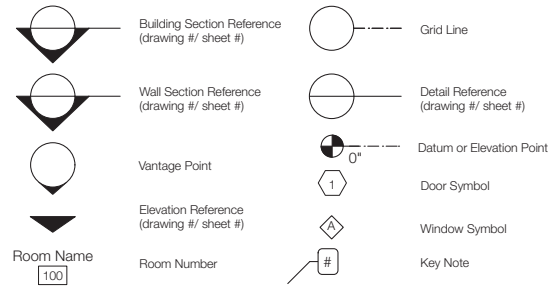


PROJECT PLANS

General Notes

- All work and materials to conform to the requirements of local and state codes and the specifications of the National Board of Fire Underwriters. All work shall be done in accordance with the requirements of the city and/or appropriate authority having jurisdiction over construction where the project is located.
- Contractor shall check and verify all plan dimensions and conditions before proceeding with construction and shall report any discrepancies to the Architect for correction before beginning any work.**
- Do not scale drawings. All written dimensions govern.
- The Architect is not responsible for any deviations from the plans and specification information.
- The Architect shall not have control or charge of and shall not be responsible for construction means, methods, techniques, sequences, or procedures, for safety precautions and programs in connection with the work, or the acts or omissions of the Contractor, subcontractors, or any other persons performing any work, or for failure of any of them to carry out the work in accordance with the construction documents.
- The following set of drawings is an instrument of professional service and shall remain the property of Drafting Cafe, whether the project is executed or not. No changes, alterations, or deletions may be made hereto except by the Architect.

Symbol Legend

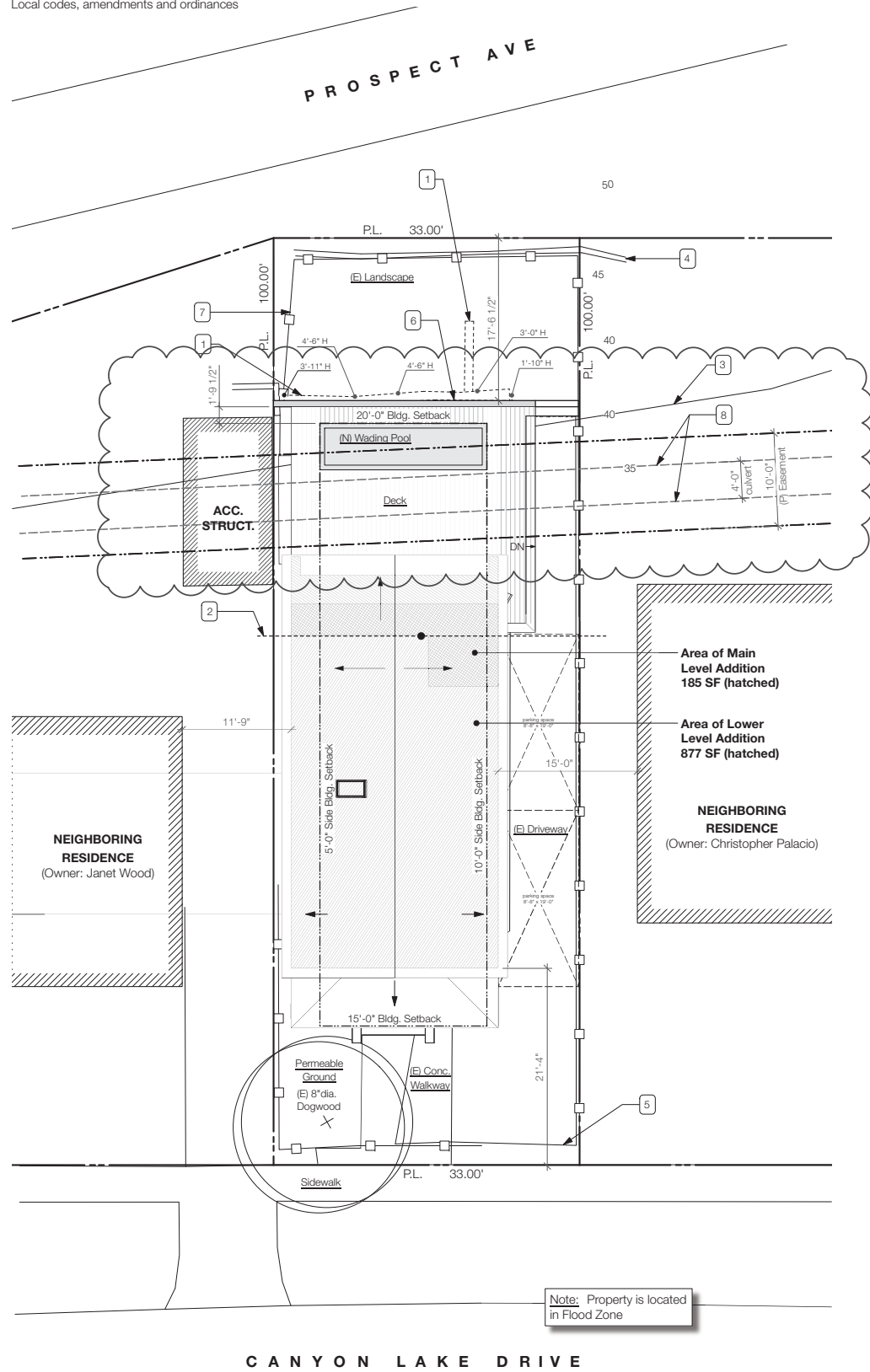


Abbreviations

AD	Area Drain	MECH	Mechanical
ADJ	Adjustable	MIN	Minimum
AFF	Above Finish Floor	MTL	Metal
AGGR	Aggregate	(N)	New
ARCH	Architectural	NIC	Not In Contract
ASPH	Asphalt	NTS	Not To Scale
BLDG	Building	OBS	Obscure
BLK	Block	OC	On Center
BLKG	Blocking	OD	Outside Diameter
BO	Bottom Of	OPN'G	Opening
BW	Bottom of Wall		
CPT	Carpet	PLAM	Plastic Laminated
CAB	Cabinet	PL	Property Line
CJ	Construction Joint	PLT	Steel Plate
CL	Center Line	PLYWD	Plywood
CLOS	Closet	PT	Point
CLG	Ceiling		
CLR	Clear	QTY	Quantity
CO	Clean Out	R	Riser
COL	Column	RAD	Radius
CONC	Concrete	RET	Retaining
CONT	Continuous	R/A	Return Air
CSMT	Casement	RD	Round
CT	Ceramic Tile	RD	Roof Drain
CS	Counter Sink	REF	Refrigerator
DEMO	Demolition	REG	Register
DET	Detail	REINF	Rinforced
DH	Double Hung	REQ'D	Required
DF	Douglas Fir	RO	Rough Opening
DIAG	Diagonal	RWD	Redwood
DIM	Dimension	RWL	Rain Water Leader
DWGS	Drawings	SAG	Supply Air Grill
DN	Down	SV	Sheet Vinyl
DS	Downspout	SH	Single Hung
(E)	Existing	SHT	Sheet
EJ	Expansion Joint	SIM	Similar
EL	Elevation	SM	Sheet Metal
EQ	Equal	SQ	Square
EXT	Exterior	SSD	See Structural Drawings
FD	Floor Drain	SS	Stainless Steel
FF	Finish Floor	STD	Standard
FIN	Finish	STL	Steel
FOC	Face Of Concrete	STRUC	Structural
FOS	Face Of Stud	T	Tread
FOW	Face Of Wall	TC	Top Of Curb
FTG	Footing	TEMP	Tempered Glass
GA	Gauge	TJI	Truss Joist
GALV	Galvanized	TO	Top Of
GWB	Gypsum Wall Board	TOC	Top Of Concrete
GL	Glass	TYP	Typical
GLU LAM	Glue Laminated	TW	Top Of Wall
GSM	Galv. Sheet Metal	TS	Tube Steel
HB	Hose Bibb	UON	Unless Otherwise Noted
HGT	Height	VERT	Vertical
HM	Hollow Metal	VIF	Verify In Field
HOR	Horizontal	VTO	Vent To Outside
HP	High Point	W/	With
ID	Inside Diameter	W/C	Water Closet
INSUL	Insulation	WD	Wood
INT	Interior	W/H	Water Heater
JBOX	Junction Box	WP	Waterproof
JT	Joint	WPT	Work Point
LAM	Laminated	YD	Yard
LAV	Lavatory		
LP	Low Point		

Codes and Regulations

- 2019 California Building Code
- 2019 California Residential Code
- 2019 California Mechanical Code
- 2019 California Electrical Code
- 2019 California Plumbing Code
- 2019 California Green Building Code
- 2019 California Energy Code
- 2019 California Fire Code
- Local codes, amendments and ordinances



1 Site Map
1/8"=1'-0"



Project Team

OWNER:
Ryan Bosworth
58 Canyon Lake Drive,
Port Costa, CA
T: (916) 475-5475

ARCHITECT:
DRAFTING CAFE ARCHITECTS
Ethan Andersen, AIA
3007 E. 12th Street
Oakland, CA 94601
T: (510) 251-2511

STRUCTURAL ENGINEER:
ASHLEY AND VANCE
1610 Harrison St., Suite A
Oakland, CA 94612
T: (510) 473-2221
www.ashleyvance.com

Drawing List

- Architectural**
- A0.1 Cover Sheet & Site Map
 - A0.2 Conditions of Approval
 - A0.3 Conditions of Approval & FEMA Letter of Map Amendment
 - A1.1 Existing Floor Plans / Existing & Proposed Retaining Wall Elevations
 - A1.2 Proposed Floor Plans
 - A1.3 Proposed Lighting & Electrical Plans
 - A1.4 Existing & Proposed Roof Plans
 - A1.5 Proposed Floor Area Diagram
 - A2.1 Existing & Proposed Elevations
 - A2.2 Existing & Proposed Elevations
 - A3.1 Cross Sections & 3D Aerial Image
 - A7.1 Title 24
 - A7.2 Title 24
- Structural**
- S-1.1 Structural Title Sheet
 - S-1.2 Structural Specifications
 - S-1.3 Special Inspections
 - S-2.3 Roof Framing Plan
 - S-3.1 Structural Details
 - S-3.2 Structural Details
 - S-3.3 Structural Details

Keynotes

- (E) Wood Retaining Wall To Be Removed (Dashed)
- Location Of (E) Sewer Line Easement And Connection Under House
- (E) Countour
- (E) Wood Retaining Wall
- (E) Gate & Fence
- Line Indicates Proposed Hardscape. See 3/A1.1 For Additional Info.
- (E) Fence
- (E) 48" Dia. Culvert

Project Description

Remodel and addition to existing single family home damaged by fire. Remodel to existing main level and addition in rear to create new kitchen, dining room and living room with small powder room under stairs. New upper level addition to include 3 bedrooms, two bathrooms, laundry, storage and exterior porches on front and back of house and attic space. New deck and wading pool to be added to rear landscape.

