASTIC SLEEVES, 7' LONG WITH 3" EMBEDMENT INTO CONCRETE FOOTING.
 - 209 OUTLINE OF CANOPY ABOVE.
 - 213 PANEL JOINT, TYPICAL UNLESS OTHERWISE NOTED.
 - 221 SECTIONAL OVERHEAD TRUCK DOCK DOOR (INSULATED) WITH BUMPERS AND DOCK SEAL, PRE-PRIMED, PAINT PER LEGEND.
 - 222 KNOCK-OUT PANEL FOR FUTURE WINDOWS OR DOORS.
 - 231 TDR DOOR.
 - 312 DOWNSCUT AND THROUGHWALL SCUPPER WITH OVERFLOW, SIZE AND NUMBER WITH SITE CONDITIONS. ALIGN W/ PANEL JOINT, PAINT TO MATCH TILT-UP PANEL. CONNECT TO STORMWATER SYSTEM.
 - 412 HYDRAULIC DOCK LEVELER, PIT STYLE LEVELER.
 - 416 PAINTED HOLLOW METAL DOOR AND FRAME.
 - 439 SIGNAGE AT EMERGENCY EXIT DOOR, SEE DETAIL 10/A0.8b.



- LEGEND**
- NOTE:** SEE STRUCTURAL DRAWINGS FOR METAL WALL STUD TABLE TO SELECT APPROPRIATE WALL STUD SIZE GAUGE & SPACING FOR WALL HEIGHT.
- F.E.C. PROVIDE SEMI-RECESSED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER BY LARSEN'S MANUFACTURING CO. CABINET TO BE ARCHITECTURAL SERIES VERTICAL DUO, STEEL WITH BAKED WHITE FINISH, EXTINGUISHER TO BE "MP10" 4A:80B:C. U.N.O. SEE 24/A5.21
 - I.F.E. PROVIDE WALL MOUNTED FIRE EXTINGUISHER, "MP10" BY LARSEN'S MANUFACTURING CO. 4A:80B:C. WITH WALL HANGING BRACKET & SIGN.
 - H.F.E. PROVIDE 15.5LB HALOTRON WALL-MOUNTED FIRE EXTINGUISHER 2A:10B:C WITH BRACKET & SIGN.
 - CR CARD READER LOCATED BY SECURITY VENDOR, G.C. TO PROVIDE POWER TO ALL LOCATIONS AND CONDUIT PULL STRING AT HARD WALL LOCATIONS FOR SECURITY VENDOR DATA LINES. SEE SPECIFICATIONS AND SECURITY DRAWINGS FOR MORE INFO.
 - W NEW CHILLED WATER COOLER FOR WAREHOUSE. PROVIDE POWER, AND PLUMBING LINE WITH VALVE AS REQUIRED. SEE PLUMBING AND ELECTRICAL DRAWINGS. FINAL NUMBER AND LOCATION TBD.
 - EW H ELECTRIC WATER HEATER - SEE PLUMBING DRAWINGS.
 - # EQUIPMENT TAG - SEE EQUIPMENT SCHEDULE ON THIS SHEET
 - ## DOOR TAG - SEE DOOR SCHEDULE ON SHEETS A6 SERIES
 - ◇ WALL TAG - SEE PARTITION TYPE LEGEND ON DETAIL IX.XX
 - ⊗ WINDOW TAG - SEE WINDOW ELEVATIONS ON SHEET AX.XX



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PARTIAL FLOOR PLAN- ZONE B

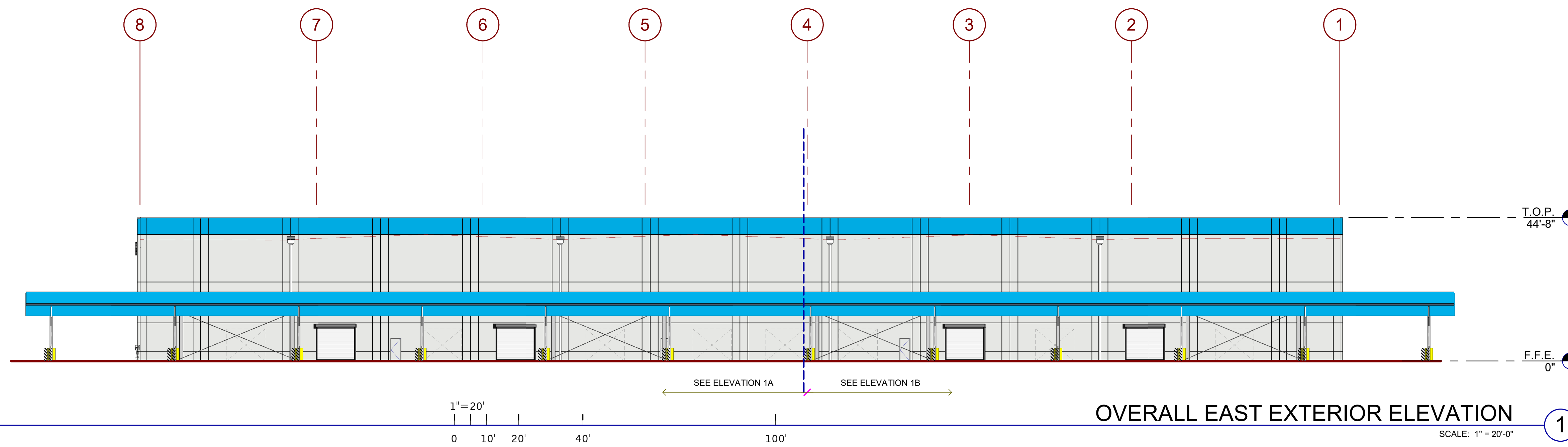
DATE	REVISIONS
06/29/2021	PLANNING SUBMITTAL

DATE: 06/29/2021
REVISIONS: PLANNING SUBMITTAL

PA/PM: A.JAFF
DRAWN BY: O.M.J.J.B.
JOB NO.: DAL20-0069-00

SHEET
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GENERAL NOTES

- SEE SHEET G0.2 & G0.2a FOR GENERAL NOTES
- A. SEE PLANS AND WALL SECTIONS FOR ROUGH OPENING LOCATION AND WINDOW TYPES.
- B. SEE A8.10 FOR WINDOW TYPES.
- C. ALL STOREFRONT GLAZING TO BE INSULATED GLAZING TYPE, UNLESS NOTED OTHERWISE.
- D. VERIFY WITH AHJ FOR SITE REQUIREMENT FOR TEMPERED INSULATED GLAZING BEFORE IMPLEMENTING.
- E. ALL FIXED INSULATED GLAZING SHALL BE CERTIFIED & LABELED WITH ITS MAX U-FACTOR & SOLAR HEAT GAIN COEFFICIENT BY AN INDEPENDENT AGENCY LICENSED BY THE MFR. IN COMPLIANCE WITH THE VALUES LISTED IN THE DESIGN CRITERIA. PROVIDE AND COORDINATE KNOCKBOX LOCATION WITH FIRE DEPARTMENT AND ARCHITECT PRIOR TO INSTALL.
- F. ALL VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR, UNLESS NOTED OTHERWISE.
- G. CHANGE IN PAINT COLOR OCCURS AT BACK OF REVEAL, TYP, UNLESS NOTED OTHERWISE.
- H. CHANGE IN PAINT COLOR OCCURS AT BACK OF REVEAL, TYP, UNLESS NOTED OTHERWISE.
- I. ALUMINUM DOOR TO MATCH STOREFRONT SYSTEM, TYP. SEE DOOR SCHEDULE.

KEYNOTES :

- 221 SECTIONAL OVERHEAD TRUCK DOCK DOOR (INSULATED) WITH BUMPERS AND DOCK SEAL, PRE-PRIMED, PAINT PER LEGEND.
- 312 DOWNSPOUT AND THROUGHWALL SCUPPER WITH OVERFLOW. SIZE AND NUMBER WITH SITE CONDITIONS. ALIGN W/ PANEL JOINT. PAINT TO MATCH TILT-UP PANEL. CONNECT TO STORMWATER SYSTEM.
- 401 CONCRETE TILT WALL PANEL, PAINTED.
- 402 V-REVEAL.
- 403 CONCRETE WALL JOINT.
- 404 ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS, DARK BRONZE ANODIZED ALUMINUM MILIONS.
- 405 METAL CANOPY, PER DESIGN CRITERIA.
- 406 PRE-FINISHED METAL COPING, MFRS STANDARD COLOR TO MATCH PAINT PT-1.
- 408 FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT.
- 415 LINE OF ROOF BEYOND.
- 416 PAINTED HOLLOW METAL DOOR AND FRAME.
- 423 COILING OVERHEAD LOAD OUT DOOR (INSULATED), PRIMED AND FIELD PAINTED, PAINT - REFER TO COLOR LEGEND.
- 425 KNOCKOUT PANEL FOR FUTURE DRIVE-IN DOOR.
- 434 AREA OF FUTURE TENANT SIGNAGE.
- 437 ALUMINUM LOUVER, PRIMED, FIELD FINISH TO MATCH PANEL.

LEGEND

MATERIALS:

METAL CANOPY, PAINTED PANTONE, 2995C

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

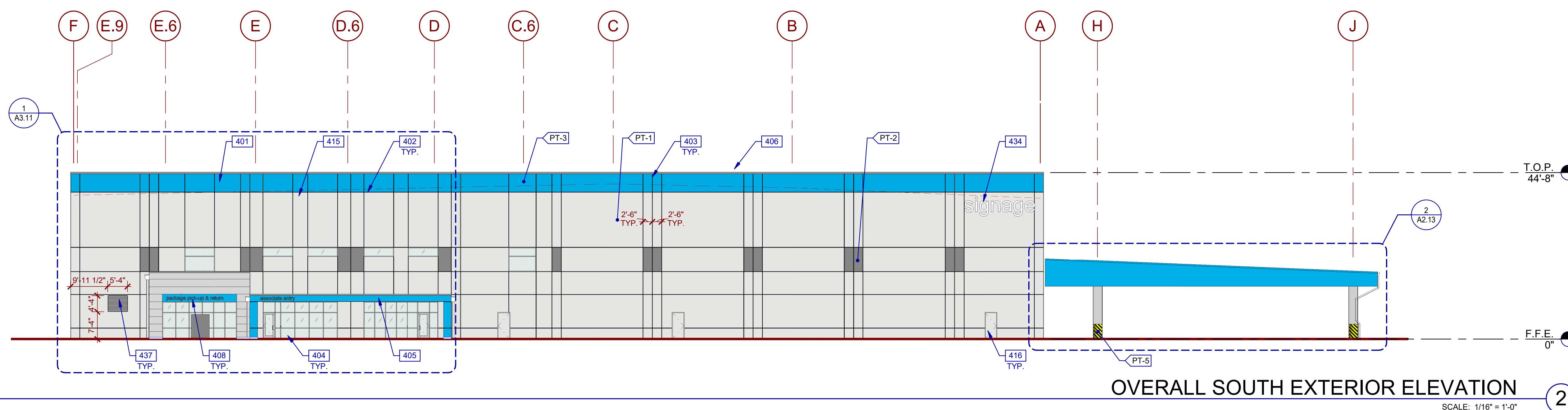
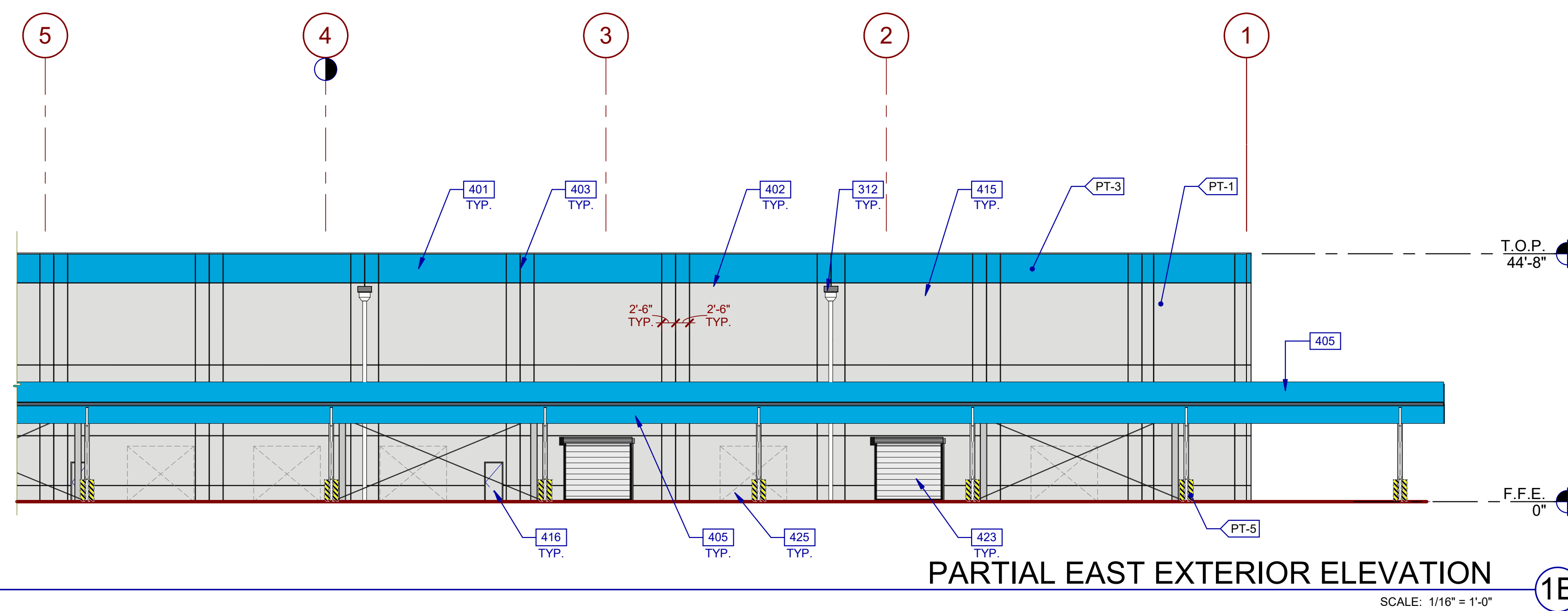
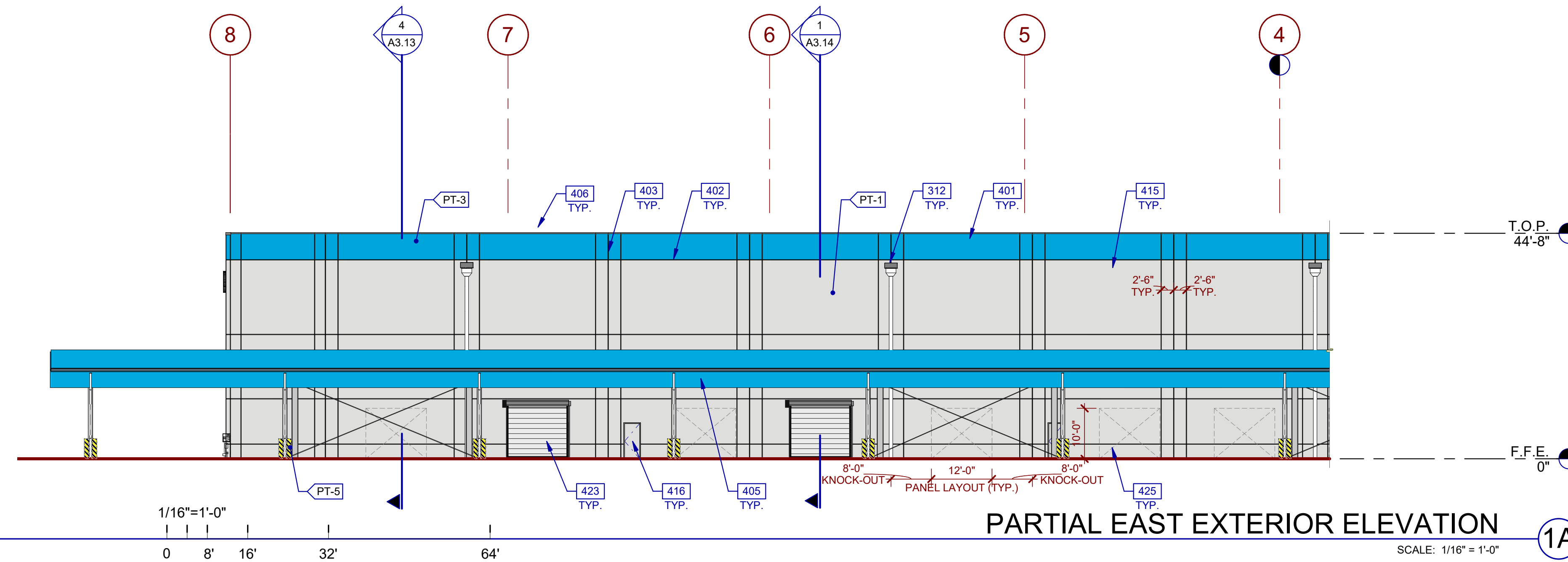
COLORS:

PROVIDE 6"-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- ANODIZED ALUMINUM STOREFRONT SYSTEM
- SECONDARY COLOR - PT-1 MANUFACTURER: SHERWIN WILLIAMS COLOR/NO: NEBULOUS WHITE / SW 7063
- ACCENT COLOR - PT-2 MANUFACTURER: SHERWIN WILLIAMS COLOR/NO: GRAY MATTERS / SW7066
- ACCENT COLOR - PT-3 MANUFACTURED: SHERWIN WILLIAMS COLOR/NO: TENANT BLUE, PANTONE /2995 C
- BASE COLOR PT-4 MANUFACTURER: STANDARD COLOR/NO: BRIGHT WHITE
- OSHA CAUTION YELLOW/ COLUMN BASE AND BLACK DIAGONAL STRIPES COLUMN PROTECTION

NOTE: SEPARATE EXTERIOR PAINT SCHEDULE AND AN INTERIOR PAINT SCHEDULE IS PROVIDED. REFER TO A2.1 AND A2.2 FOR EACH SCHEDULE. REFER TO CRITERIA FOR MORE INFORMATION.

EXTERIOR PAINT COLOR BASIS OF DESIGN IS SHERWIN WILLIAMS. ACCEPTABLE MANUFACTURERS ARE SHERWIN WILLIAMS, BENJAMIN MOORE, OR PPG.



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 civil engineering
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 720.661.4789

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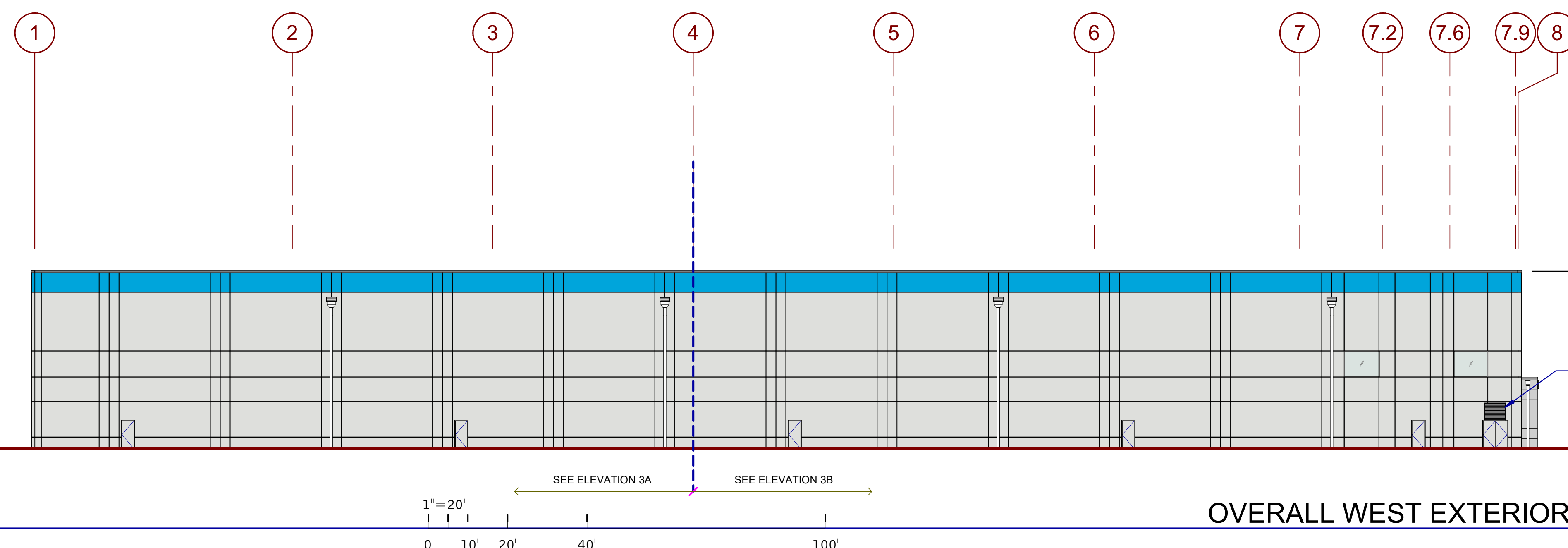
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CONCORD
 555 SALLY RIDE DR.
 CONCORD, CALIFORNIA 94520

EXTERIOR ELEVATIONS	
DATE	REVISIONS
06/29/2021	PLANNING SUBMITTAL

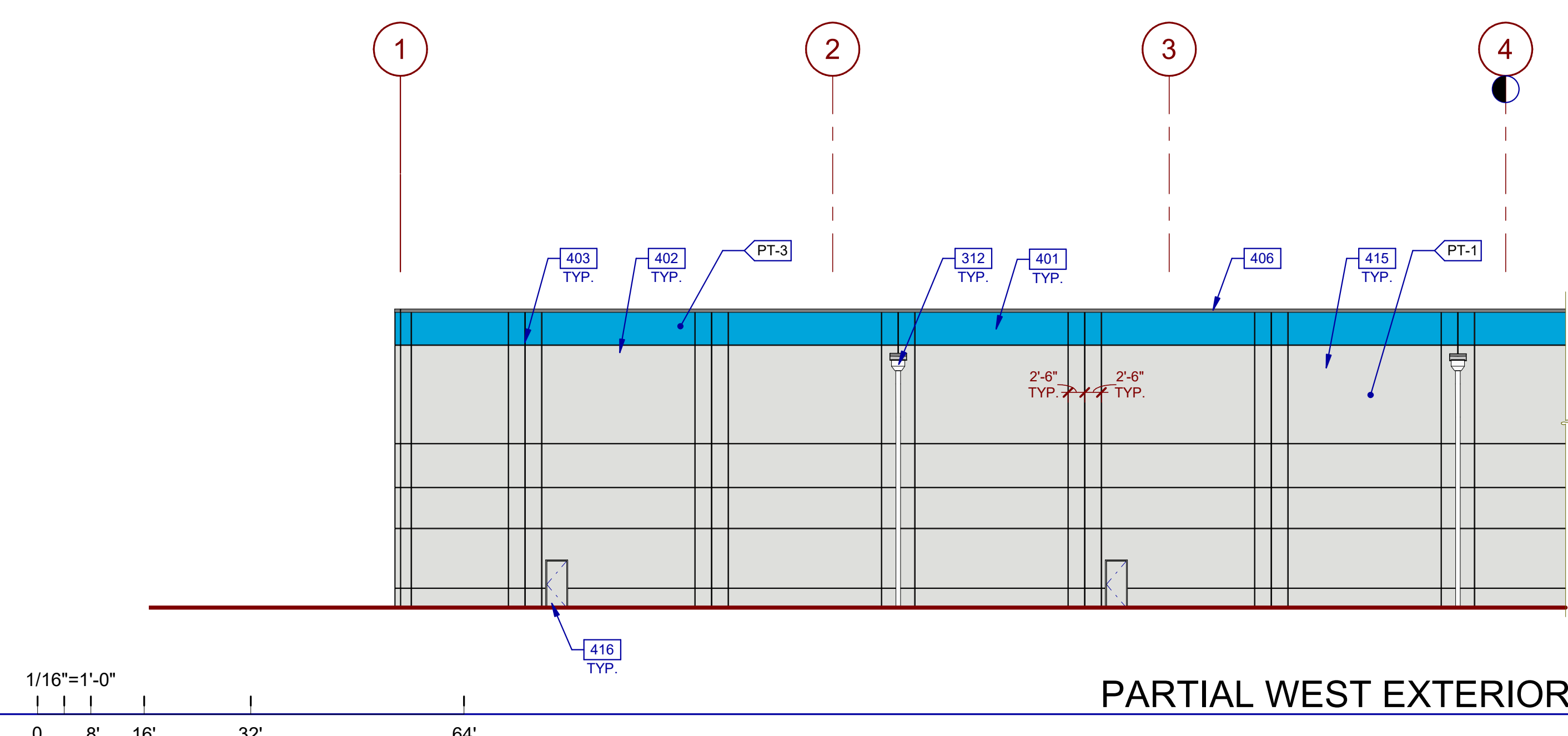
P/A/P/M: A.JAFF
 DRAWN BY: O.M.J.J.B.
 JOB NO.: DAL20-0069-00

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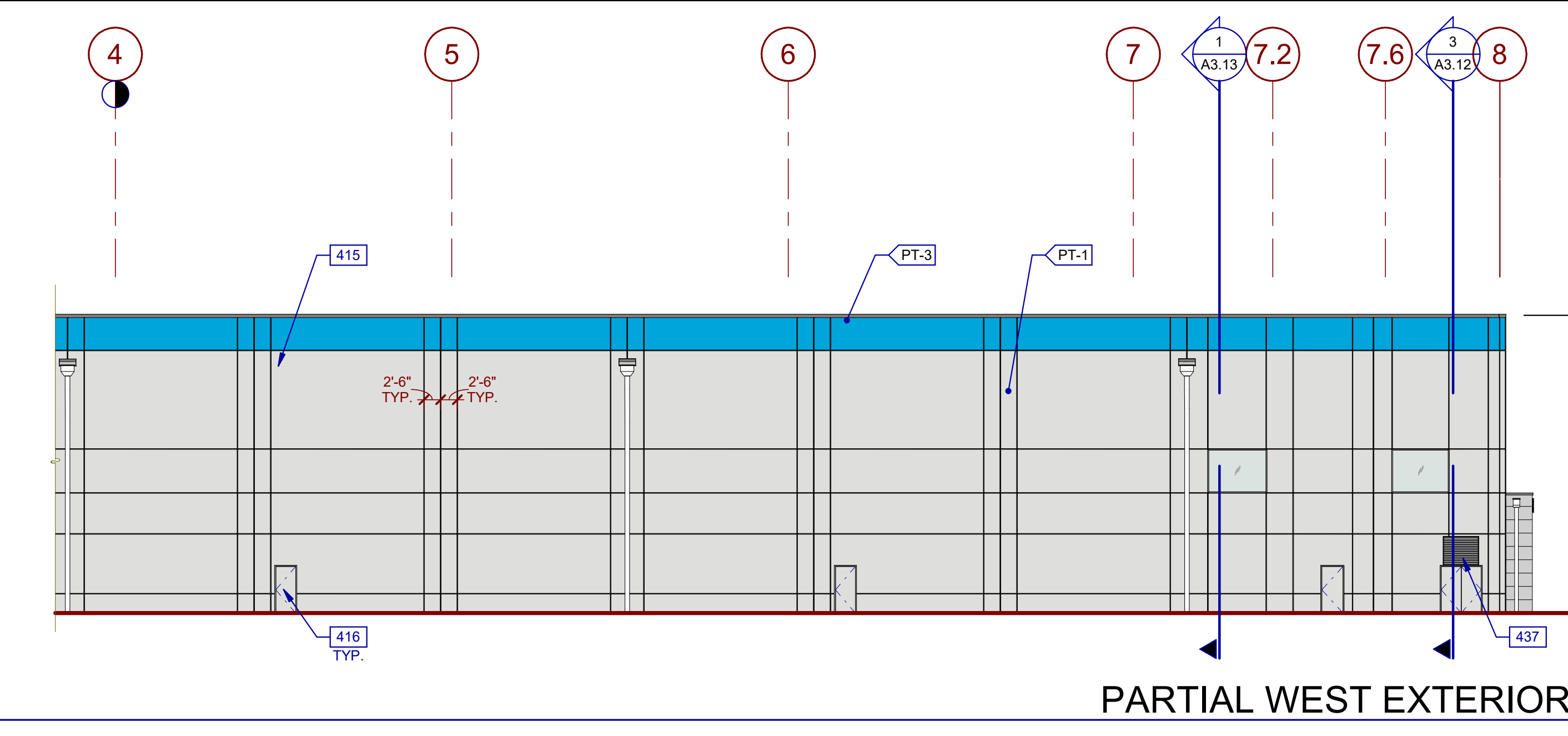
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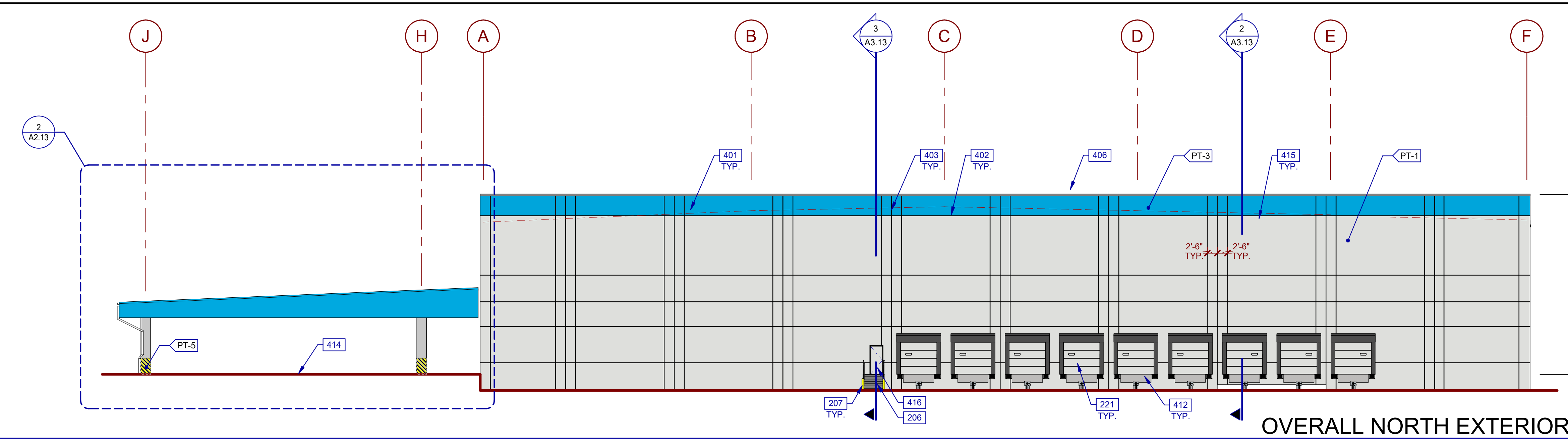
OVERALL WEST EXTERIOR ELEVATION 3



PARTIAL WEST EXTERIOR ELEVATION 3A



PARTIAL WEST EXTERIOR ELEVATION 3B



OVERALL NORTH EXTERIOR ELEVATION 4

GENERAL NOTES

- SEE SHEET G0.2 & G0.2a FOR GENERAL NOTES
- A. SEE PLANS AND WALL SECTIONS FOR ROUGH OPENING LOCATION AND WINDOW TYPES.
- B. SEE A6.10 FOR WINDOW TYPES.
- C. ALL STOREFRONT GLAZING TO BE INSULATED GLAZING TYPE, UNLESS NOTED OTHERWISE.
- D. VERIFY WITH AHJ FOR SITE REQUIREMENT FOR TEMPERED INSULATED GLAZING BEFORE IMPLEMENTING.
- E. ALL FIXED INSULATED GLAZING SHALL BE CERTIFIED & LABELED WITH ITS MAX U-FACTOR & SOLAR HEAT GAIN COEFFICIENT BY AN INDEPENDENT AGENCY LICENSED BY THE MFR. IN COMPLIANCE WITH THE VALUES LISTED IN THE DESIGN CRITERIA.
- F. PROVIDE AND COORDINATE KNOXBOX LOCATION WITH FIRE DEPARTMENT AND ARCHITECT PRIOR TO INSTALL.
- G. ALL VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR, UNLESS NOTED OTHERWISE.
- H. CHANGE IN PAINT COLOR OCCURS AT BACK OF REVEAL, TYP, UNLESS NOTED OTHERWISE.
- I. ALUMINUM DOOR TO MATCH STOREFRONT SYSTEM, TYP. SEE DOOR SCHEDULE.

KEYNOTES :

- 206 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED.
- 207 6" DIAMETER CONCRETE FILLED GALVANIZED STEEL PIPE BOLLARD, PRIME PAINTED WITH SAFETY YELLOW PLASTIC SLEEVES, 7' LONG WITH 3" EMBEDMENT INTO CONCRETE FOOTINGS.
- 221 SECTIONAL OVERHEAD TRUCK DOCK DOOR (INSULATED) WITH BUMPERS AND DOCK SEAL, PRE-PRIMED, PAINT PER LEGEND.
- 312 DOWNSPOUT AND THROUGHWALL SCUPPER WITH OVERFLOW, SIZE AND NUMBER WITH SITE CONDITIONS, ALIGN W/ PANEL JOINT, PAINT TO MATCH TILT UP PANEL, CONNECT TO STORMWATER SYSTEM.
- 401 CONCRETE TILT WALL PANEL, PAINTED.
- 402 V-REVEAL.
- 403 CONCRETE WALL JOINT.
- 406 PRE-FINISHED METAL COPING, MFRS STANDARD COLOR TO MATCH PAINT PT-1.
- 412 HYDRAULIC DOCK LEVELER, PIT STYLE LEVELER.
- 414 FINISH GRADE VARIES. SEE CIVIL DWGS.
- 415 LINE OF ROOF BEYOND.
- 416 PAINTED HOLLOW METAL DOOR AND FRAME.
- 437 ALUMINUM LOUVER, PRIMED, FIELD FINISH TO MATCH PANEL.

LEGEND

MATERIALS:

- METAL CANOPY, PAINTED PANTONE, 2995C

GLASS:

- VISION GLASS
- SPANDREL GLASS
- TEMPERED GLASS

COLORS:

PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- ANODIZED ALUMINUM STOREFRONT SYSTEM
- SECONDARY COLOR - PT-1 MANUFACTURER: SHERWIN WILLIAMS COLOR/NO: NEBULOUS WHITE / SW 7063
- ACCENT COLOR - PT-2 MANUFACTURER: SHERWIN WILLIAMS COLOR/NO: GRAY MATTERS / SW7066
- ACCENT COLOR - PT-3 MANUFACTURER: SHERWIN WILLIAMS COLOR/NO: TENANT BLUE, PANTONE (2995 C
- BASE COLOR PT-4 MANUFACTURER: STANDARD COLOR/NO: BRIGHT WHITE
- OSHA CAUTION YELLOW/ COLUMN BASE AND BLACK DIAGONAL STRIPES COLUMN PROTECTION

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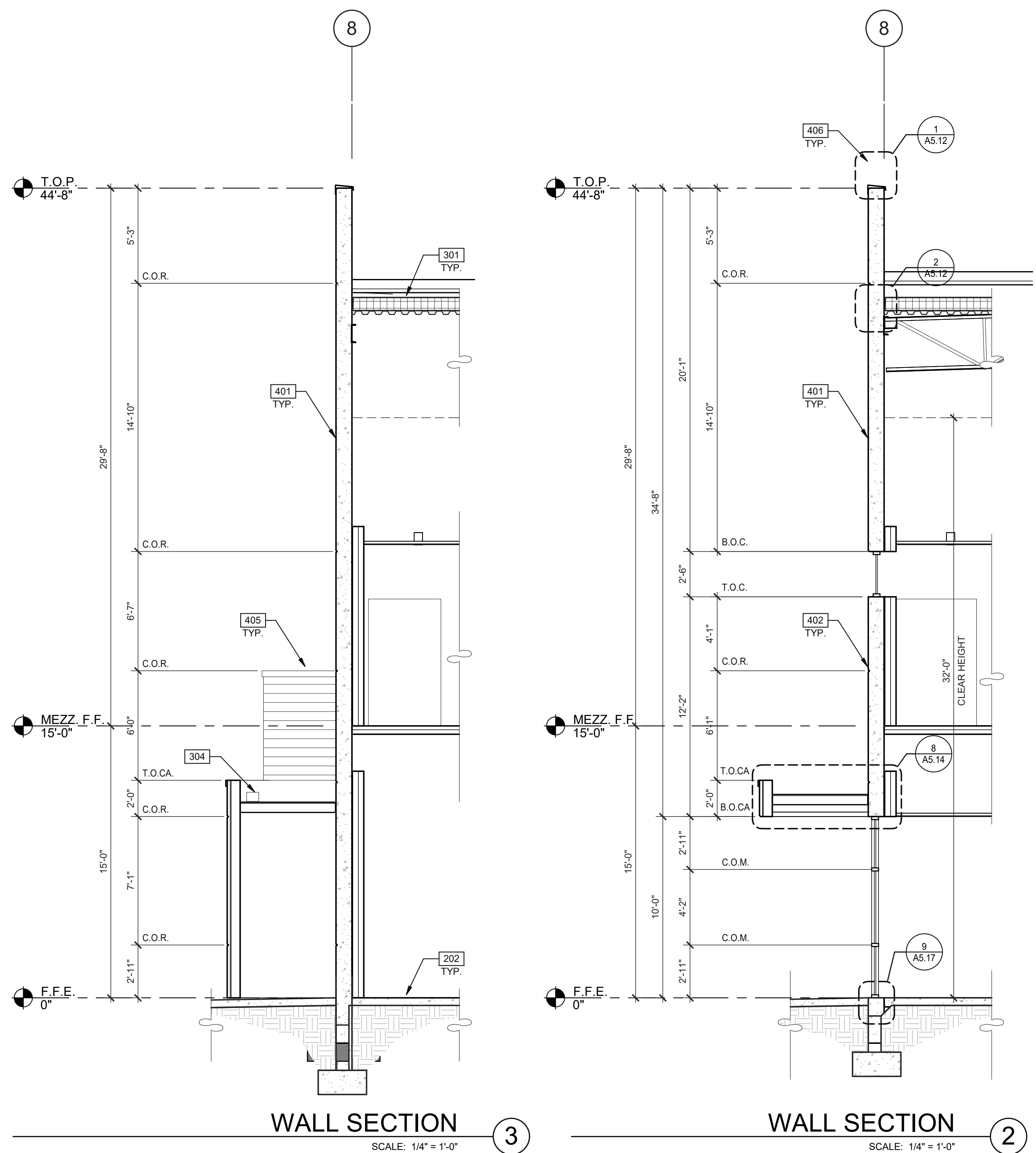
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EXTERIOR ELEVATIONS	
DATE	REMARKS
06/29/2021	PLANNING SUBMITTAL