Property Information

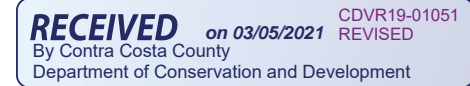
APN: 368-145-024-7
Address: 58 Canyon Lake Drive,
Port Costa, CA 94569

Development Information

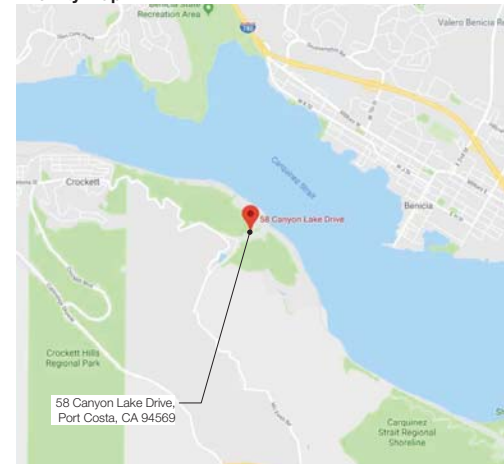
Zoning District	R-6		
Areas	Existing	Proposed	Allowable
Total Lot Area (sq ft)	3,300 sf	3,300 sf	-
Tot. Bldg Footprint (sq ft)	-	-	-
Total Floor Area (sq ft)	639 sq ft	1,781 sf	-
Lot Coverage (sq ft)	802 sf	1,131 sf	-
Lot Coverage (%)	24.3%	34.3%	-
Floor Area Ratio	.194	.538	-
Landscaped Area	502 sf	502 sf	-
Development			
# of Dwelling Units	1	1	-
# of Parking Spaces	2	2	-

California Building Code Notes

Occupancy Code: Type R-3/U
Construction Type: Type V B



Vicinity Map



Location Map



58 Canyon Lake Dr.
Port Costa, CA 94569

DRAFTING CAFE ARCHITECTS

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www.draftingcafe.com



REVISIONS	NO.	DESCRIPTION	DATE

Cover Sheet & Site Map

DATE: March 3, 2021
PROJECT: 19066
SCALE: 1/8" = 1'-0"

A0.1

FINDINGS AND CONDITIONS OF APPROVAL FOR COUNTY FILE #CDVR19-01051, RYAN BOSWORTH (APPLICANT) AND RYAN BOSWORTH & TOMMY TRAN (OWNERS)

FINDINGS

I. Variance Findings

- 1. Required Finding:** *That any variance authorized shall not constitute a grant of special privilege inconsistent with the limitations of other properties in the vicinity and the respective land use district.*

Project Finding – Living Space Addition and Wooden Deck: The subject property is within the Port Costa, which was established in the 1880s, although many of the lots were developed in the early 1900s. Many homes in the immediate vicinity were constructed prior to the adoption of the County zoning ordinance and thus have side yards that are substandard to today's requirements. The project involves constructing 185-square-foot 1st floor, and 951-square-foot 2nd floor additions to an existing single-family residence, as well as a new wooden deck. Like many properties in the surrounding area, the subject property is substandard with respect to the 6,000-square-foot minimum lot size and 60-foot minimum average lot width for the R-6 zoning district. The living space addition will be constructed at the same distance from the side property lines as the existing residence but will extend slight further north on the site. The new wooden deck with a 1-foot, 10-inch side yard on the western property boundary reduces the impact of the current substandard side yard of the existing deck which is 6-inches from the west property line. The living space addition results in a 1,775-square-foot residence that remains in the range of house sizes in the area. In the R-6 Single-Family Residential district, one detached single-family dwelling, plus accessory structures, is an allowed use. As improvements to older homes on substandard lots in the area occur, it is expected that other property owners will be faced with similar setback challenges. Consequently, according to CDD records, five other properties within Port Costa have been granted similar side yard variances for additions, most recently as 2001. Thus, approval of this variance request for a living space addition and wooden deck is not a grant of special privilege considering the, current siting of the residence and similar development pattern of the surrounding area.

Project Finding – Retaining Wall: The project involves constructing a concrete retaining wall up to 6 feet in height to replace an existing wooden retaining wall for the improved safety and secure use of the rear yard. As conditioned, the project will not constitute a grant of special privilege in this part of the County where nearby residences face similar circumstances due to the steep and varied topography in the area. The new retaining wall is a reasonable remedy to an existing hazardous situation and is largely a replacement of an existing structure.

CDVR19-01051 COA

Project Finding – Tandem Off-Street Parking Spaces: The existing driveway and parking area is located on the eastern side of the subject property and provides for up to two, 8-foot, 8-inch-wide tandem off-street parking spaces with a 0-foot side yard (where 10 feet is required). Like other narrow properties in the Port Costa area, there is little usable land outside of the side yard of the property to provide two off-street parking spaces as required by the R-6 zoning district. Therefore, approving the variance for a 0-foot side yard for two tandem off-street parking spaces will not constitute a grant of special privilege inconsistent with the limitations of other properties in the vicinity.

- 2. Required Finding:** *That because of special circumstances applicable to the subject property because of its size, shape, topography, location or surroundings, the strict application of the respective zoning regulations is found to deprive the subject property of rights enjoyed by other properties in the vicinity and within the identical land use district.*

Project Finding – Living Space Addition and Wooden Deck: The special circumstance of the substandard side yards of the property was created when the house was built in 1939. The existing single-family residence was built on the 3,300-square-foot lot with a 1-foot, 10-inch side yard along the western property boundary, and an 8-foot, 9-inch side yard along the eastern property boundary. Therefore, although they will not encroach further into the side yard areas than the existing construction, the 1,142-square-foot addition and the new wooden deck do not conform to the requirements of the R-6 Single-Family Residential District. However, the property's buildable area is constrained by the substandard size of the lot as well as the substandard, 33-foot average width, and if enforced, the R-6 zoning district standards would leave the lot with a developable width of only 18 feet. Many feasible options for expanding the existing residence or rebuilding the residence would likely require a variance. In addition, other properties in the vicinity have been granted similar side yard variances for additions to expand their living space. Thus, due to the special circumstances applicable to the subject property, granting of the variance request is necessary to ensure that the current rights available to the subject property are preserved, similar to how properties in the vicinity and within the R-6 zoning district continue to enjoy similar privileges.

Project Finding – Retaining Wall: As is the case with many of the lots in the project vicinity, the topography at the northern area of the subject property is a special circumstance. The northern area of the property abuts a steep upward slope to a roadway and hilly open space. The applicant's proposal to replace the existing wooden retaining wall with a concrete retaining wall will structurally support the hillside and increase the safety and enjoyment of the property. Placing the retaining wall elsewhere on the subject property, outside of the setback, would not accomplish this goal and would constitute a loss of usable, flat land for the owner. Rebuilding the existing retaining wall will allow the property owner to take

advantage of property rights enjoyed by other properties in the vicinity and within the identical land use district.

Project Finding – Tandem Off-Street Parking Spaces: There is little usable land outside of the side yard of the property to provide two off-street parking spaces as required by the R-6 zoning district. Denying the variance for a 0-foot side yard for two tandem off-street parking spaces will deprive the subject property of rights enjoyed by other properties in the vicinity and within the R-6 Single-Family Residential District.

- 3. Required Finding:** *That any variance authorized substantially meets the intent and purpose of the respective land use district in which the subject property is located.*

Project Finding: The intent and purpose of the R-6 Single-Family Residential District is to promote the orderly development and maintenance of residential uses and the accessory structures and uses normally auxiliary to a single-family dwelling. This includes allowing residential dwelling improvements and additions compatible with the surrounding neighborhood. The variance will allow the property owners to construct additions and a new wooden deck to their existing single-family residence that will be compatible with other single-family residences in the vicinity. The location, design, and height of the retaining wall does not hinder the intent and purpose of the respective land use district, but instead supports the steep hillside on and behind the subject property, thereby increasing safety for the property owners. The variance will allow the property owners to provide for two off-street parking spaces as intended by the R-6 zoning district. The use of the subject property will remain residential, with one single-family residence.

II. Small Lot Design Review Findings

Prior to the issuance of a building permit on a substandard lot, the Zoning Administrator must review the proposed structure's compatibility and impact on the surrounding neighborhood in terms of the following:

Location: The existing residence is located towards the center of the property and is setback approximately 25 feet from the street frontage on the south and 35 feet from the frontage on the north, with a 1-foot, 10-inch side yard on the west and an 8-foot, 9-inch side yard on the east. As designed, the additions extend the front of the home approximately 10 feet towards the southern property line, while the footprint at the rear of the home is maintained. With the proposed 15- and 34-foot front setbacks, the residence will maintain a fairly central position on the property with respect to the two frontages and will maintain the side yard footprints of the residence. The wooden deck and wading pool are located at the rear of the house between the retaining wall and the base of the sloped area of the lot, which are the most ideal locations for these improvements and provide a

CDVR19-01051 COA

private, outdoor area for the property owners to enjoy. In addition, the retaining wall needs to be at base of the slope and to encroach within the side yard and primary frontage to retain the hillside. Generally, the residence and improvements remain consistent with the development pattern found in the surrounding Port Costa neighborhood.

- 1. Size:** The 1,142-square-foot addition will increase the size of the residence to 1,781 square feet. The total building footprint of the residence, new wooden deck, and wading pool is approximately 1,131 square feet, which equates to approximately 34% coverage of the 3,300 square-foot lot. Nearby residences generally range in size from approximately 662 square feet to 5,141 square feet. Therefore, the residence will remain compatible with other residences in the vicinity regarding size.
- 2. Height:** The 2nd floor addition will increase the height of the residence to 30 feet, 10-inches, which is below the maximum 35-foot height allowed in the R-6 zoning district. The height of the two-story home is consistent and compatible with the adjacent two-story homes and other two-story residences in the vicinity. The new concrete retaining wall will range from approximately 1 foot to up to 6 feet in height and is consistent with similar walls used to retain earth for the safety and enjoyment of a residential property.
- 3. Design:** The neighborhood mainly consists of homes bungalow, craftsman, stick, Queen Anne, and cottage architectural styles. The contemporary Queen Anne design style of the living space addition and balconies complies with design guidelines for the Port Costa Historic District and is compatible with the architectural styles in the area.

III. Exception Request Findings

The applicant has submitted an exception request in accordance with Chapter 92-6 of the County Code. Below is a list of the required exception findings along with staff's discussion of their existence for the proposed project.

- 1. Required Finding:** *That there are unusual circumstances or conditions affecting the property.*

The applicant is proposing an alteration of an existing structure within a historic district where neighboring primary and secondary structures are constructed in close proximity to one another and encroach on various County prescribed setbacks. The applicant lot is sub-standard in size, with the total lot size representing approximately one-half (3300 square feet) of the standard lot size with an R-6 zoning designation. The property is traversed sub-grade by a public sewer line, for which the applicant has received an encroachment permit, and a public storm water pipe, for which the applicant is proposing a setback that

CDVR19-01051 COA

adheres to the standard County prescribed guidelines for new construction, with exception of the nominal encroachment on the western portion of the lot as outlined in the submitted plan set.

- 2. Required Finding:** *That the exception is necessary for the preservation and enjoyment of substantial property rights of the Applicant.*

Given the sub-standard size of the existing lot, the County storm water setback requirements would render nearly 10% of otherwise usable lot square footage as unusable to construct a primary structure. When combined the prescribed County primary and secondary building setback requirements, these standard setback requirements as applied to the applicant lot would render approximately 60% of the total lot size as unusable for the construction of a primary structure. As such, the magnitude of the proposed storm water pipe setback area is substantial when compared to the total lot size.

Additionally, given the relatively narrow width of the existing/proposed building (approximately 20 feet) and the asymmetric path of travel west-to-east across the property line, reducing the primary structure size in order to strictly conform to the prescribed storm water pipe setback requirements has a substantial impact ipso facto on the overall structure dimensions outside of the setback. Reducing the proposed building footprint to conform to the standard prescribed storm water pipe setbacks would, therefore, create an additional, unintended burden on the applicant for the portion of the house that does not encroach on the proposed storm water setback area. The proposed overall structure and improvements as submitted are, as outlined by the County staff findings, consistent with the other neighboring structures with the historic neighborhood and R-6 zoning.

- 3. Required Finding:** *That the granting of the exception will not be materially detrimental to the public welfare or injurious to other property in the territory in which the property is situated.*

Considering the nominal dimensions of the encroachment into the proposed standard storm water pipe setback area and the relative positioning of adjacent neighboring structures within the historic district to the storm water pipe, the granting of this exception will not be materially detrimental nor injurious to other property.

CONDITIONS OF APPROVAL FOR COUNTY FILE #CDVR19-01051

Project Approval

- 1. Variance approval** is granted for the following:
 - A 1-foot, 10-inch side yard (where 5 feet is required) along the western property boundary; an 8-foot, 9-inch side yard (where 10 feet is required) along the

eastern property boundary; and a 10-foot, 8-inch side yard aggregate (where 15 feet is required) all for 1st and 2nd story additions to an existing single-family residence and a wooden deck;

- A 0-foot side yard along the western property boundary (where 3 feet is required) and a 17-foot, 6-inch front setback along the northern boundary for a retaining wall over 3-feet in height; and
 - A 0-foot side yard along the eastern property boundary (where 10 feet is required) for two tandem off-street parking spaces.
- 2. Small Lot Design Review approval** is granted to allow the construction of living space additions, covered balcony and porch additions, a new wooden deck and wading pool, and a retaining wall all as shown on the approved plans.
 - 3. Exception approval** is granted for a 2.5-foot width (where 3-feet is required) from the culvert wall to the building footprint as shown on the site plan dated October 21, 2020, provided the overall required easement width is preserved.
 - The approvals described above are granted based on and as shown on the following documents:
 - Application and materials received by the Department of Conservation, Community Development Division (CDD) on November 18, 2019.
 - Revised project plans received on October 22, 2020.

Any deviation from the approved plans shall require review and approval by the CDD and may require the filing of an application for a new Variance or Small Lot Design Review Permit.

General Provisions

- Grading and building permits from the County shall be obtained, as necessary, for any development approved as part of this permit.

Historical Resources (Port Costa Historic District)

- Prior to CDD stamp-approval of plans for the issuance of building permits,** the applicant shall submit a color palette for the exterior of the residence to staff of the CDD for review and approval.
- Prior to final building inspection,** applicant shall submit as-built color photographs to staff of the CDD for review and verification that the approved elevations (including design and shown exterior building materials) were correctly executed on site.

58 Canyon Lake Dr.
Port Costa, CA 94569

DRAFTING CAFE ARCHITECTS

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REVISIONS	NO.	DESCRIPTION	DATE

Conditions of Approval

DATE March 3, 2021

PROJECT 19066

SCALE 1/8" = 1'-0"

A0.2

Application Costs

8. This variance permit application was subject to an initial deposit of \$1,000.00. Applications are subject to time and material costs if the application review expenses exceed the initial deposit. Any additional fees due must be paid prior to an application for a grading or building permit, or 60 days of the effective date of this permit, whichever occurs first.

Construction Restrictions

9. The owners and their contractors shall comply with the following restrictions and requirements:

- A. All construction activities, including delivery of construction materials, shall be limited to the hours of 8:00 A.M. to 5:00 P.M., Monday through Friday, and are prohibited on State and Federal holidays on the calendar dates that these holidays are observed by the State or Federal government as listed below:

- New Year's Day (State and Federal)
Birthday of Martin Luther King, Jr. (State and Federal)
Washington's Birthday (Federal)
Lincoln's Birthday (State)
President's Day (State and Federal)
Cesar Chavez Day (State)
Memorial Day (State and Federal)
Independence Day (State and Federal)
Labor Day (State and Federal)
Columbus Day (State and Federal)
Veterans Day (State and Federal)
Thanksgiving Day (State and Federal)
Day after Thanksgiving (State)
Christmas Day (State and Federal)

For details on the dates the State and Federal holidays occur, please visit the following websites:

Federal: http://www.federalreserve.gov/aboutthefed/k8.htm
State: http://www.sos.ca.gov/state-holidays/

- B. Transporting of heavy equipment and trucks shall be limited to weekdays between the hours of 9:00 AM and 4:00 PM and prohibited on Federal and State holidays.
C. A good faith effort shall be made to avoid interference with existing neighborhood traffic flows and to minimize project-related disruptions to adjacent properties.
D. Construction equipment and materials shall be stored onsite.
E. The construction site shall be maintained in an orderly fashion. Litter and debris shall be contained in appropriate receptacles and shall be disposed of as necessary.
F. Any debris found outside the site shall immediately be collected and deposited in appropriate receptacles.
G. All stationary noise-generating equipment such as air compressors and concrete pumps shall be located as far away from adjacent residences as possible.
10. At least 45 days prior to the issuance of any building or grading permit, the property owner must calculate and establish the Base Flood Elevation (B.S.E) and submit to the Contra Costa County Public Works Department and CDD for consideration and verification.

PUBLIC WORKS RECOMMENDED

CONDITIONS OF APPROVAL FOR PERMIT CDVR19-01051

Applicant shall comply with the requirements of Title 8, Title 9 and Title 10 of the Ordinance Code. Any exception(s) must be stipulated in these Conditions of Approval. Conditions of Approval are based on the site plans submitted to the Department of Conservation and Development, Community Development Division, on October 21, 2020.

COMPLY WITH THE FOLLOWING CONDITIONS OF APPROVAL PRIOR TO ISSUANCE OF A BUILDING PERMIT AND PRIOR TO INITIATION OF THE USE PROPOSED UNDER THIS PERMIT.

- 11. A private storm drain easement, conforming to the width specified in Section 914-14.004 of the County Ordinance Code, shall be dedicated over the existing storm drain line traversing the site for use of the owners of Lots 15 and 16, Block 3, Town of Port Costa (CC Public Works Map T-173).

Exception (Subject to Advisory Agency findings and approval)

Applicant shall be granted for a 2.5-foot width (where 3-feet is required) from the culvert wall to the building footprint as shown on the site plan dated October 21, 2020, provided the overall required easement width is preserved.

ADVISORY NOTES

ADVISORY NOTES ARE NOT CONDITIONS OF APPROVAL; THEY ARE PROVIDED TO ALERT THE APPLICANT TO ADDITIONAL ORDINANCES, STATUTES, AND LEGAL REQUIREMENTS OF THE COUNTY AND OTHER PUBLIC AGENCIES THAT MAY BE APPLICABLE TO THIS PROJECT.

- A. NOTICE OF OPPORTUNITY TO PROTEST FEES, ASSESSMENTS, DEDICATIONS, RESERVATIONS OR OTHER EXACTIONS PERTAINING TO THE APPROVAL OF THIS PERMIT.

Pursuant to California Government Code Section 66000, et seq., the applicant has the opportunity to protest fees, dedications, reservations or exactions required as part of this project approval. To be valid, a protest must be in writing pursuant to Government Code Section 66020 and must be delivered to the Community Development Division within a 90-day period that begins on the date that this project is approved.

- B. Additional requirements may be imposed by the following agencies and departments:

- Contra Costa County Building Inspection Division
Contra Costa Environmental Health Division
Crockett-Carquinez Fire Protection District
Crockett Sanitary District
Contra Costa Water District

The Applicant is strongly encouraged to review these agencies' requirements prior to continuing with the project.



Federal Emergency Management Agency
Washington, D.C. 20472

January 22, 2021

MR. GREGORY ST. JOHN
ST. JOHN LAND CONSULTING
846 CLIFTON COURT
BENICIA, CA 94510

CASE NO.: 21-09-0425A
COMMUNITY: CONTRA COSTA COUNTY, CALIFORNIA (UNINCORPORATED AREAS)
COMMUNITY NO.: 060025

DEAR MR. ST. JOHN:

This is in reference to a request that the Federal Emergency Management Agency (FEMA) determine if the property described in the enclosed document is located within an identified Special Flood Hazard Area, the area that would be inundated by the flood having a 1-percent chance of being equalled or exceeded in any given year (base flood), on the effective National Flood Insurance Program (NFIP) map.

Additional documents are enclosed which provide information regarding the subject property and LOMAs. Please see the List of Enclosures below to determine which documents are enclosed. Other attachments specific to this request may be included as referenced in the Determination/Comment document.

Sincerely,

Luis V. Rodriguez, P.E., Director
Engineering and Modeling Division
Federal Insurance and Mitigation Administration

LIST OF ENCLOSURES:
LOMA-DEN DETERMINATION DOCUMENT (NON-REMOVAL)

cc: State/Commonwealth NFIP Coordinator
Community Map Repository
Region

Form with header: Federal Emergency Management Agency, LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (NON-REMOVAL), ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS). Includes text about the National Flood Insurance Program map and a signature block for Luis V. Rodriguez.

Form with header: Federal Emergency Management Agency, LETTER OF MAP AMENDMENT DETERMINATION DOCUMENT (NON-REMOVAL). Includes a table for DETERMINATION with columns for LOT, BLOCK/SECTION, SUBDIVISION, STREET, FLOOD ZONE, etc.



Federal Emergency Management Agency
Washington, D.C. 20472

ADDITIONAL INFORMATION REGARDING DENIALS OF REQUESTS FOR LETTERS OF MAP AMENDMENT AND LETTERS OF MAP REVISION BASED ON FILL

When making determinations on requests for Letters of Map Amendment (LOMAs) and Letters of Map Revision based on the placement of fill (LOMR-Fs), the Department of Homeland Security's Federal Emergency Management Agency (FEMA) bases its determination on the flood hazard information available at the time of the determination.

Requesters also should be aware that FEMA's denial of a request to remove a property (parcel of land or structure) from the Special Flood Hazard Area (SFHA) means FEMA has determined the property is subject to inundation by the flood having a 1-percent chance of being equalled or exceeded in any given year (base flood).

If FEMA denies a request for a LOMA because the elevation of the lowest adjacent grade (the lowest ground touching a structure) is below the BFE and that elevation is raised to or above the BFE by the placement of fill material, the requester may submit the appropriate supporting data and request a LOMR-F in accordance with Paragraph 65.5(a)(4) of the NFIP regulations.

If fill material is used to elevate the lowest ground touching the structure and the lowest floor (including basement/crawl space) to or above the BFE, the requester also must submit a completed copy of Form 4, "Community Acknowledgment of Requests Involving Fill," from the MT-1 application forms package that is to be used for all LOMR-F requests.

Effective October 1, 1996, FEMA revised the fee schedule for reviewing and processing requests for conditional and final modifications to published flood information and maps, thereby establishing flat review and processing fees for most types of requests.

LOMAENC-2 (LOMA Denial)

58 Canyon Lake Dr.
Port Costa, CA 94569

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Table with columns: REVISIONS, NO., DESCRIPTION, DATE. Includes a row for 'Conditions of Approval & FEMA Letter of Map Amendment' with date March 3, 2021.