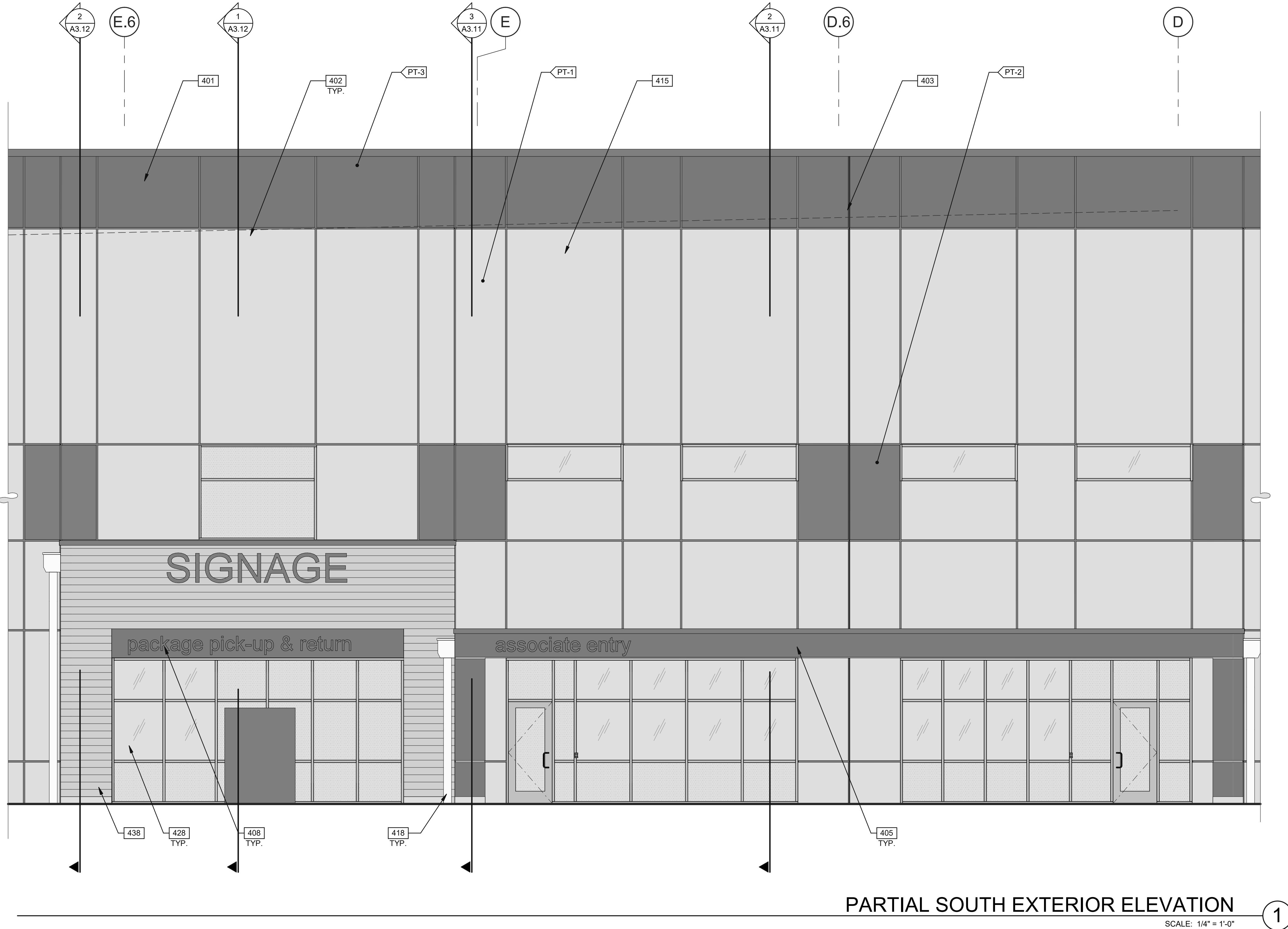
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JOB NO.:	DAL20-0069-00

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WALL SECTION 3
SCALE: 1/4" = 1'-0"

WALL SECTION 2
SCALE: 1/4" = 1'-0"



PARTIAL SOUTH EXTERIOR ELEVATION 1
SCALE: 1/4" = 1'-0"

GENERAL NOTES

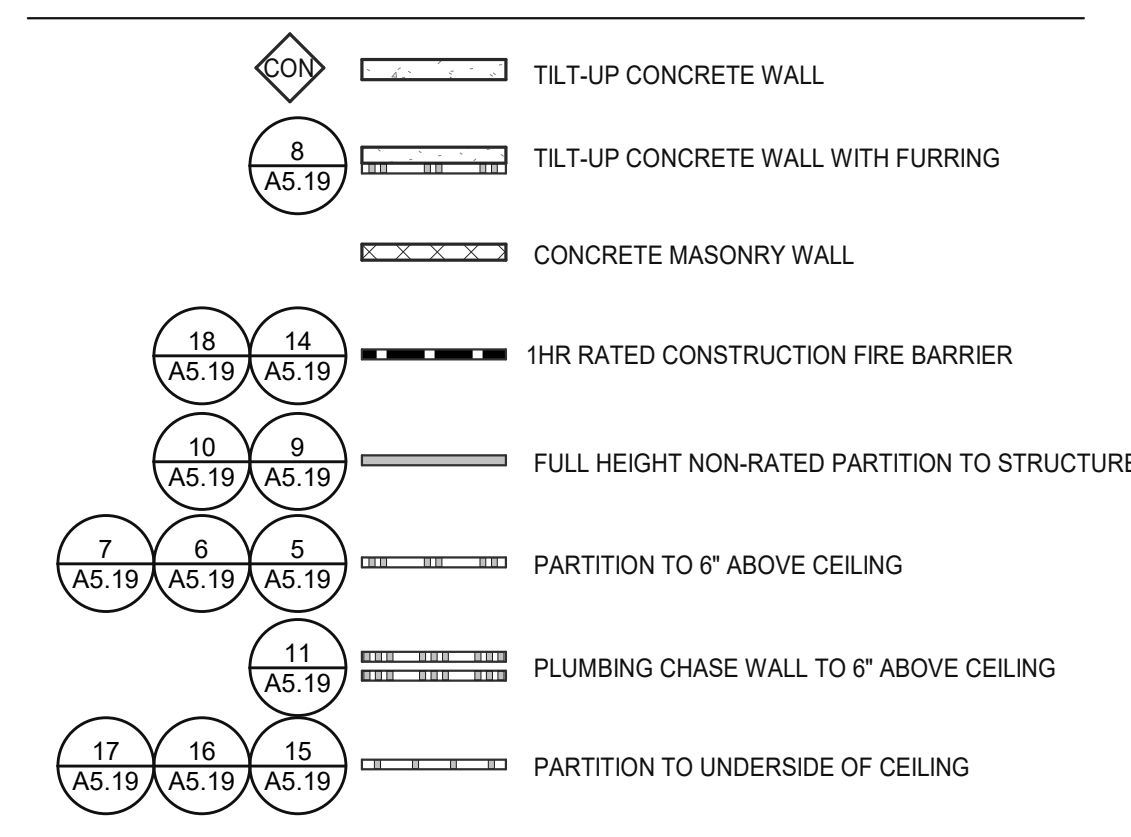
SEE SHEETS G0.2 & G0.2a FOR GENERAL NOTES

KEYNOTES:

SEE SHEETS G0.2 & G0.2a FOR GENERAL NOTES

- 202 PROVIDE A 10-MIL VAPOR RETARDER EQUAL TO STREGO WRAP CLASS A UNDER SLABS-ON-GRADE BELOW OFFICE AREAS ONLY UNLESS DIRECTED OTHERWISE BY THE GEOTECHNICAL ENGINEER. SEAMS SHALL BE LAPPED AND TAPED USING MANUFACTURER APPROVED TAPE. VAPOR RETARDER SHALL EXTEND A MINIMUM OF 4'-0" FROM EDGE OF OFFICE AREA AND ASSOCIATED SPACES (I.E. BREAK ROOM, RESTROOMS, TRAINING ROOM, ETC.)
- 209 OUTLINE OF CANOPY ABOVE.
- 221 SECTIONAL OVERHEAD TRUCK DOCK DOOR (INSULATED) WITH BUMPERS AND DOCK SEAL, PRE-PRIMED, PAINT PER LEGEND.
- 301 60 MIL SINGLE-PLY ROOFING OVER RIGID INSULATION OVER METAL DECK.
- 304 OVERFLOW SCUPPER.
- 401 CONCRETE TILT WALL PANEL, PAINTED.
- 402 V-REVEAL.
- 403 CONCRETE WALL JOINT.
- 405 METAL CANOPY, PER DESIGN CRITERIA.
- 406 PRE-FINISHED METAL COPING, MFRS STANDARD COLOR TO MATCH PAINT PT-1.
- 408 FUTURE TENANT SIGNAGE, UNDER SEPARATE PERMIT.
- 415 LINE OF ROOF BEYOND.
- 418 PRE-FINISHED METAL SCUPPER, COLOR: PAINTED PVC DOWNSPOUT TO MATCH ADJACENT WALL, TIGHT-LINE DOWNSPOUT TO STORM LINE, REFER TO CIVIL DWGS.
- 428 CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM, TYP.
- 438 PREFINISHED METAL WALL PANEL WITH HORIZONTAL PROFILE.

WALL LEGEND



WALL TYPES

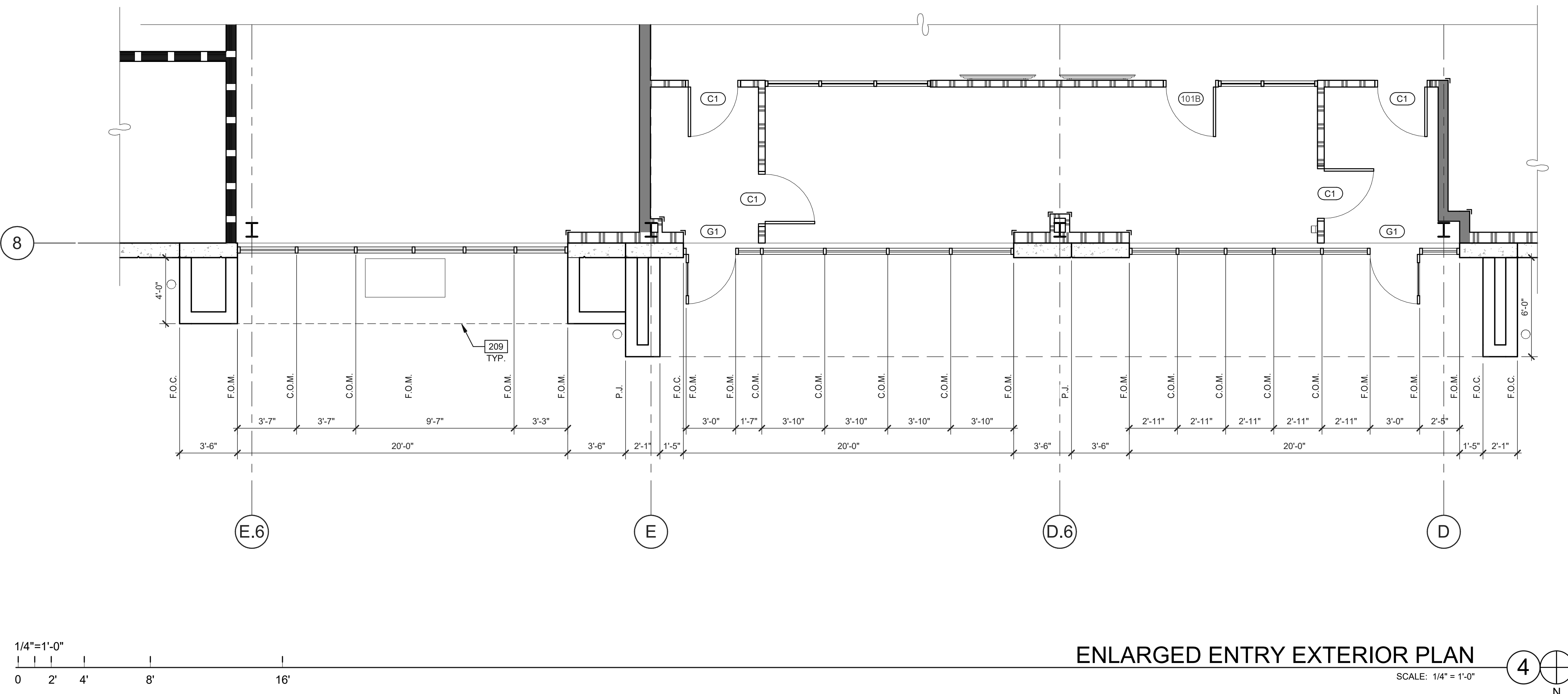
- ALL WALLS TO BE OF TYPE A-3 - U.O.N.
- SEE SHEET A&1 FOR WALL TYPES

LEGEND

- MATERIALS:**
- EXTERIOR ALUMINUM COMPOSITE METAL PANEL OVER METAL STUD WALL
 - EXTERIOR SMOOTH PLASTER FINISH WITH INTEGRAL COLOR OVER METAL STUD WALL
 - METAL CANOPY, PAINTED
- GLASS:**
- VISION GLASS
 - SPANDREL GLASS
 - TEMPERED GLASS

- COLORS:**
- PROVIDE 6'-0" WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- ANODIZED ALUMINUM STOREFRONT SYSTEM
 - SECONDARY COLOR - PT-1 MANUFACTURER: SHERWIN WILLIAMS COLOR/NO: NEBULOUS WHITE / SW 7063
 - ACCENT COLOR - PT-2 MANUFACTURER: SHERWIN WILLIAMS COLOR/NO: GRAY MATTERS / SW7066
 - ACCENT COLOR - PT-3 MANUFACTURER: SHERWIN WILLIAMS COLOR/NO: TENANT BLUE, PANTONE / 2995 C
 - BASE COLOR PT-4 MANUFACTURER: STANDARD COLOR/NO: BRIGHT WHITE
 - OSHA CAUTION YELLOW/ COLUMN BASE AND BLACK DIAGONAL STRIPES COLUMN PROTECTION

NOTE: SEPARATE EXTERIOR PAINT SCHEDULE AND AN INTERIOR PAINT SCHEDULE IS PROVIDED. REFER TO A2.10 AND A4.12 FOR EACH SCHEDULE. REFER TO CRITERIA FOR MORE INFORMATION.
EXTERIOR PAINT COLOR BASIS OF DESIGN IS SHERWIN WILLIAMS, ACCEPTABLE MANUFACTURERS ARE SHERWIN WILLIAMS, BENJAMIN MOORE, OR PPG.



ENLARGED ENTRY EXTERIOR PLAN 4
SCALE: 1/4" = 1'-0"

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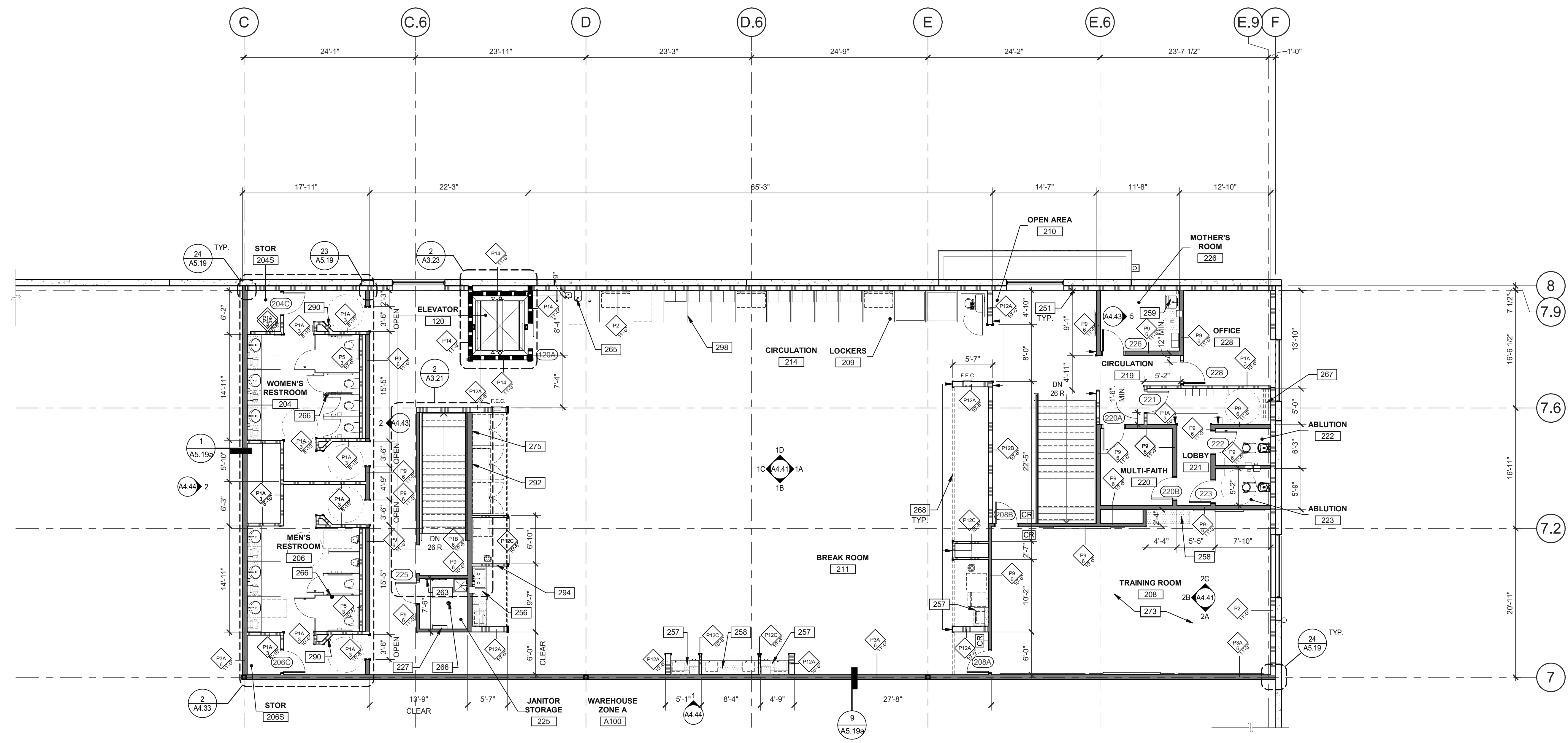
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CONCORD**
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ENLARGED ENTRY EXTERIOR ELEVATIONS

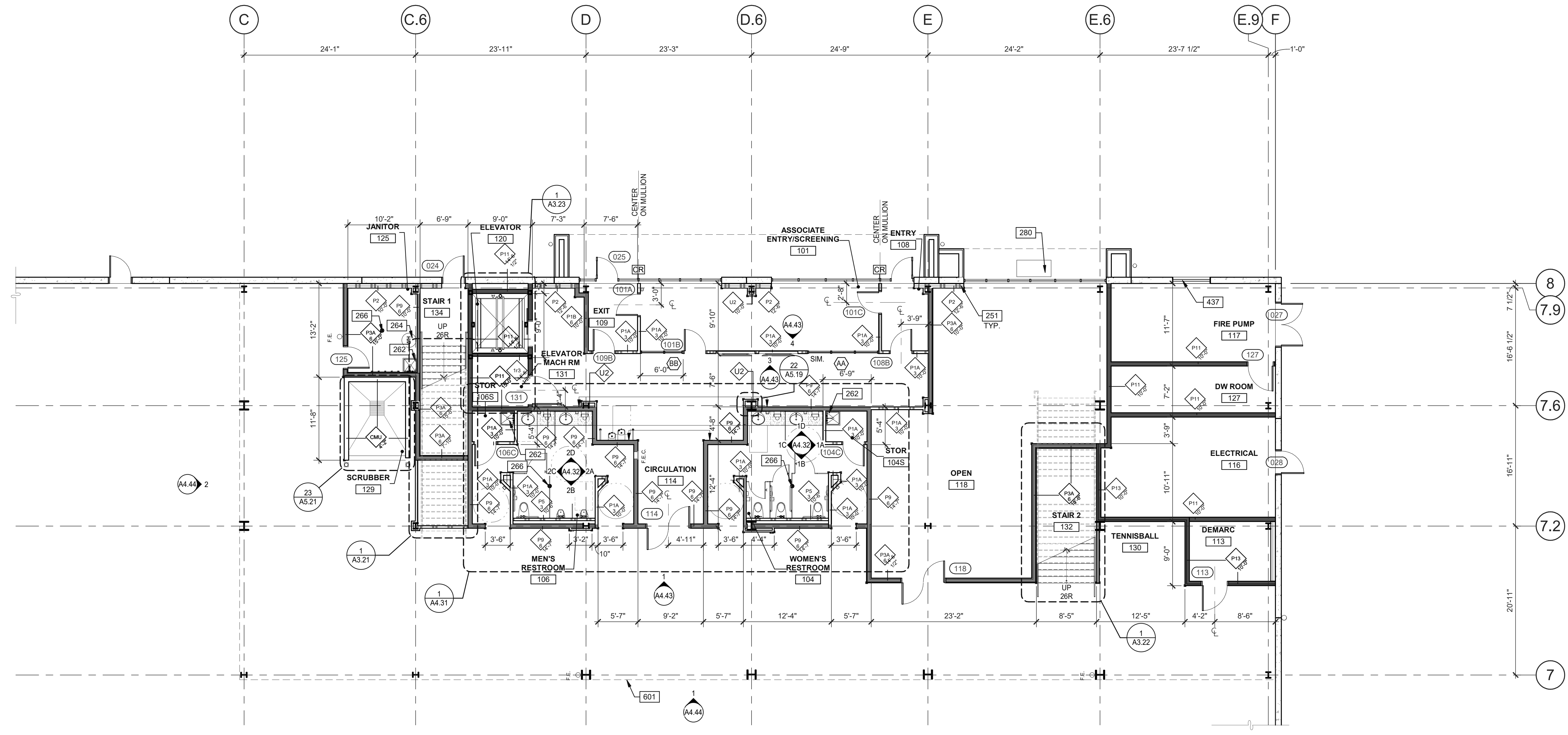
DATE	REVISIONS
06/29/2021 <td>PLANNING SUBMITTAL </td>	PLANNING SUBMITTAL

PA/PM: A.JAFF
DRAWN BY: O.M.J.J.B.
JOB NO.: DAL20-0069-00

SHEET
A3.11



MEZZANINE PLAN - MAIN OFFICE
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN - MAIN OFFICE
SCALE: 1/8" = 1'-0"

GENERAL NOTES

- SEE SHEETS G0.2 & G0.2a FOR GENERAL NOTES
- FOR METAL STUD SIZES AND SPACING SEE LIMITING WALL HEIGHT TABLE U240.
 - ALL RESTROOM WALL STUDS TO BE 6" AND FULLY INSULATED, U.O.N.
 - SEE KEYNOTE INFORMATION FOR ANY REQUIRED INSULATION.
 - CONTRACTOR SHALL PROVIDE RECORD DOCUMENTS AND PROVIDE SAID DOCUMENTATION TO TENANT CONSTRUCTION COORDINATOR OR ARCHITECT UPON COMPLETION.
 - CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS (IF ANY) AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - CONTRACT TO INCLUDE ALL FLOOR PREPARATIONS IN BASE BID.
 - ALL DRYWALL CORNERS AND COLUMN EDGES TO BE FINISHED WITH CORNER "L" BEAD. DIMENSIONS OF COLUMN FURRING IN A COMMON AREA ARE TO BE EQUAL DIMENSIONS WITH EDGES ALIGNED, U.O.N.
 - INTERIOR GYPSUM BOARD WALL SHALL CONFORM TO ICC REPORT ESR-1338
 - PROVIDE WALL STUD BACKING AT ALL CABINETS, TOILET FIXTURES, TOILET ACCESSORIES, WALL-MOUNTED EQUIPMENT, SIGNAGE, HANDRAILS, ETC. SEE DETAIL 20A5.19.
- A. ALL EXTERIOR WALLS TO BE TILT-UP CONCRETE PANEL, UNLESS NOTED OTHERWISE.
 B. REFER TO A5.19 FOR WALL TYPES.
 C. DETAIL REFERENCES SHOULD BE APPLIED TO ALL INSTANCES WHERE THE SAME CONDITIONS OCCUR, UNLESS NOTED OTHERWISE.
 D. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

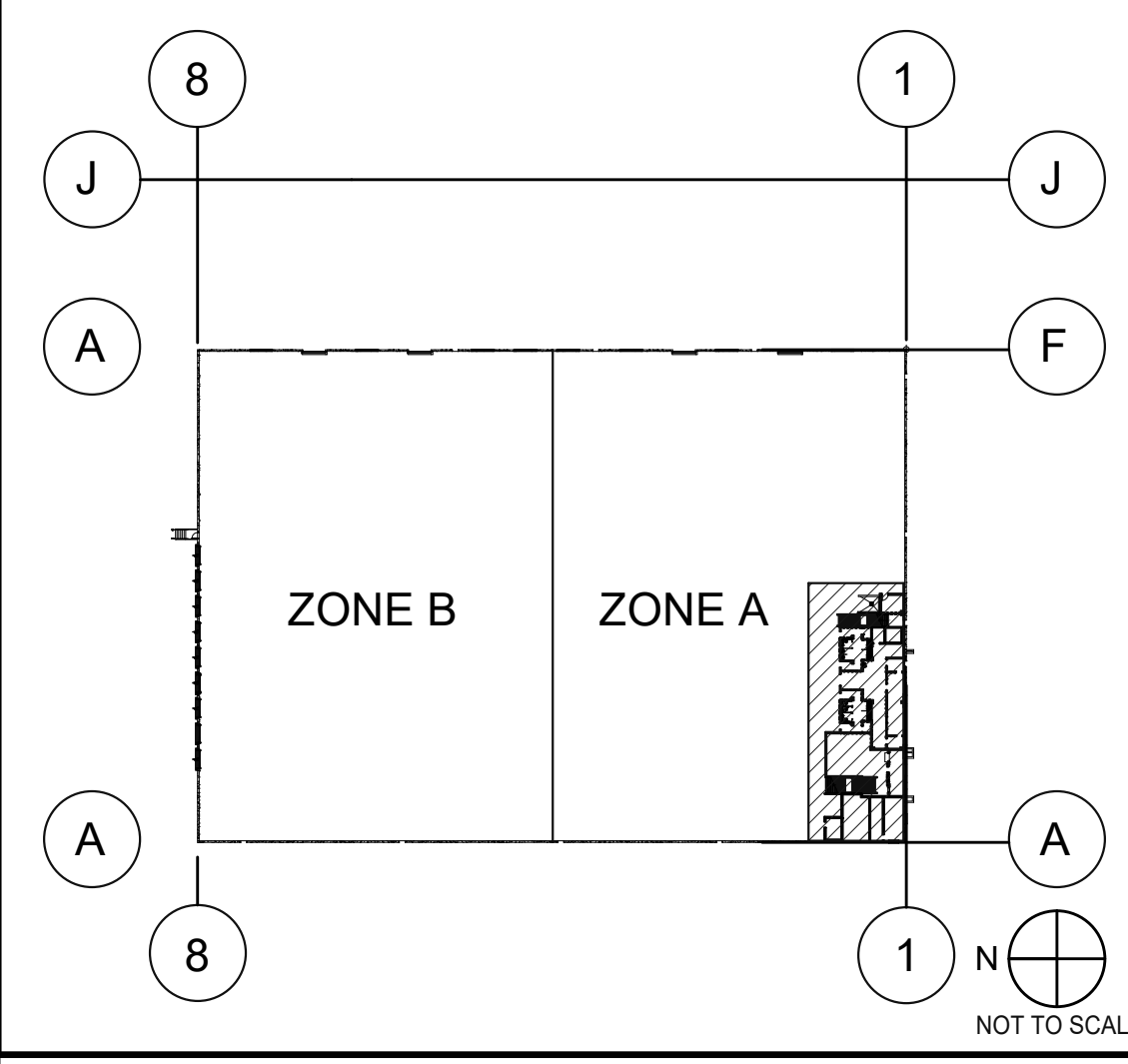
KEYNOTES :

- SEE SHEETS G0.2 & G0.2a FOR GENERAL NOTES
- ROOF ACCESS HATCH ABOVE.
 - EXTERIOR CONCRETE WALLS/EXTERIOR METAL PANELS TO BE FURRED TO 6" ABOVE CEILING AND CONTINUE INSULATION (IF APPLICABLE) TO DECK ABOVE. AT OPEN CEILING AREAS, FURRING TO BE PROVIDED TO DECK ABOVE. FURRING TO CONTINUE ABOVE AND BELOW WINDOWS WHICH ARE NOT FULL HEIGHT. GYPSUM BOARD TO WRAP WINDOW FRAME AT SILL, JAMB AND HEAD.
 - UPPER & LOWER CABINETS NO DRAWERS, WITH BACK-SPLASH AND DOUBLE-BASIN STAINLESS STEEL SINK WITH FAUCET.
 - UPPER & LOWER CABINETS NO DRAWERS, WITH BACK-SPLASH.
 - LOWER CABINETS NO DRAWERS, WITH BACK-SPLASH.
 - LOWER CABINETS NO DRAWERS, WITH BACK-SPLASH AND SINGLE-BASIN STAINLESS STEEL SINK WITH FAUCET.
 - MOP SINK. SEE PLUMBING DRAWINGS.
 - MOP HOLDER. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - ELECTRIC WATER HEATER.
 - H2O DRINKING FOUNTAIN.
 - FLOOR DRAIN. SEE PLUMBING DRAWINGS.
 - 48" X 20" LOCKER ROOM BENCH TO BE PROVIDED BY ROBINSON STEEL CO.
 - GYPSUM BOARD SOFFIT/HEADER ABOVE.
 - THIS ROOM ALL WALLS TO RECEIVE WOOD CHAIR RAIL (CR-1) FULL LENGTH OF WALL EXCEPT AT WHITE BOARD.
 - PLANS HOLDER, G.C. RESPONSIBLE FOR INSTALLATION, PRINTS OF FINAL AS-BUILT DRAWINGS AND LABELING. FINAL PLACEMENT TO BE DETERMINED BY OWNER/TENANT.
 - CUSTOMER PICK-UP LOCKERS. (FOI/FTT).
 - ROOM FRESHENER DISPENSER AND SANITIZER DISPENSER, G.C. TO COORDINATE LOCATION IN FIELD WITH OWNER/TENANT.
 - POLECEILING MOUNT TELEVISION. GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED POWER, DATA, CONDUIT, PULL STRING, AND IN WALL BLOCKING. REFER TO INTERIOR ELEVATION FOR MOUNTING INFORMATION.
 - 2"x2" 1/2" THICK STAINLESS STEEL CORNER GUARD. PROVIDE AT ALL EXPOSED CORNERS. ADHERE TO WALL W/CONSTRUCTION ADHESIVE (NO MECHANICAL FASTENERS).
 - LOCKER DIVIDER, WALL MOUNTED.
 - ALUMINUM LOUVER, PRIMED, FIELD FINISH TO MATCH PANEL.
 - LINE OF MEZZANINE ABOVE.