Conditions of Approval & FEMA Letter of Map Amendment

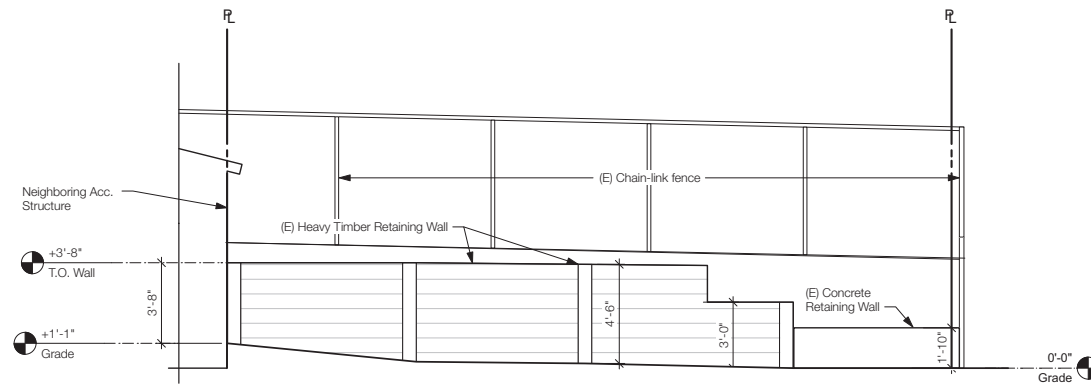
DATE: March 3, 2021
PROJECT: 19066
SCALE: 1/8" = 1'-0"

A0.3

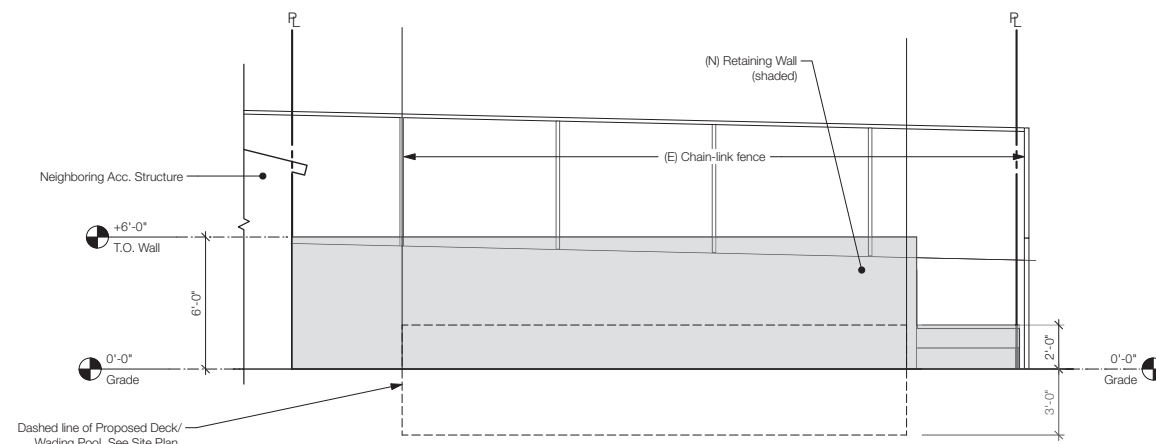
EXISTING DOOR SCHEDULE							
ID Label	Qty.	Width	Height	Type	Material	Finish	Notes
Existing							
1	1	28"	68"	Swing Simple			
2	1	2'10"	70"	Swing Simple			

EXISTING WINDOW SCHEDULE						
Id Label	Qty.	Operation	Width	Height	Manufacturer	Notes
Existing						
1	1	Single Hung	16"	28"		
2	1	Single Hung	26"	30"		
3	2	Single Hung	28"	48"		
4	1	Single Hung	30"	30"		
5	2	Single Hung	3'2"	48"		
6	1	Single Hung	3'2"	50"		
7	1	Single Hung	3'6"	50"		

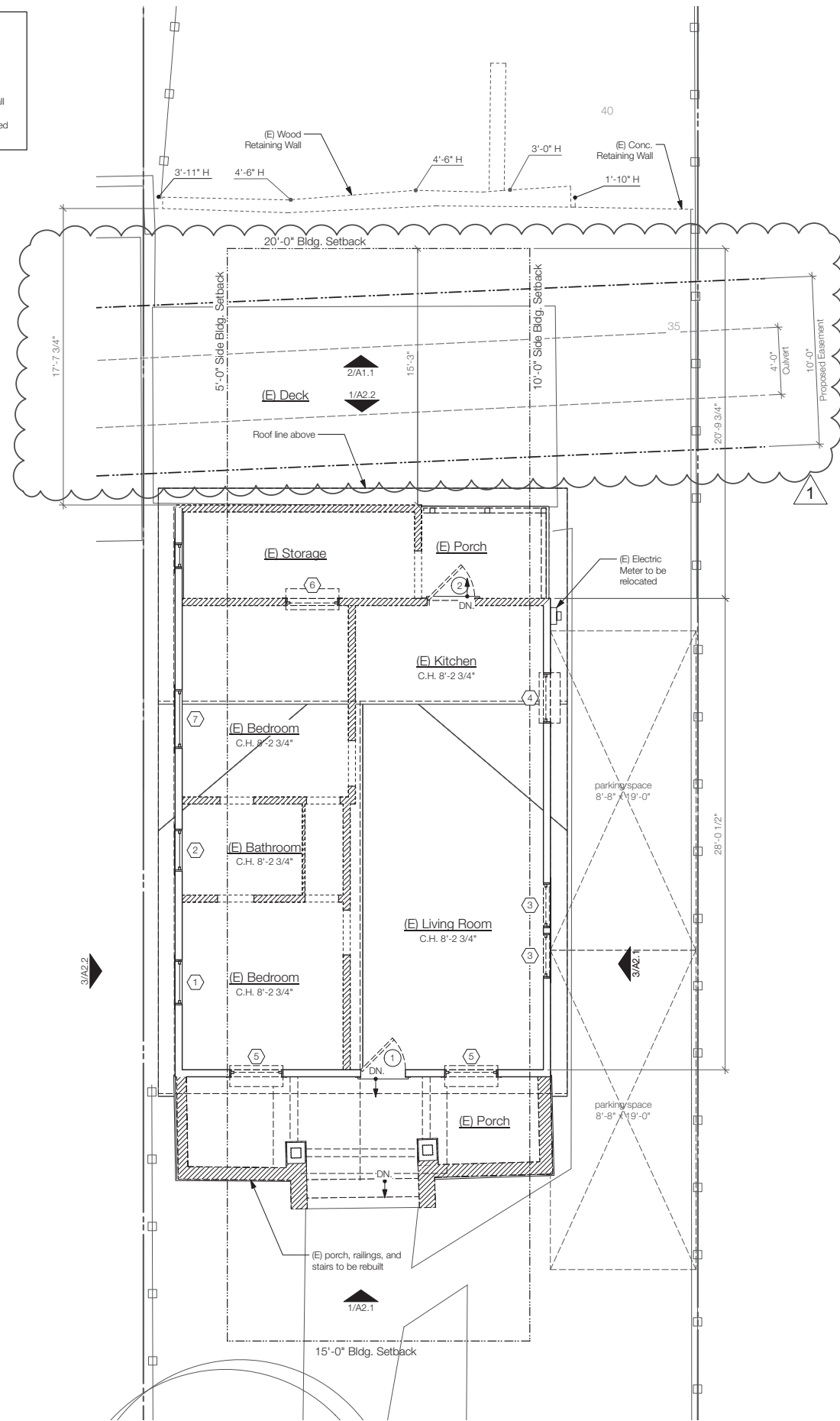
Wall Legend	
	(E) Wall
	(N) Wall
	(N) 1-hr rated fire wall
	Wall to be Demolished



2 Existing Retaining Wall
1/4" = 1'-0"



3 Proposed Retaining Wall
1/4" = 1'-0"



1 Main Floor Plan - Existing
1/4" = 1'-0"



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REVISIONS	NO.	DESCRIPTION	DATE

Existing Floor Plans /
Existing & Proposed
Retaining Wall Elevations
DATE: March 3, 2021
PROJECT: 19066
SCALE: 1/4" = 1'-0"

A1.1

Residential Building Code (CRC)

Flame spread index and smoke-developed index for insulation.

Insulation materials shall have a flame spread index not to exceed 25 and smoke-developed index not to exceed 450 where tested in accordance with ASTM E84 or UF 723.

Interior finish materials.

Wall and ceiling finishes shall have a flame spread index of not greater than 200 and a smoke-developed index of not greater than 450.

Interior finish materials.

Interior finish materials shall be installed in a way that prevents them from becoming detached when subjected to room temperatures of 200°F for at least 30 minutes.

Outside opening protection.

Air exhaust and intake openings shall be protected with corrosion-resistant screens, louvers or grilles having an opening size of not less than 1/4 inch and a maximum opening size of 1/2 inch, in any dimension.

Habitable space.

Provide a heating system capable of maintaining a minimum indoor temperature of 68 degrees F at a level 3'-0" above the floor.

Bathtub and shower spaces.

Showers and tub/shower combinations shall be finished with a nonabsorbent surface to at least 6 feet above the floor.

Glazing and Wet Surfaces.

Tempered glazing shall be provided in walls or enclosures containing bathtubs or showers, or facing tubs where the bottom exposed edge of the glazing is less than 60 inches measured vertically above any standing or walking surface. Exception: Glazing that is more than 60 inches measured horizontally and in a straight line, from the water's edge of a bathtub, hot tub, spa or whirlpool.

Alarm listings.

Smoke alarms shall be listed in accordance with UL 217. Carbon monoxide alarms shall be listed in accordance with UL 2034. Combination smoke and carbon monoxide alarms shall be listed in accordance with both UL 217 and UL 2034.

Alarm interconnection and power.

Smoke and carbon monoxide alarms are required to be interconnected such that activation of one alarm will activate all of the alarms and shall receive their primary power from the building wiring. Interconnection is not required where repairs or alterations to existing buildings do not result in the removal of wall and ceiling finishes and there is no access by means of attic, basement or crawl space.

Under-floor ventilation.

193. Under-floor ventilation. A minimum of 1 sq ft of ventilation opening is required in under-floor areas per 150 sq ft of under-floor area. Each corner of the building shall have at least one ventilation opening shall be within 3 ft of each corner. Ventilation may be reduced to 1/1500 if a Class I vapor retarder covers the ground and the vents are located to provide cross ventilation.

Attic venting.

Attic vents should provide a net ventilation area of at least 1/150 of the attic area. Net area of the vents may be reduced to 1/300 of the attic area if 40%-50% of ventilation is provided within 3 feet of the ridge, but may be lower where framing members prevent it. The remainder of vents should be eave vents.

Vent and insulation clearance.

Insulation should not block air flow at eave and cornice vents. At least one inch of space shall be provided at the location of the vent and between the insulation and roof sheathing.

Plumbing Code(CPC)

Mixing valves.

Provide showers and tub-shower combinations with individual control valves that are pressure balancing, thermostatic or combination mixing valve type that prevent scald and thermal shock protection. Installer shall adjust such valves per manufacturer's instructions to deliver a maximum mixed water setting of 120°F.

Shower dam or threshold.

Shower dams and thresholds shall be between 2 inches and 9 inches in depth where measured from the top of the dam or threshold to the top of the drain. The shower floor shall slope no more than 1/4 inch per foot, and not less than 1/8 inch per foot. Control valves and shower heads shall be located on the sidewall of shower compartments or be otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment. Shower doors shall open outward with a minimum 22 inches unobstructed opening for egress. Shower pan dimensions must be a minimum area of 1024 square inches and a minimum finish dimension of 30 inches in any direction.

Dishwasher.

No domestic dishwashing machine shall be directly connected to a drainage system or food waste disposer without the use of an approved dishwasher air gap fitting on the discharge side of the dishwashing machine. All new dishwashers must have a hammer arrester. GFCI protection shall be provided for outlets that supply dishwashers installed in dwelling unit locations.

Water heater installation.

Indoor water heater vent. Water heaters in closets or other enclosed areas shall be provided with adequate make-up air. One vent shall be within 12 inches of the top of the enclosed area, and one vent within 12 inches of the bottom. Each vent shall have a free area of not less than 1 square inch per 1,000 Btu/h of the total input rating of the appliances within the space.

Water heater sizing. The new water heater(s) shall be sized to comply with the first hour rating required by CPC Table 501.1(1), 210.

Water heater strapping. Water heaters with tanks shall be anchored or strapped to resist horizontal displacement due to earthquake motion. Strapping shall be at points within the upper one third and lower one-third of its vertical dimensions. At the lower point, a minimum distance of four inches shall be maintained above the controls with the strapping.

Water heater installation in garage. Appliances in garages and in adjacent spaces that open to the garage and are not part of the living space of a dwelling unit shall be installed so that burners and burner-ignition devices are located not less than 18 inches above the floor unless listed as flammable vapor ignition resistant.

Water Hammer.

Devices such as dishwashers and washing machines that have quick-acting valves require a water hammer arrester installed as close as possible to the device.

Mechanical Code (CMC)

Air vents.

Air vents shall be covered with a screen having openings between 1/4 inch and 1/2 inch, and shall be designed to prevent rain intrusion.

Environmental air vents.

Termination of all environmental air ducts (e.g., bath fan, dryer vent, range hood, etc.) shall be at least 3 feet from a property line and from openings into the building, and 10 feet from a forced air inlet.

Laundry Makeup Air.

A minimum opening of 100 square inches for makeup air shall be provided in the laundry closet door or by other approved means. Moisture exhaust duct shall terminate to the outside and shall be equipped with a back-draft damper. Exhaust duct length is limited to a combined horizontal and vertical length of 14 feet with 2 elbows. Two feet shall be deducted for each 90 degree elbow in excess of two.

CalGreen(CGBSC)

Water closets.

The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the US EPA WaterSense Specification for Tank-type Toilets.

Single showerhead.

Showers with a single showerhead shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the US EPA WaterSense Specification for Showerheads.

Residential lavatory faucets.

The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

Kitchen faucets.

The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi.

Rodent proofing.

Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.

Owner manual.

An operation and maintenance manual shall be provided to the building occupant or owner.

Duct openings during construction.

Duct openings and other related air distribution component openings shall be covered during construction.

Adhesives, sealants and caulks.

Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.

Paints, stains and other coatings.

Paints, stains and other coatings shall be compliant with VOC limits.

Aerosol paints and coatings.

Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.

Compliance documentation.

Documentation shall be provided to verify that compliant VOC limit finish materials have been used.

Carpet and carpet systems.

Carpet and carpet systems shall be compliant with VOC limits.

Wood products.

Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.

Moisture content.

Moisture content of building materials used in wall and floor framing shall be checked before enclosure. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content.

Bathroom Ventilation.

Fans in bathrooms containing a tub or shower to be controlled by a humidistat and be energy star rated. Humidity controls shall be capable of adjustment between a relative humidity of 50% and 80%. If the bathroom fan provides continuous ventilation as required by the Energy Code it is exempt.

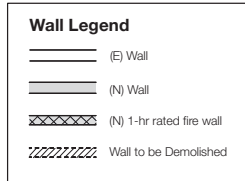
Grading and paving.

If the project disrupts the existing drainage path, the plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.

Civil Code

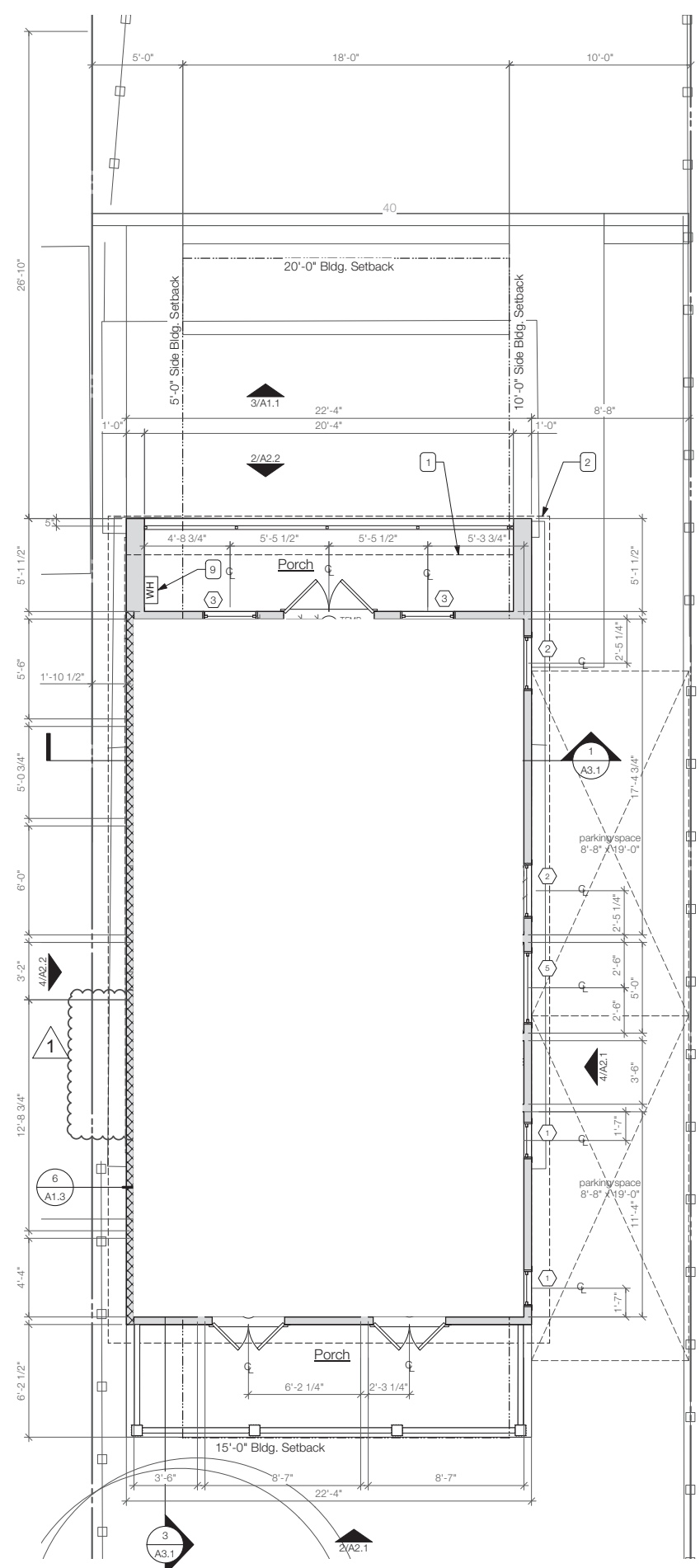
Noncompliant plumbing fixtures

All noncompliant plumbing fixtures must be replaced to meet current water-conserving standards if property was built before Jan. 1, 1994, (California Civil Code sections 1101.1 through 1101.8).

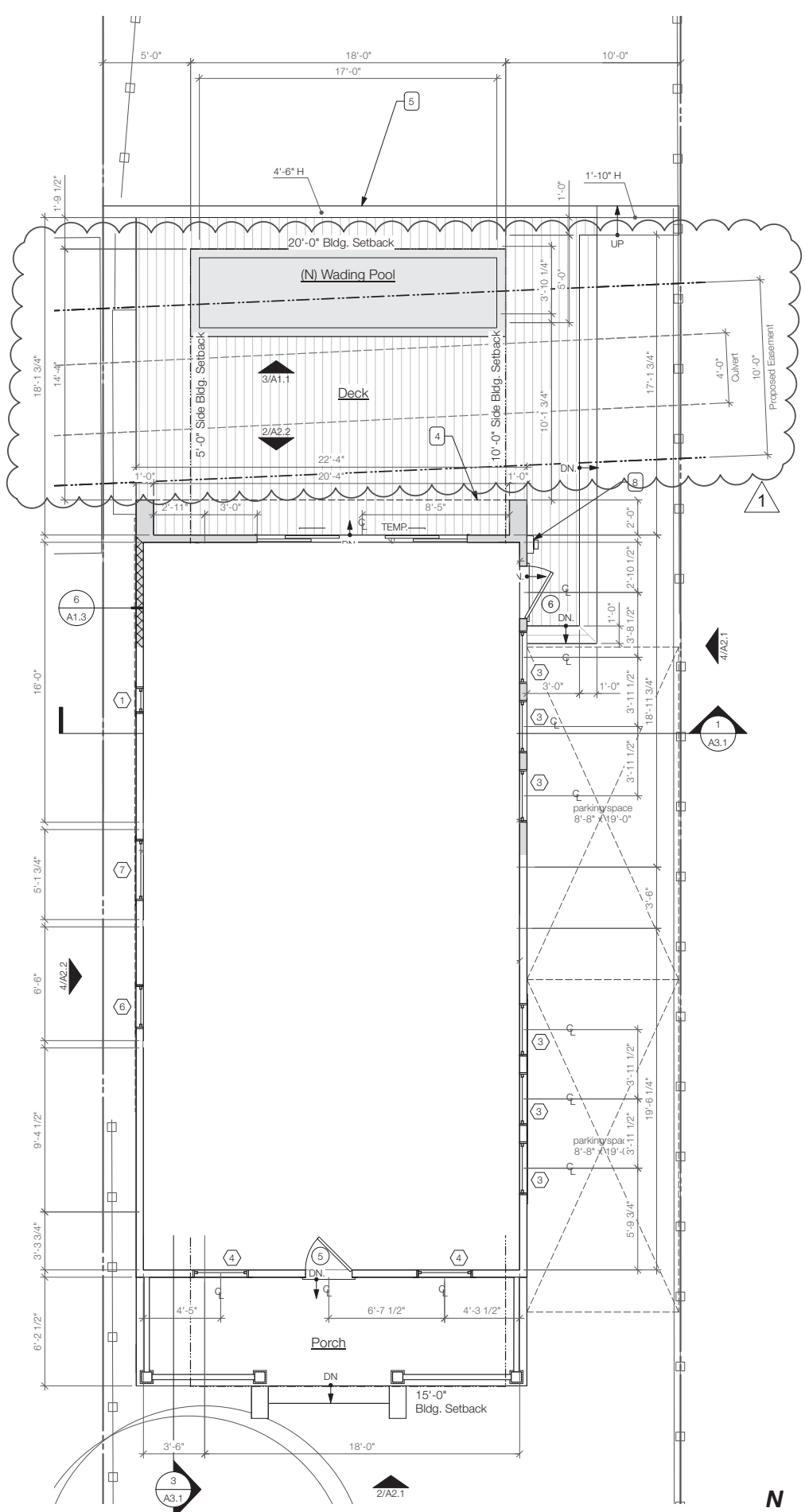


Keynotes

1. Indicates Lower Level Exterior Wall
2. Roof line above
- (N) countertop above washer and dryer
4. Indicates Upper Level Cantilever
- (N) Concrete Retaining Wall (shaded)
6. Provide 5/8" Type 'X' gyp. board at underside of stair
- (N) Upper Cabinets
- (N) Electric Meter
- (N) Tankless Water Heater



2 Proposed Upper Floor Plan
1/4" = 1'-0"



1 Proposed Main Floor Plan
1/4" = 1'-0"



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REVISIONS	NO.	DESCRIPTION	DATE	

Proposed Floor Plans

DATE March 3, 2021

PROJECT 19066

SCALE 1/4" = 1'-0"

A1.2

Attic Vent Calculations:

Proposed (N) Attic

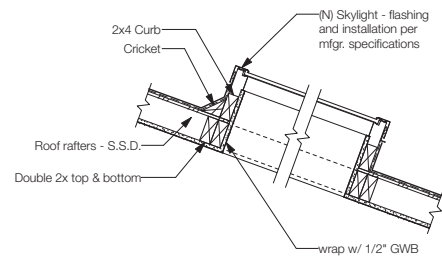
Attic Area at Second Floor: 827 SF
Vent factor: 1/150

$(827 \text{ SF} \times 1/150) 144 \text{ in}^2 / 11 \text{ ft}^2 = 794 \text{ s.i.}$

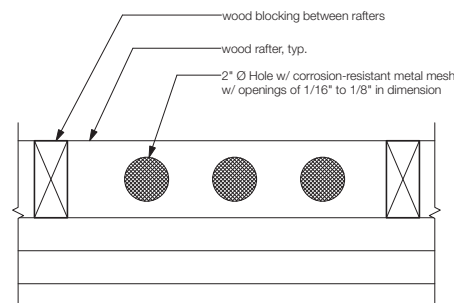
Req'd Net Free Ventilation Area (NFVA): 794 s.i.