LEGEND

- TILT-UP CONCRETE WALL
- TILT-UP CONCRETE WALL WITH FURRING
- CONCRETE MASONRY WALL
- 1HR RATED CONSTRUCTION FIRE BARRIER
- FULL HEIGHT NON-RATED PARTITION TO STRUCTURE
- PARTITION TO 6" ABOVE CEILING
- PLUMBING CHASE WALL TO 6" ABOVE CEILING
- PARTITION TO UNDERSIDE OF CEILING

KEYPLAN



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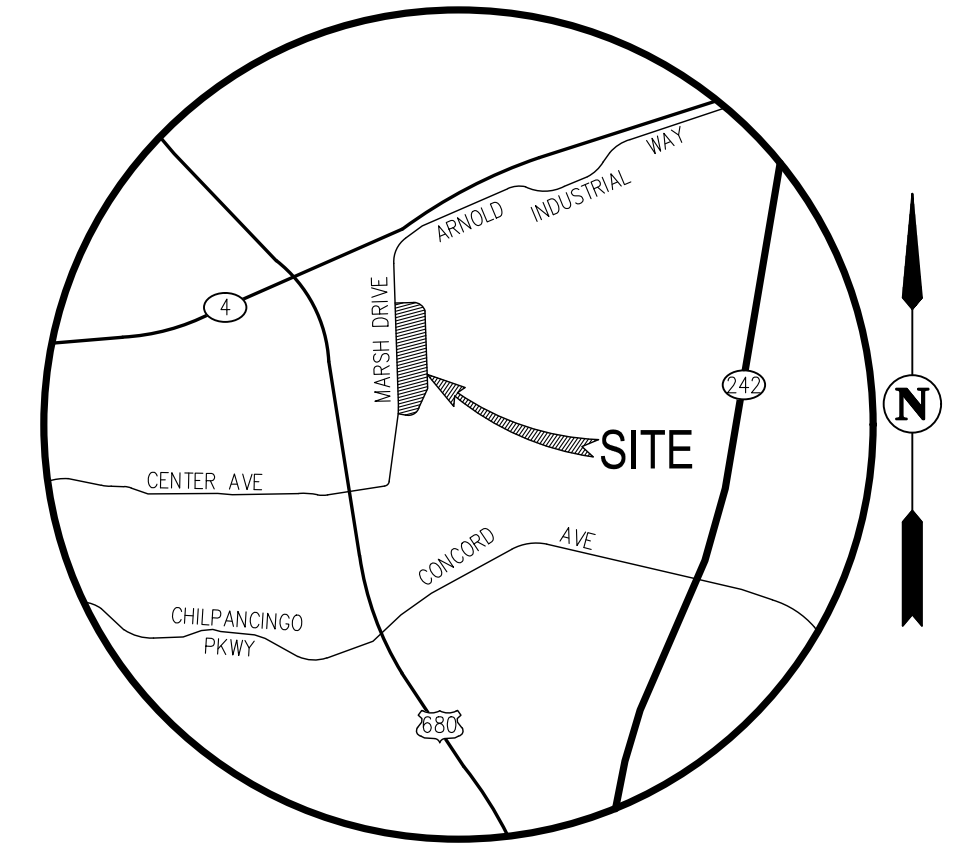
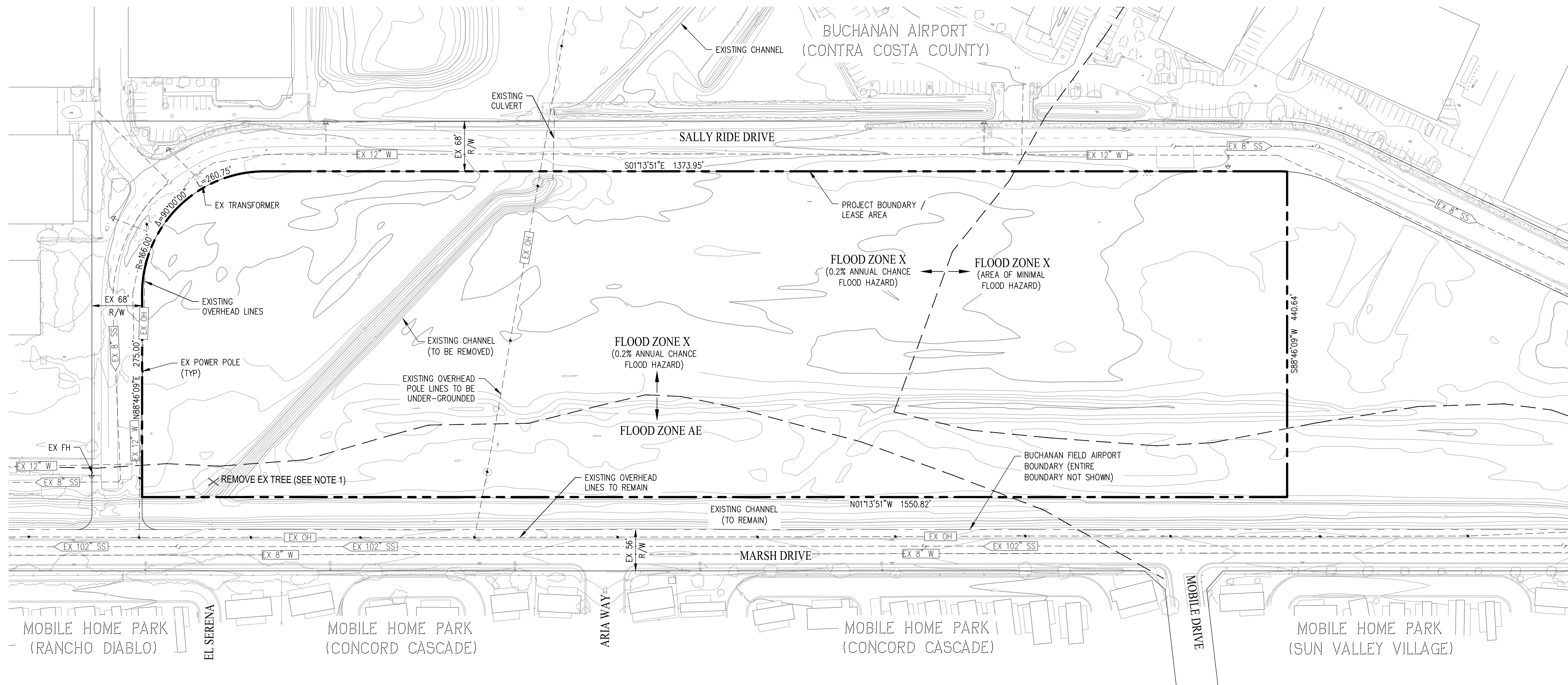
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MAIN INTERIORS AREA FLOOR PLAN

DATE	REVISIONS
06/29/2021 <td>PLANNING SUBMITTAL</td>	PLANNING SUBMITTAL

PA/PM:	A.JAFF
DRAWN BY:	O.M.J.B.
JOB NO.:	DAL20-0069-00

SHEET
A4.10



VICINITY MAP
NOT TO SCALE

CONTACTS:

- DEVELOPER: FSRE INDUSTRIAL - MONTECITO - CONCORD, LLC
(619) 888-5225
KARL HIGGINS
- ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CALIFORNIA 94583
(925) 866-0322
LEE ROSENBLATT, P.E.

GENERAL NOTES:

- ASSESSORS PARCEL NO. 125-01-010 (PORTION)
- SITE AREA: 15.6± ACRES
- LOTS: 1
- BUILDING FOOTPRINT: 98,000 SF±
- EXISTING ZONING: UNRESTRICTED
PROPOSED ZONING: UNRESTRICTED
- EXISTING LAND USE: PUBLIC / SEMI-PUBLIC
PROPOSED LAND USE: INDUSTRIAL
- BENCHMARK: BEING A BRASS DISK IN A MONUMENT WELL NGS DESIGNATION HT0142, HAVING AN NAVD88 PUBLISHED ELEVATION OF 33.66 FEET.
- BASIS OF BEARINGS: THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM (1983, EPOCH 2021.0), ZONE 3, BASED ON NSG POINTS DE8504 AND HT0142, THE CALCULATED BEARING BEING N75°16'26"E.
- FLOOD ZONE: ZONE AE: SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED (18 FEET).
ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
ZONE X: AREAS OF MINIMAL FLOOD HAZARD
SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP, MAP NUMBER 06013C0281F DATED: JUNE 16, 2009
- UTILITIES: WATER: CONTRA COSTA COUNTY WATER DISTRICT
SEWER: CENTRAL CONTRA COSTA SANITARY DISTRICT
STORM DRAIN: CONTRA COSTA COUNTY
GAS & ELECTRIC: PG&E
- GRADING: GRADING SHOWN IS PRELIMINARY AND SUBJECT TO CHANGE DURING FINAL DESIGN.

ABBREVIATIONS

AC	ACRES
EX	EXISTING
OH	OVERHEAD
R/W	RIGHT OF WAY
SD	STORM DRAIN
SS	SANITARY SEWER
W	WATER

NOTES

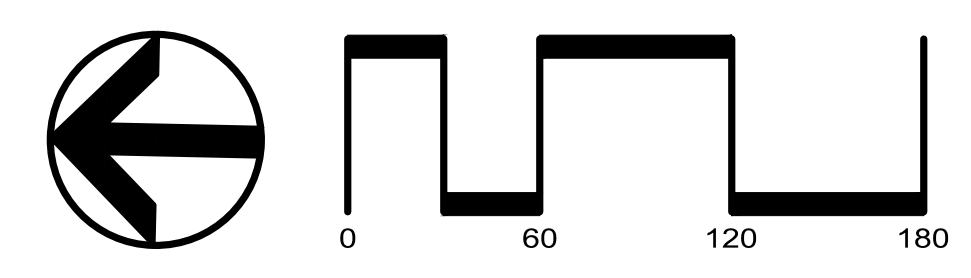
- EXISTING TREE ON SITE TO BE REMOVED:
SPECIES: SCHINUS MOLLE CALIFORNIA PEPPER
DIAMETER: 45"
HEIGHT: 28'
CANOPY WIDTH: 42'