Ridge vent: $(20 \text{ s.i. NFVA per ft}) \times (30 \text{ ft}) = 600.0 \text{ s.i.}$
Eave Vent: 9.42 NFVA per segment, 21 segments = 197.8

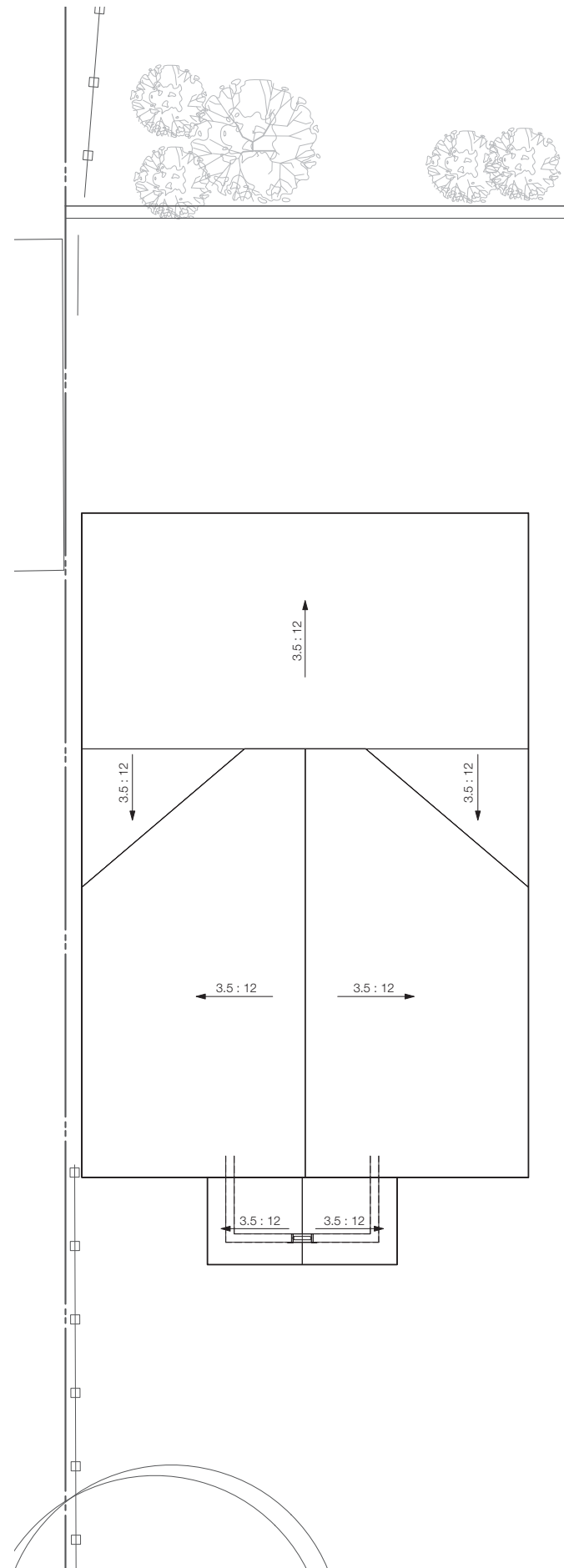
$600 \text{ s.i.} + 197.8 \text{ s.i.} = \mathbf{797.8 \text{ s.i. NFVA provided}}$



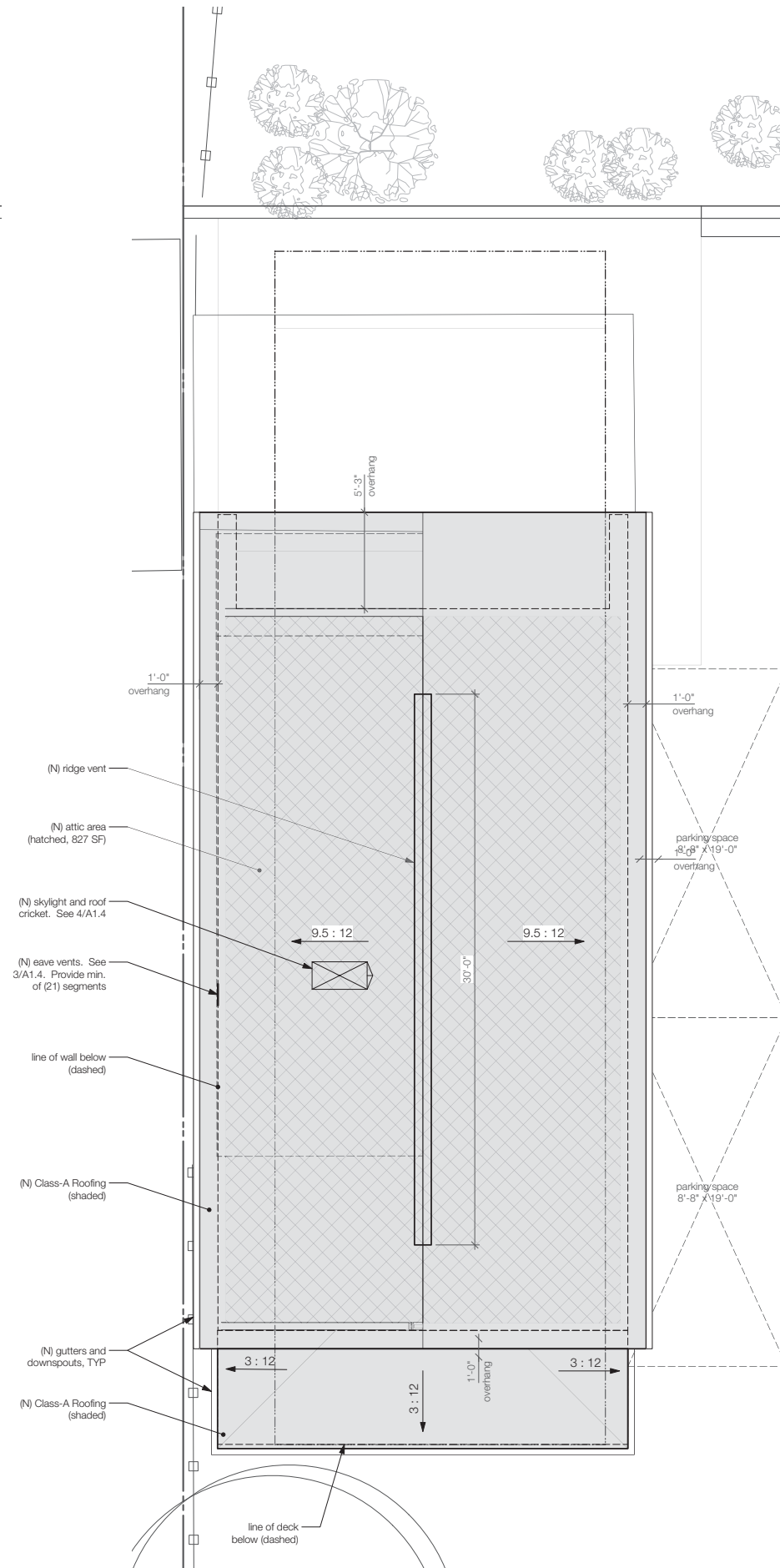
4 Skylight
Scale: 1" = 1'-0"



3 Typical Eave Vent
Scale: 3" = 1'-0"



2 Existing Roof Plan
1/4" = 1'-0"



1 Proposed Roof Plan
1/4" = 1'-0"



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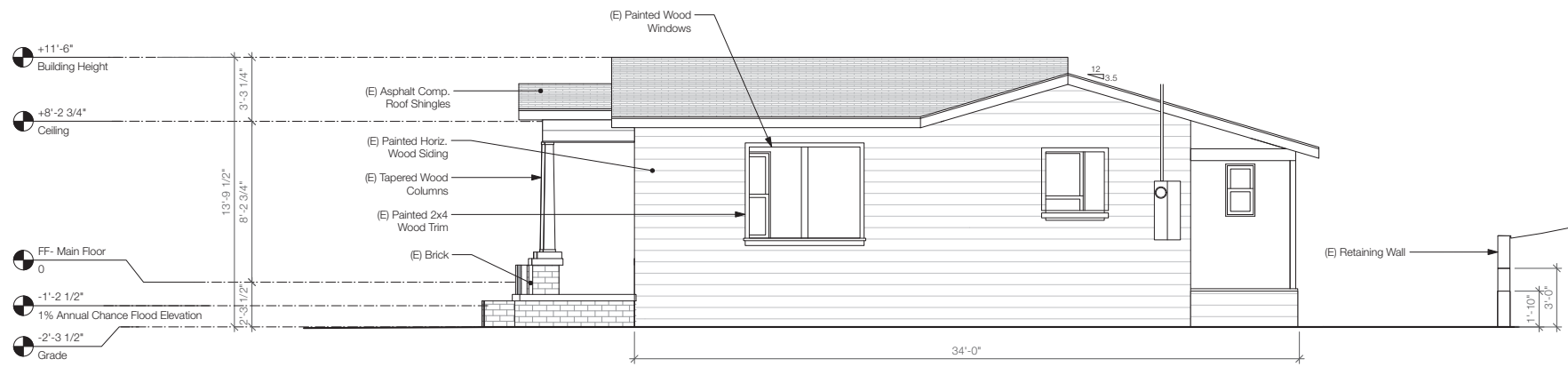
Existing & Proposed Roof Plans

DATE: March 3, 2021

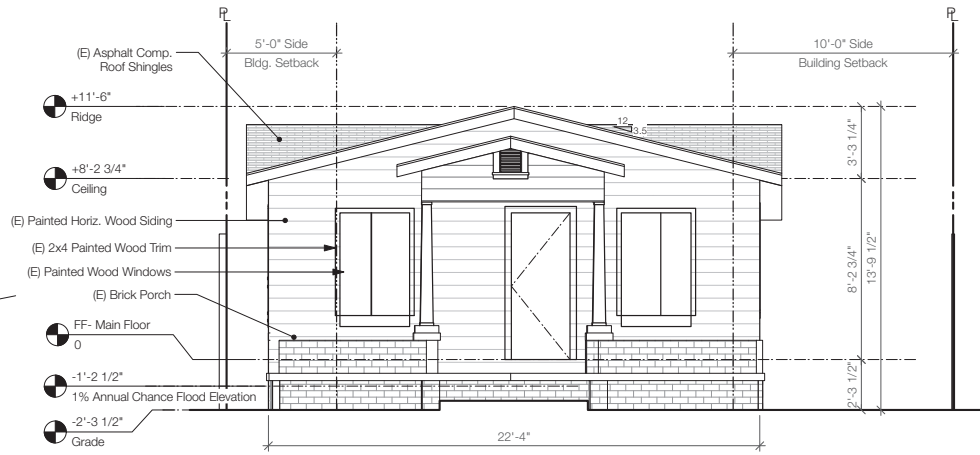
PROJECT: 19066

SCALE: as noted

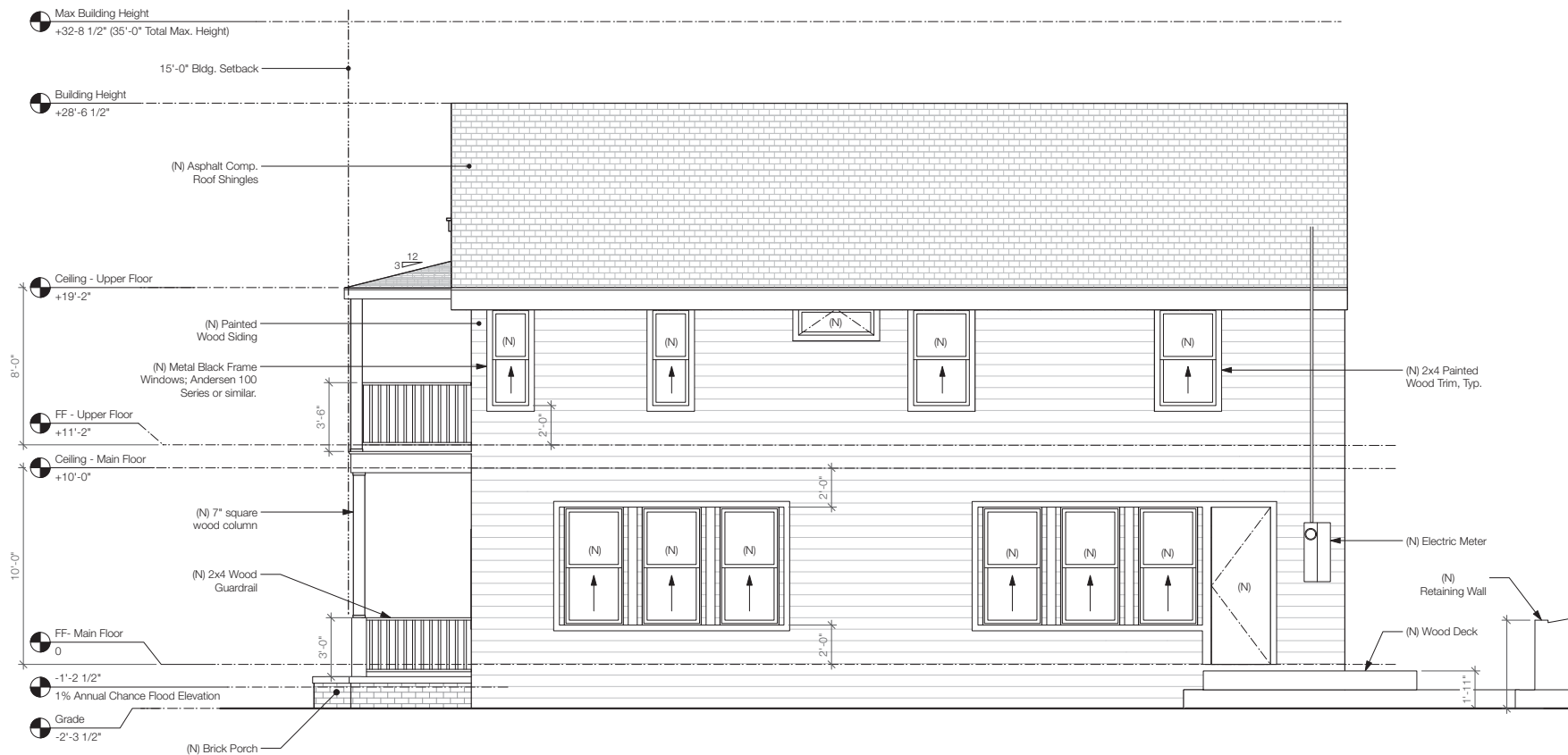
A1.4



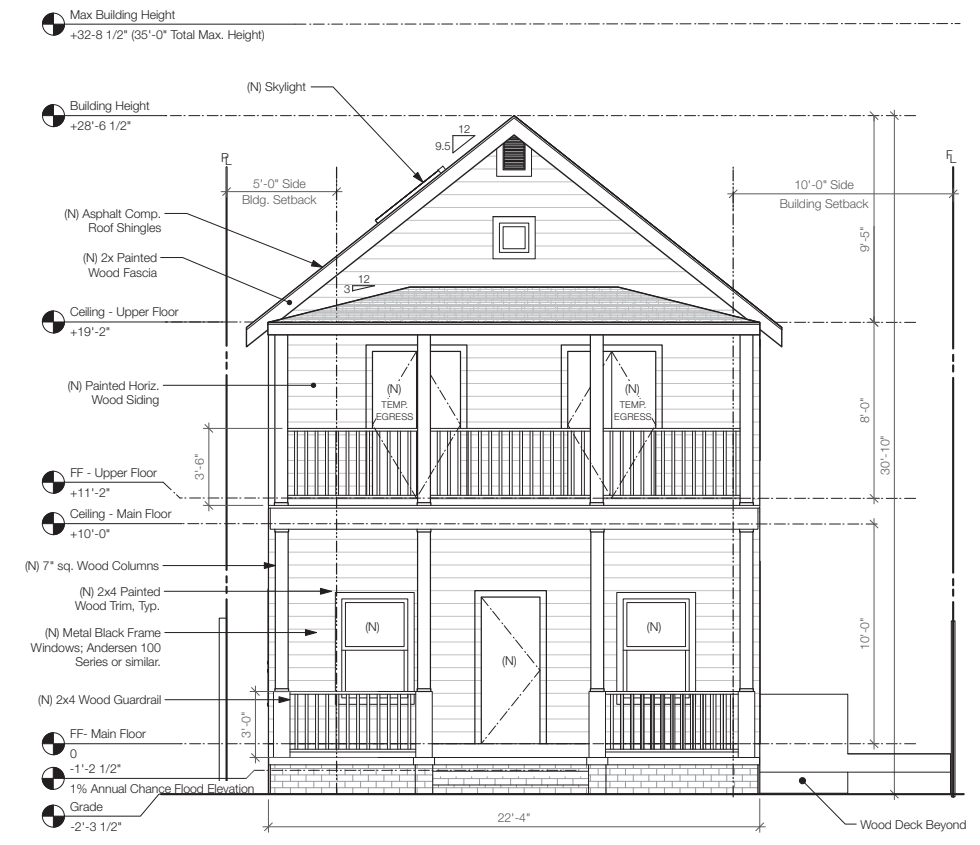
3 East (Side) Elevation - Existing
1/4" = 1'-0"



1 South (Front) Elevation - Existing
1/4" = 1'-0"



4 East (Side) Elevation - Proposed
1/4" = 1'-0"



2 South (Front) Elevation - Proposed
1/4" = 1'-0"

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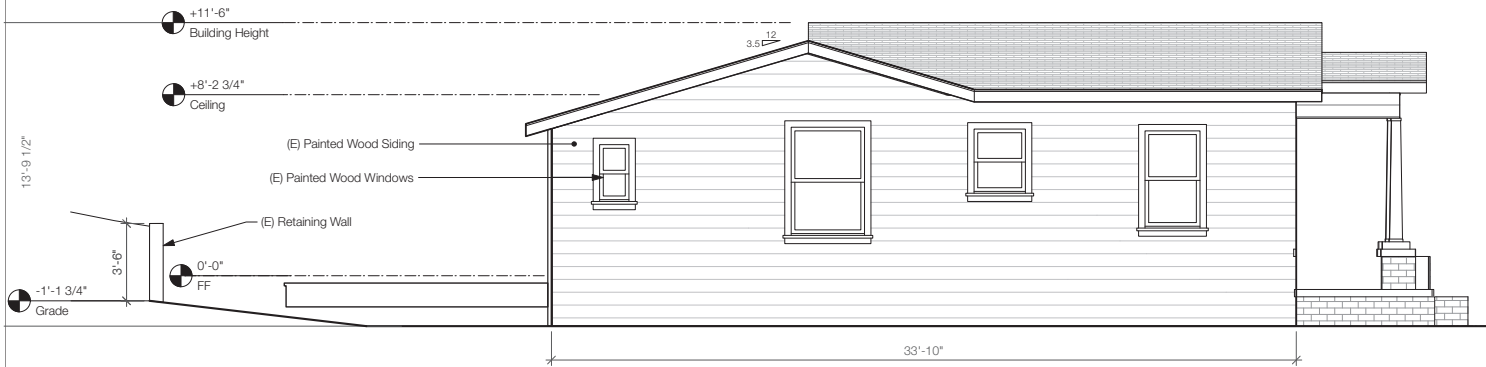
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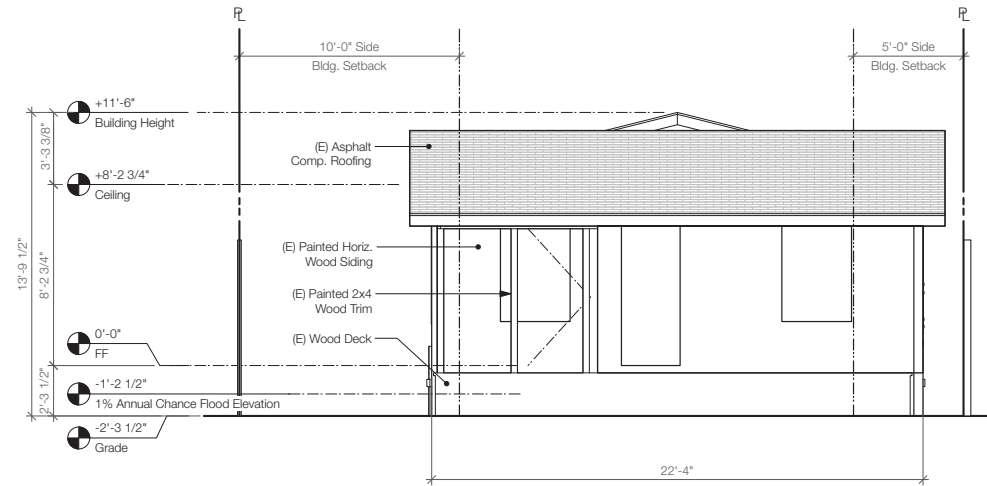
REVISIONS	NO.	DESCRIPTION	DATE

Existing & Proposed Elevations	
DATE	March 3, 2021
PROJECT	19066
SCALE	1/4" = 1'-0"