LEGEND

	PROJECT BOUNDARY LINE
	RIGHT OF WAY LINE
	FEMA ZONE BOUNDARY

**EXISTING CONDITIONS PLAN
DEVELOPMENT PLAN
APPLICATION**
BUCHANAN AIRPORT - SALLY RIDE DRIVE

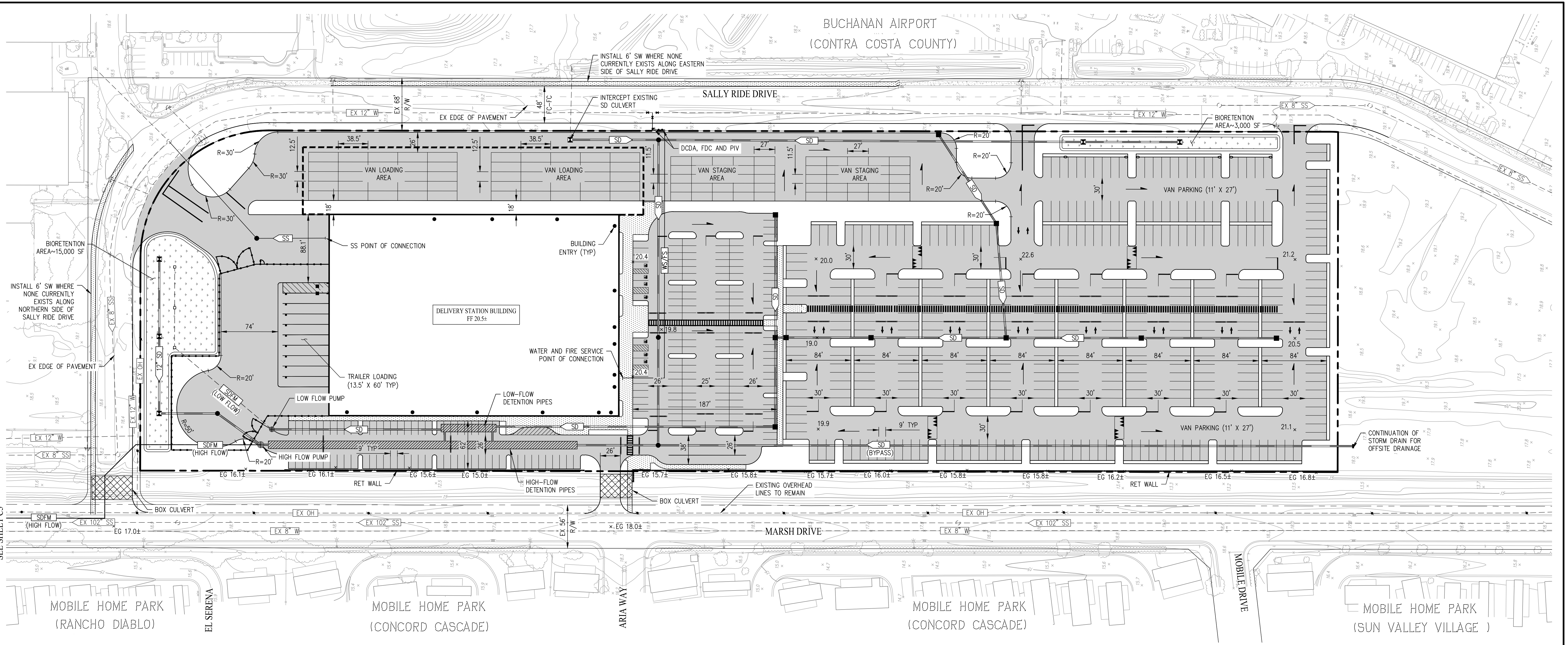
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SCALE: 1" = 80' DATE: JUNE 2021



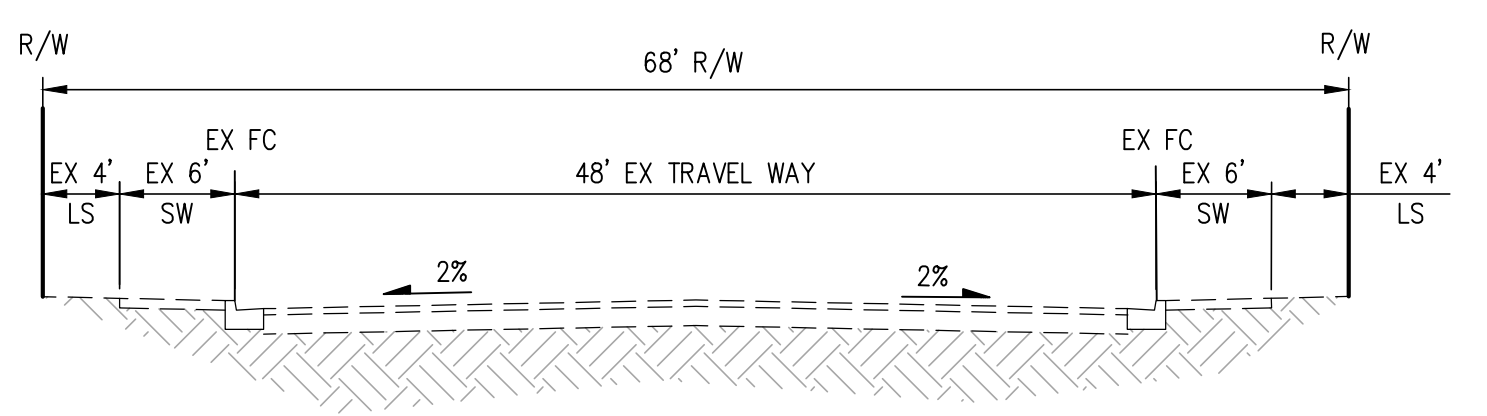
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SHEET NO.
C1
OF 3 SHEETS

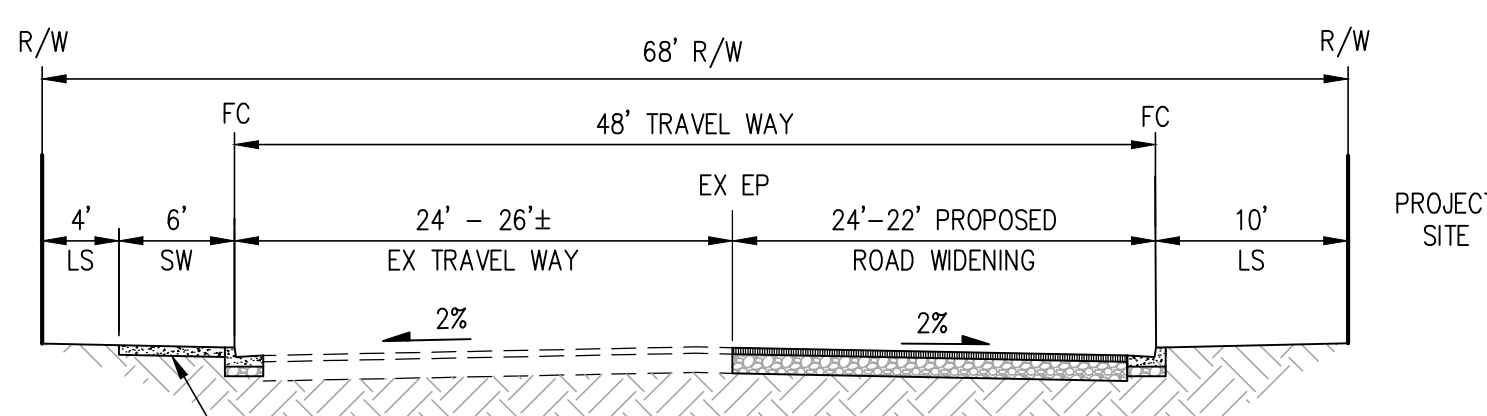
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SEE SHEET C3



EXISTING SALLY RIDE DRIVE (SOUTH)
(NOT TO SCALE)



SALLY RIDE DRIVE (NORTH & EAST)
(NOT TO SCALE)

ABBREVIATIONS

AC	ACRES
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
EG	EXISTING GRADE
EX	EXISTING
FC	FACE OF CURB
FDC	FIRE DEPARTMENT CONNECTION
FS	FIRE SERVICE
OH	OVERHEAD
PIV	POST INDICATOR VALVE
R	RADIUS
RET	RETAINING
R/W	RIGHT OF WAY
SD	STORM DRAIN
SF	SQUARE FEET
SS	SANITARY SEWER
TYP	TYPICAL
WS	WATER SERVICE

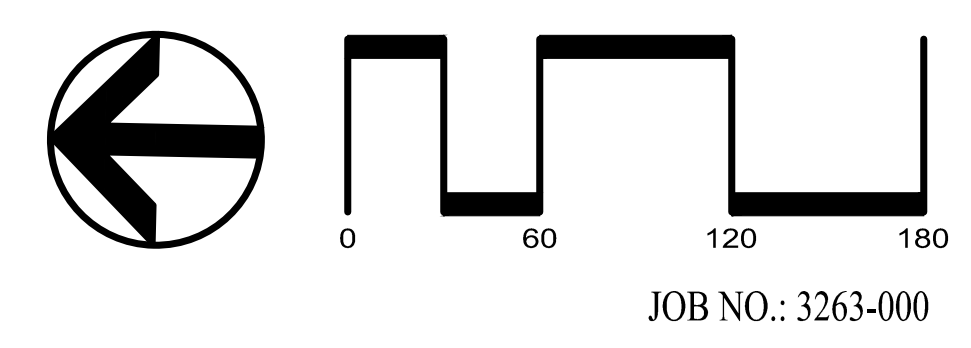
LEGEND

	PROJECT BOUNDARY LINE
	RIGHT OF WAY LINE
	STORM DRAIN FLOW DIRECTION
	STORM DRAIN FORCE MAIN
	SANITARY SEWER LINE
	WATER AND FIRE SERVICE LINE

PARKING NOTE:
SEE ARCHITECTURAL SITE PLAN FOR ANALYSIS OF PROVIDED PARKING SPACES.

**PRELIMINARY SITE PLAN
DEVELOPMENT PLAN
APPLICATION
BUCHANAN AIRPORT - SALLY RIDE DRIVE**

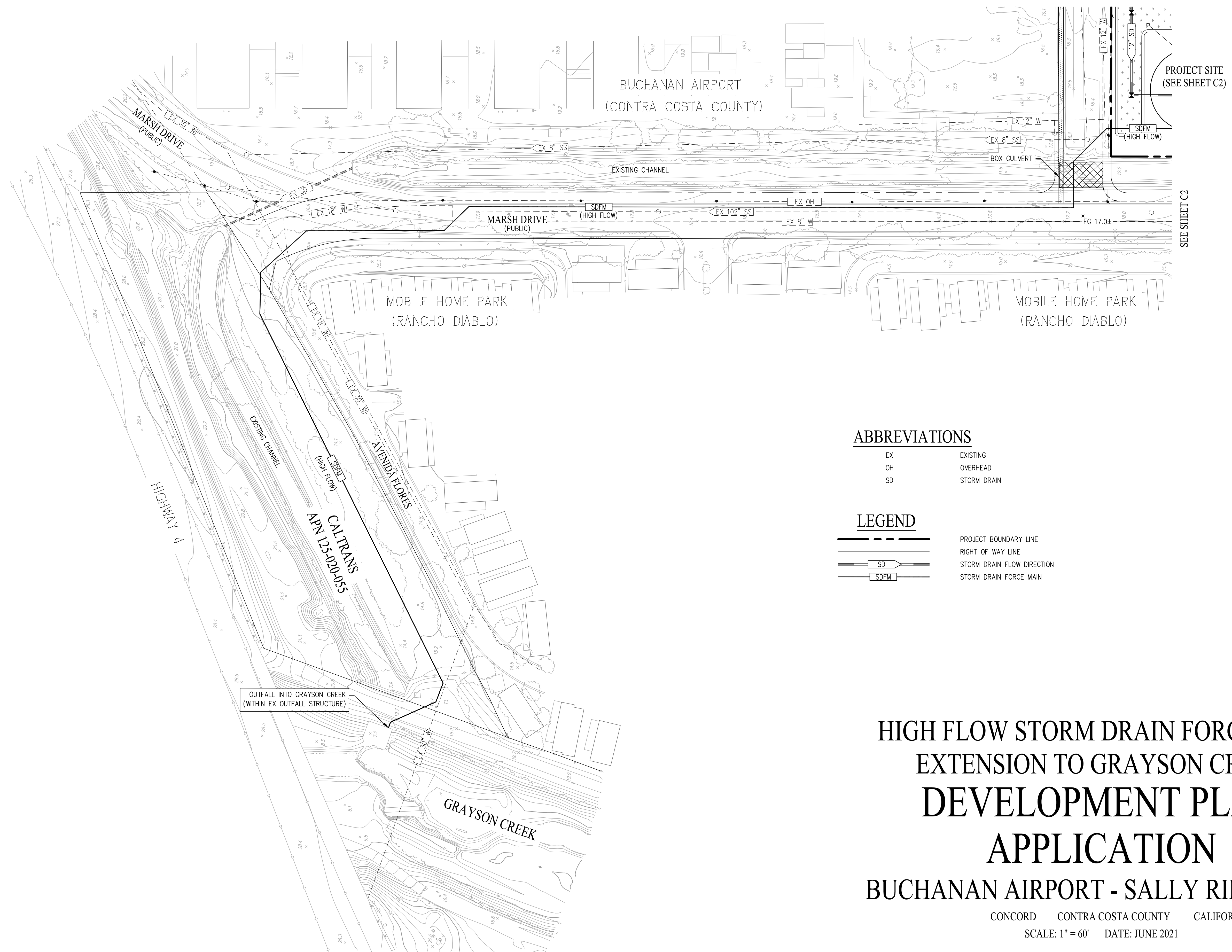
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SHEET NO.
C2
OF 3 SHEETS

JOB NO.: 3263-000



SEE SHEET C2

ABBREVIATIONS

EX	EXISTING
OH	OVERHEAD
SD	STORM DRAIN

LEGEND

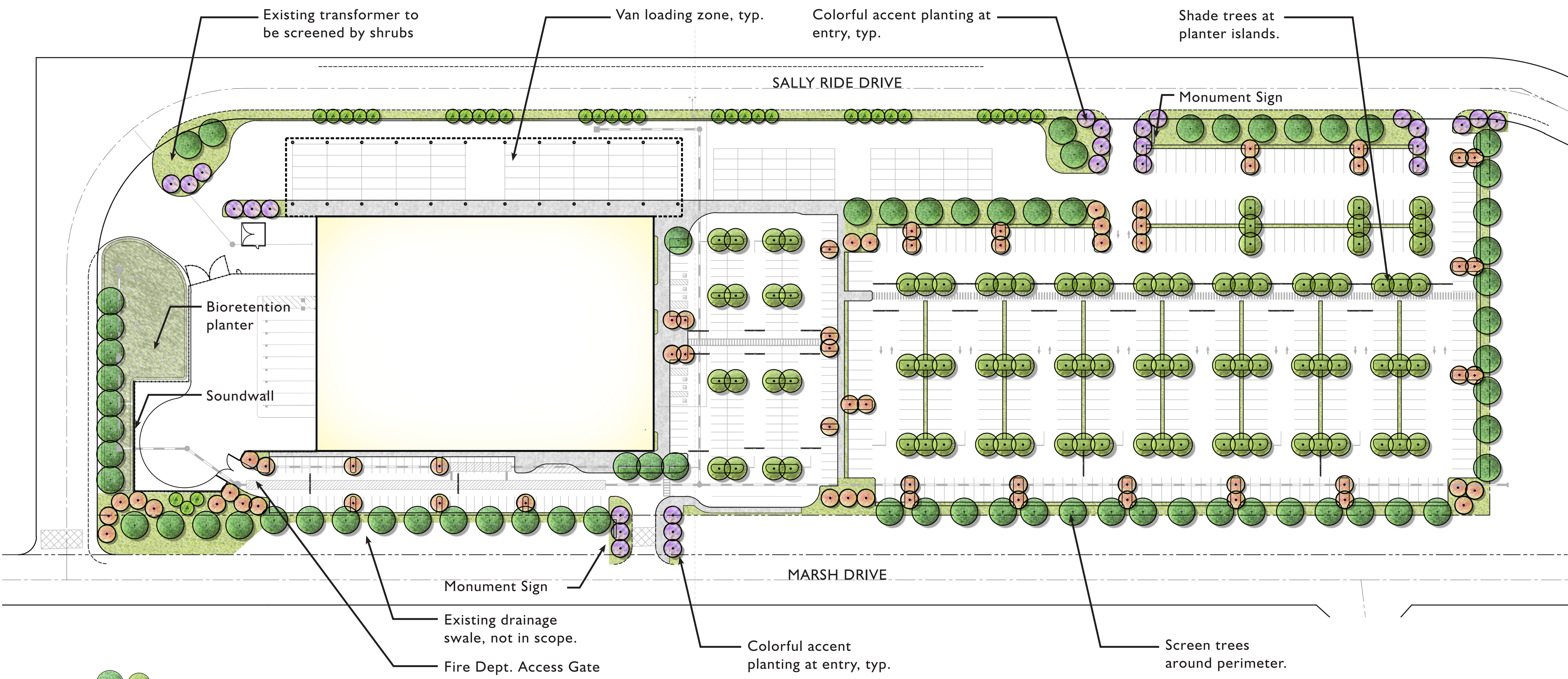
	PROJECT BOUNDARY LINE
	RIGHT OF WAY LINE
	STORM DRAIN FLOW DIRECTION
	STORM DRAIN FORCE MAIN



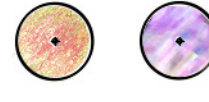


**HIGH FLOW STORM DRAIN FORCE MAIN
 EXTENSION TO GRAYSON CREEK
 DEVELOPMENT PLAN
 APPLICATION
 BUCHANAN AIRPORT - SALLY RIDE DRIVE**

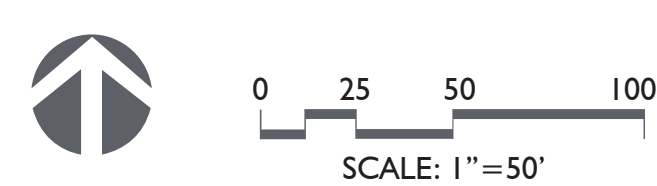
CONCORD CONTRA COSTA COUNTY CALIFORNIA
 SCALE: 1" = 60' DATE: JUNE 2021

			SAN RAMON • (925) 866-0322 ROSEVILLE • (916) 788-4456 WWW.CBANDG.COM	CIVIL ENGINEERS • SURVEYORS • PLANNERS	SHEET NO. C3 OF 3 SHEETS
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JOB NO.: 3263-000



-   Shade and Screen Trees
-   Accent Trees
-  Columnar Trees



COLUMNAR TREES



Carpinus betulus fastigiata
Hornbeam



Podocarpus macrophyllus
Yew Podocarpus

ACCENT TREES



Prunus cerasifera 'Krauter Vasuvius'
Purple Leaf Plum



Lagerstroemia i. 'Tuscarora'
Crape Myrtle

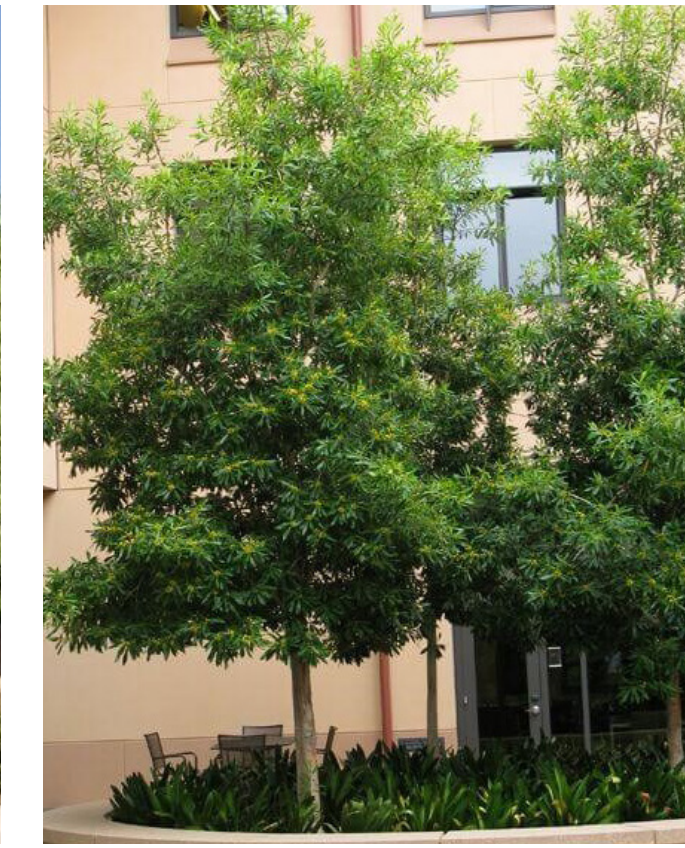
SHADE AND SCREEN TREES



Zelkova serrata 'City Sprite'
Compact Sawleaf Zelkova



Geijera parviflora
Australian Willow Tree



Tristania laurina 'Elegant'
Elegant Water Gum

SHRUBS & GROUNDCOVERS



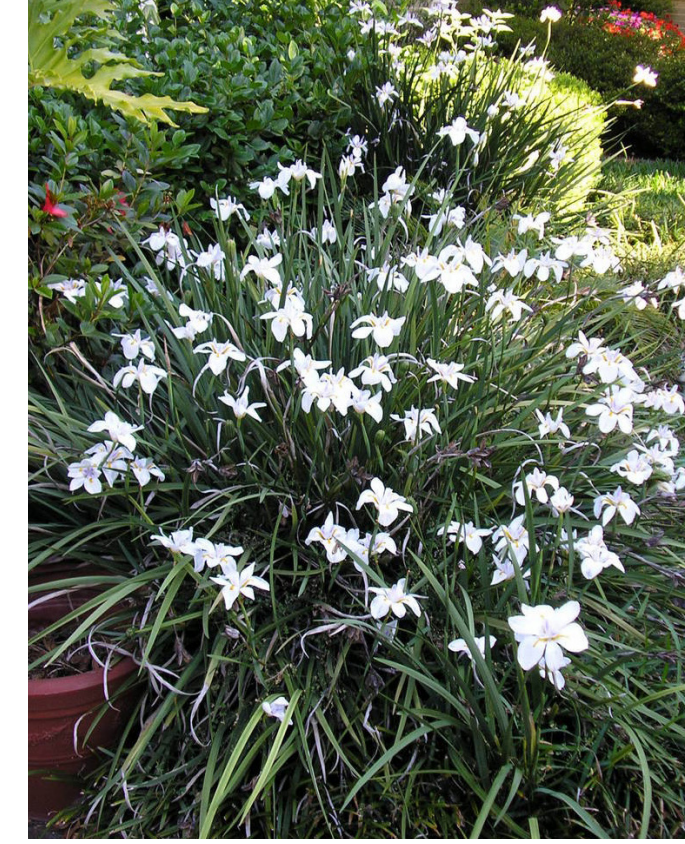
Carex divulsa
Berkeley Sedge



Lomandra longifolia 'Roma13'
Platinum Beauty Lomandra



Deschampsia cespitosa var. vivipara
Tufted Hair Grass



Dietses iridioides
African Iris



Arctostaphylos 'Emerald Carpet'
Carpet Manzanita



Ceanothus gloriosus
Point Reyes Ceanothus



Panicum virgatum
Switch Grass



Phormium 'Yellow Wave'
New Zealand Flax



Callistemon viminalis 'Little John'
Little John Bottlebrush



Senecio Serpens
Blue Chalksticks



Salvia microphylla 'Hot Lips'
Hot Lips Sage



Salvia x sylvestris 'Blue Hill'
Blue Hill Meadow Sage

Bio-Retention Plants per Contra Costa County Approved C3 List



Leymus 'Canyon Prince'
Canyon Prince Wild Rye



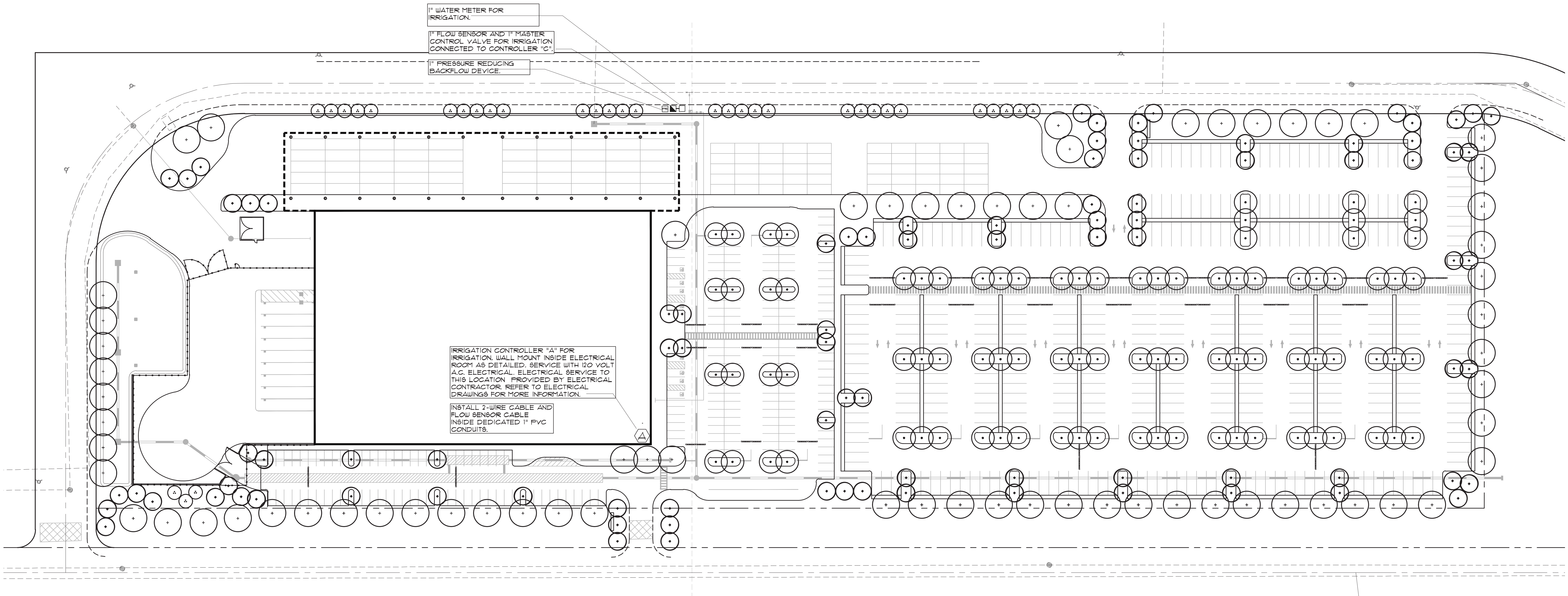
Chondropetalum tectorum
Small Cape Rush



Muhlenbergia rigens
Deergrass

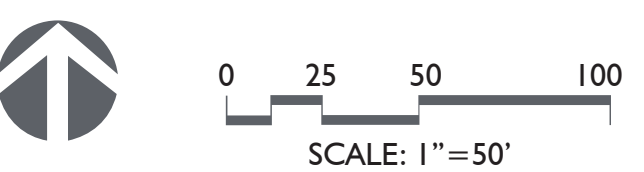


Arctostaphylos 'Howard McMinn'
Manzanita



WATER CONSERVATION STATEMENT

1. THE PLANT LIST IS PRELIMINARY IN NATURE. SPECIES SHALL BE ADDED AND SUBTRACTED TO FULFILL THE DESIGN AND HORTICULTURAL REQUIREMENTS AS NECESSARY.
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED WITH WATER CONSERVATION IN MIND WHILE ACHIEVING THE GOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF SPRAY IRRIGATION TO THE SHRUBS/GROUNDCOVER AREAS AND BUBBLERS TO THE TREES.
3. THE SPRAY SYSTEM SHALL BE TORO SPRAY HEADS WITH PRESSURE COMPENSATING NOZZLES IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM.
4. A STATE-OF-THE-ART IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO CONTROL THE WATER ALLOCATED TO EACH VALVE GROUPED PER INDIVIDUAL HYDROZONE (BASED ON PLANT TYPE AND EXPOSURE).





KEYNOTES

1 TO BE PAINTED
SHERWIN WILLIAMS
SW 7063 NEBULOUS WHITE

2 TO BE PAINTED
SHERWIN WILLIAMS
SW 7066 GRAY MATTERS

3 TO MATCH PANTONE 2995C

4 ANODIZED ALUMINUM
STOREFRONT SYSTEM

5 STANDARD BRIGHT WHITE

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed. Signage shown is for illustrative purposes only and does not necessarily reflect municipal code compliance. All colors shown are for representative purposes only. Refer to material samples for actual color verification.

CORNER SHOT

WARE MALCOMB