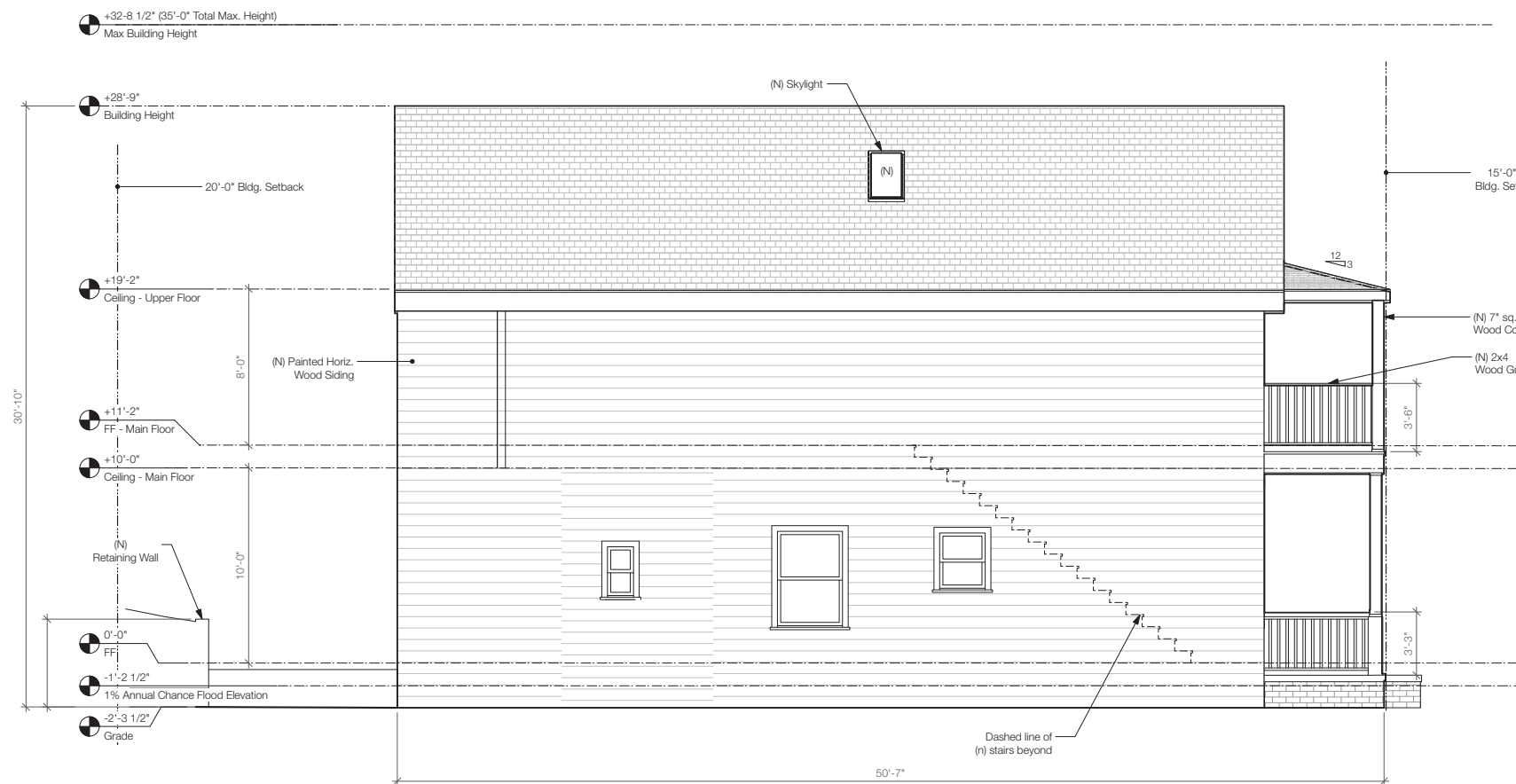
A2.1



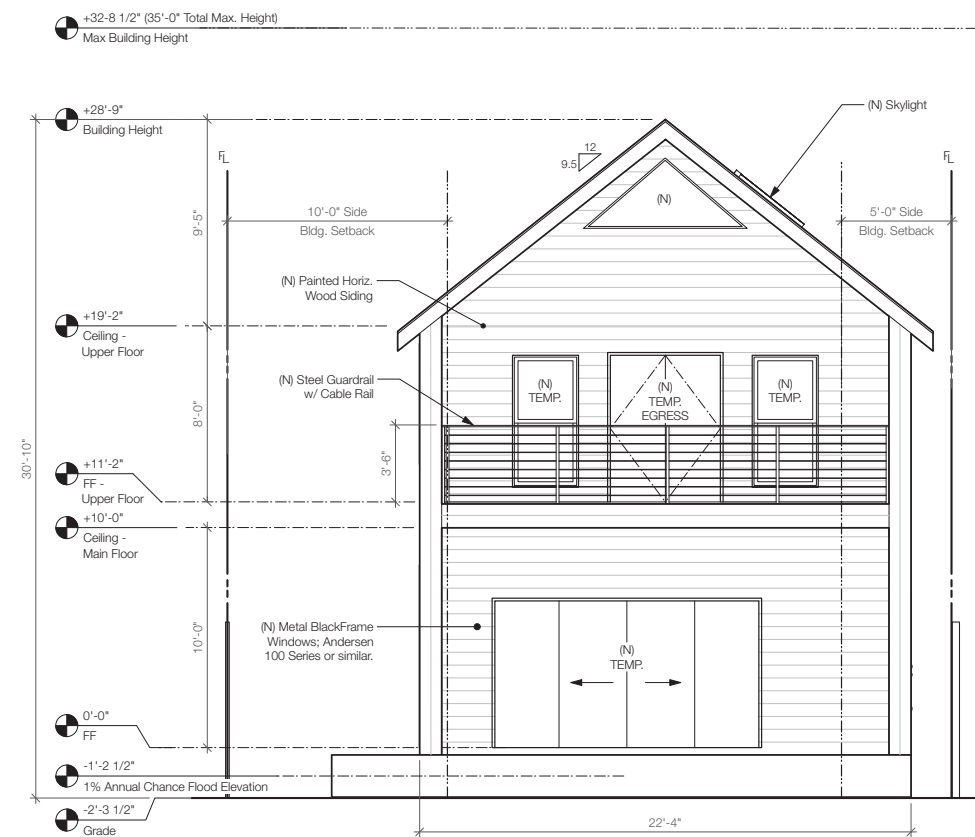
3 West (Side) Elevation - Existing
1/4" = 1'-0"



1 North (Rear) Elevation - Existing
1/4" = 1'-0"



4 West (Side) Elevation - Proposed
1/4" = 1'-0"



2 North (Rear) Elevation - Proposed
1/4" = 1'-0"

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REVISIONS	NO.	DESCRIPTION	DATE

Existing & Proposed Elevations

DATE March 3, 2021

PROJECT 19066

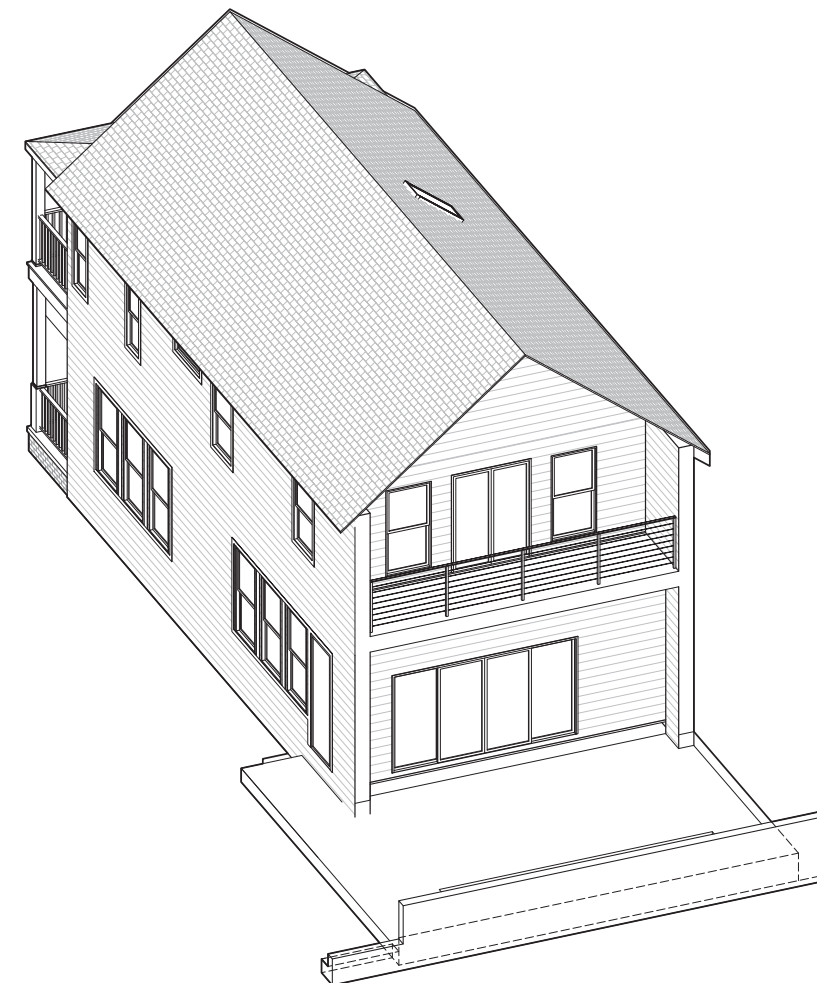
SCALE 1/4" = 1'-0"

A2.2

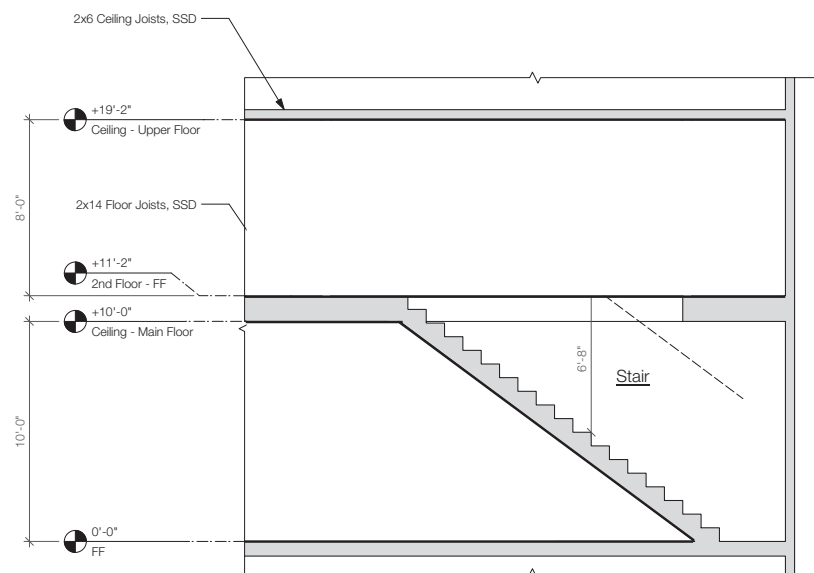
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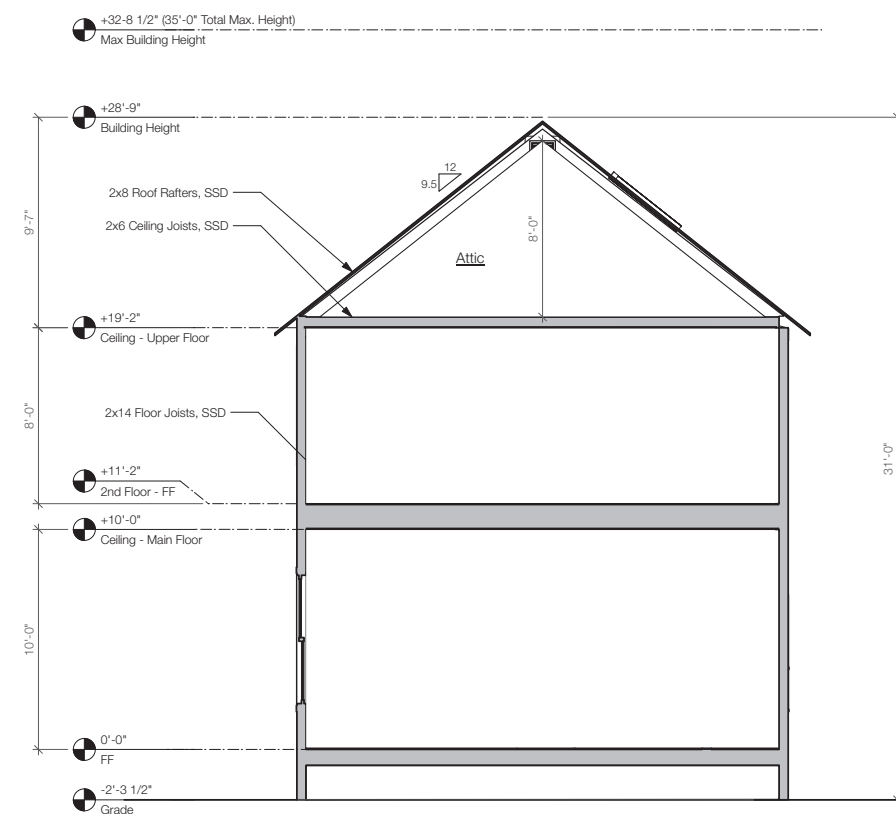
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2 3D Aerial Image
not to scale



3 Stair Cross Section
Scale: 1/4" = 1'-0"



1 Building Section
1/4" = 1'-0"

REVISIONS	NO.	DESCRIPTION	DATE

Cross Sections & 3D Aerial Image

DATE: March 3, 2021
PROJECT: 19066
SCALE: as noted

A3.1