

SECOND FLOOR ROOF PLAN WITH PATIO LOCATIONS BELOW

arcomgroup@aol.com
ANTHONY M. CHIARAVALLI, III

ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THE ARCHITECTURAL COMMUNICATIONS GROUP, INC. AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF THESE IDEAS, DESIGNS, PLANS, ARRANGEMENTS, AND SPECIFICATIONS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, CORPORATION OR FIRM FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECTURAL COMMUNICATIONS GROUP. INCORPORATED. VISUAL CONTACT WITH THESE PLANS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS WHERE REQUIRED. SHOP DETAILS AND DRAWINGS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION OF ANY WORK.

REVISIONS

CONSULTANTS

DAVID MONTALBO
& TAMBRI HEYDEN
RESIDENCE
1731 1ST AVE.
WALNUT CREEK, CA 94597

2ND FLOOR
ROOF PLAN

DATE: 7/15/2019

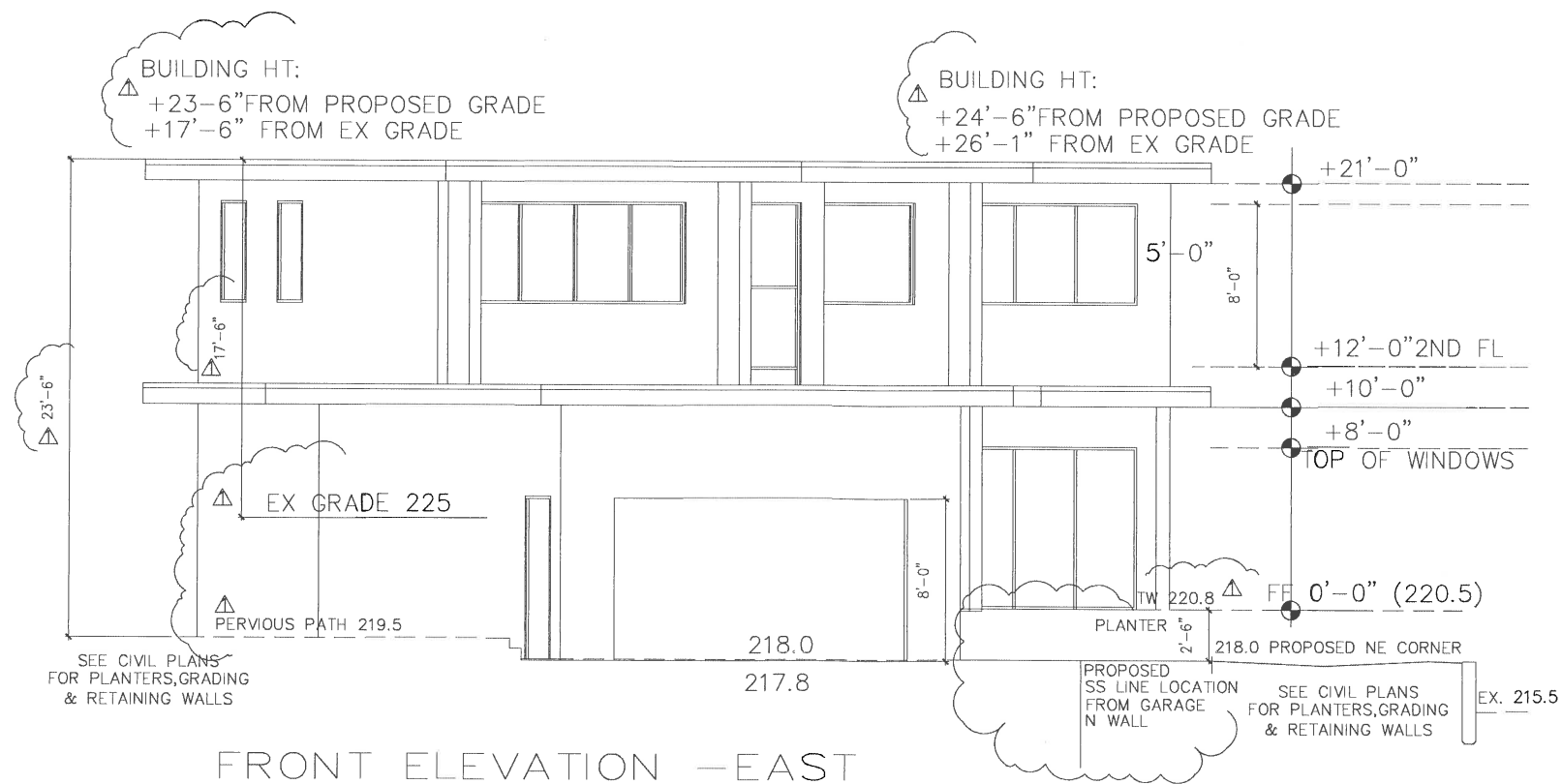
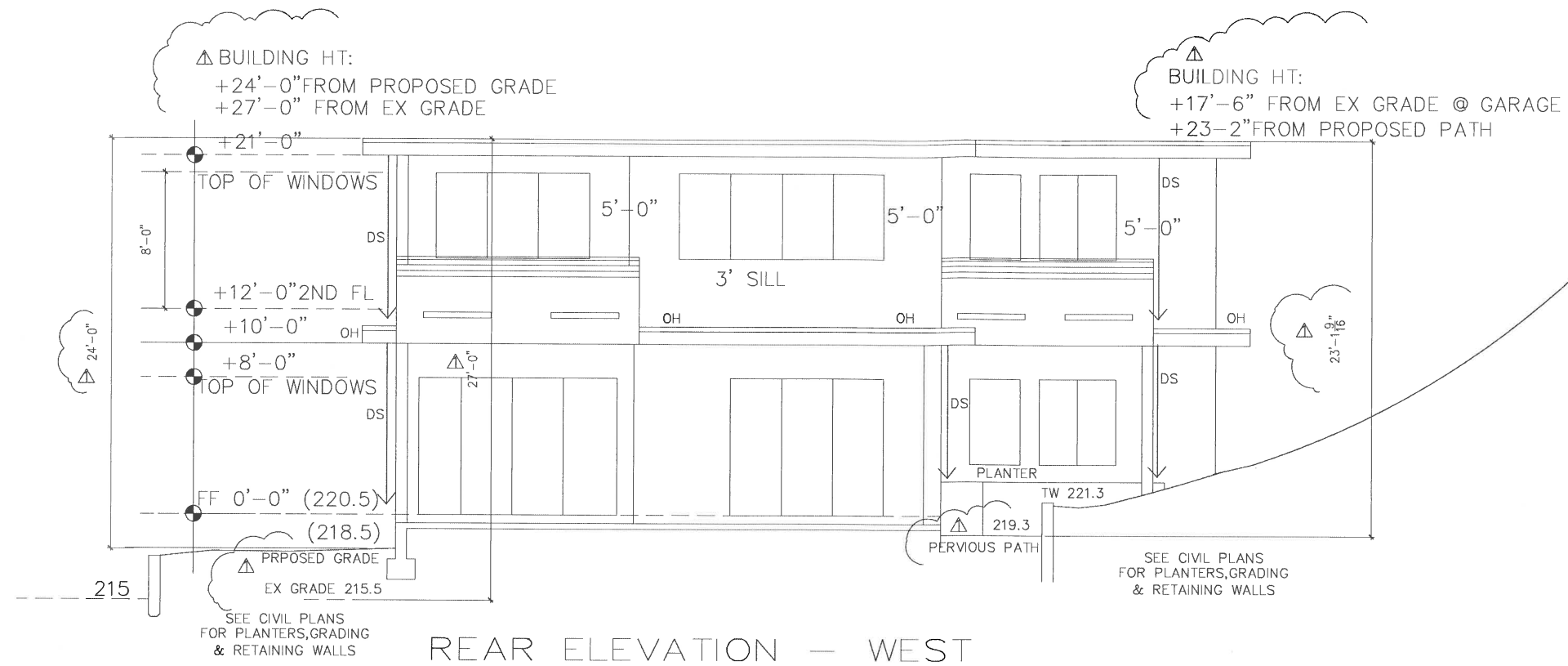
SCALE: 1/4"=1'-0"

DRAWN:

JOB:

SHEET **A - 4**

OF SHEETS



arcomgroup@aol.com
ANTHONY M. CHIARAVALLOTI, III

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REVISIONS

10/3/2019

CONSULTANTS

DAVID MONTALBO
& TAMBRI HEYDEN
RESIDENCE
1731 1ST AVE.
WALNUT CREEK, CA 94597

ELEVATIONS & NOTES

DATE: 7/15/2019

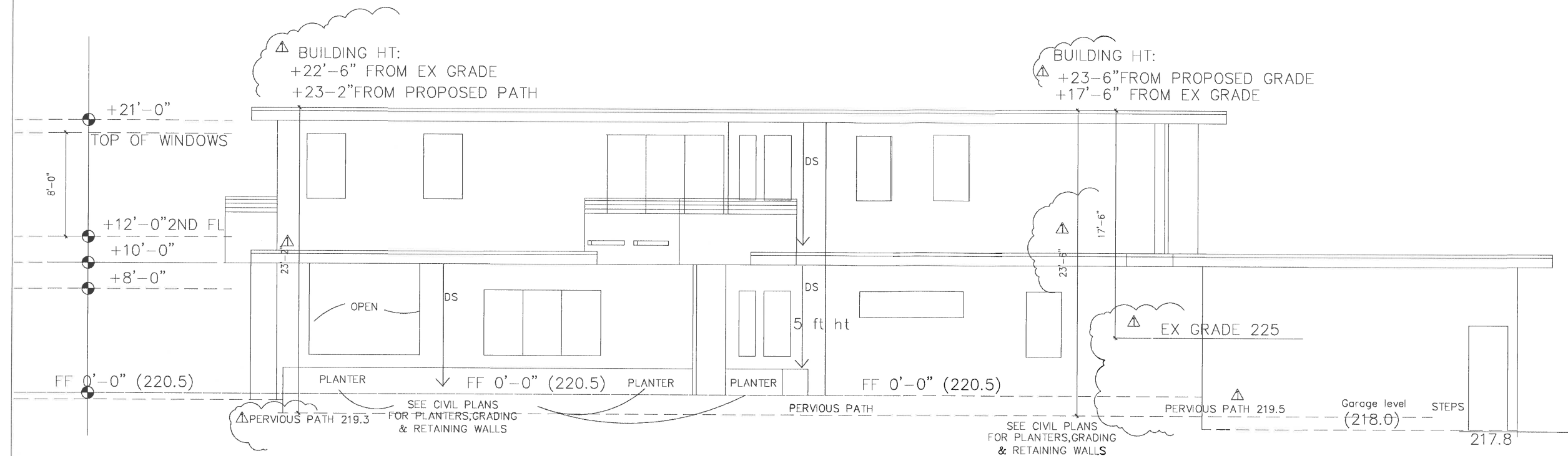
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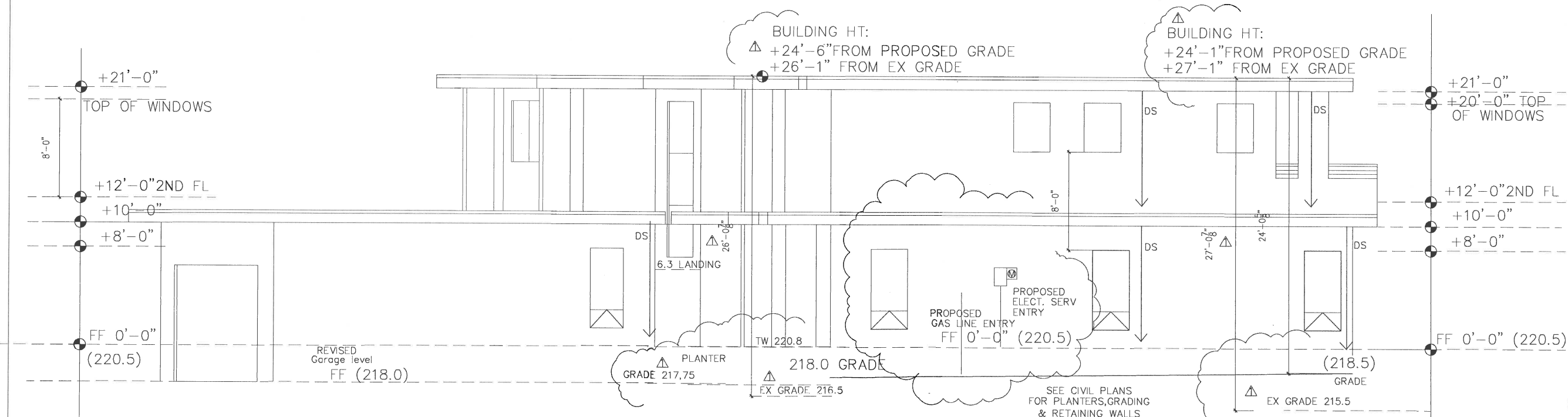
JOB:

SHEET A — 5

OF SHEETS



LEFT SIDE ELEVATION - SOUTH



RIGHT SIDE ELEVATION - NORTH

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REVISIONS
10/3/2019

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ELEVATIONS & NOTES

DATE: 7/15/2019

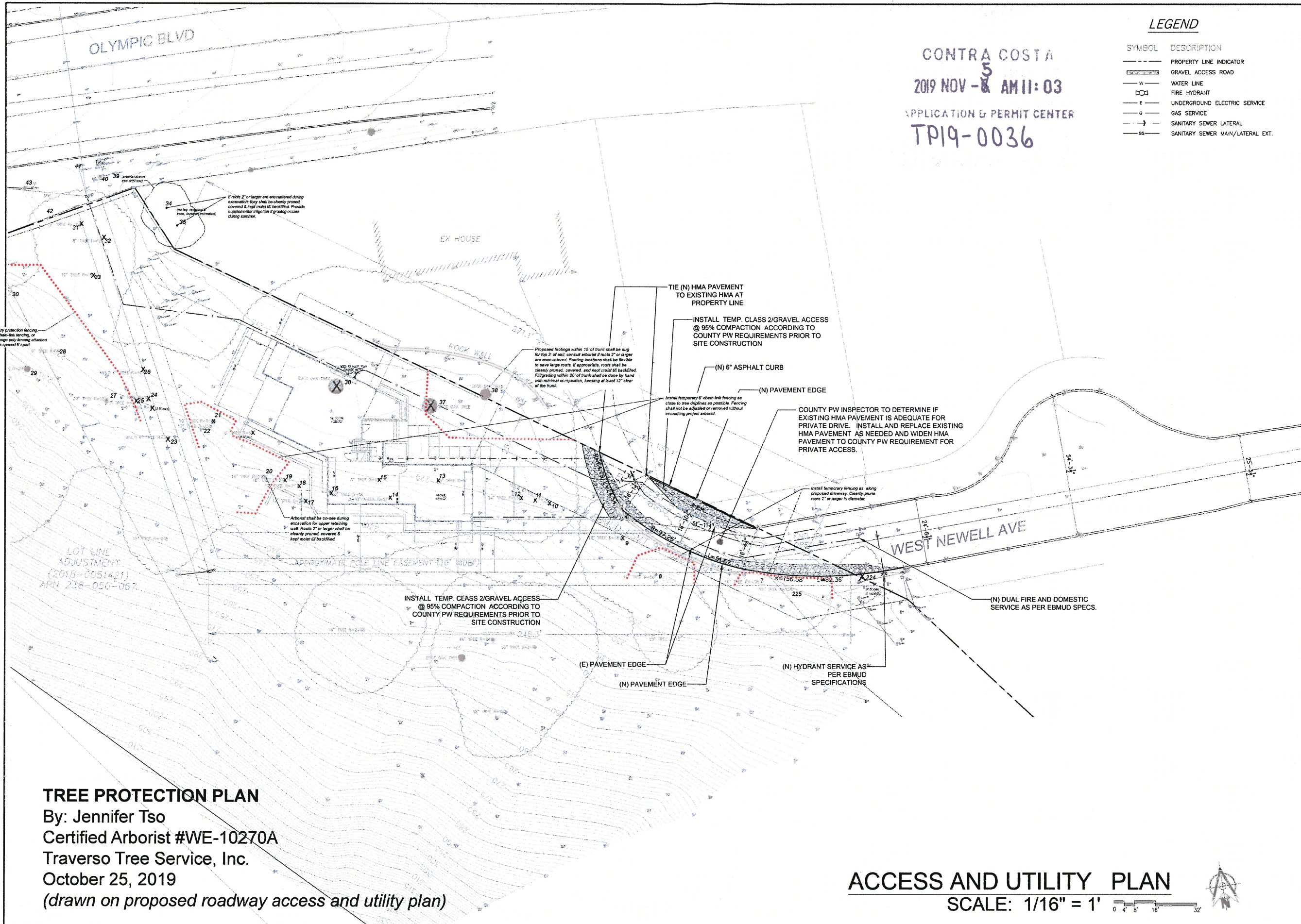
SCALE: 1/4"=1'-0"

DRAWN:

JOB:

SHEET A-6

OF SHEETS



LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE INDICATOR
---	GRAVEL ACCESS ROAD
W	WATER LINE
□	FIRE HYDRANT
E	UNDERGROUND ELECTRIC SERVICE
G	GAS SERVICE
→	SANITARY SEWER LATERAL
SS	SANITARY SEWER MAIN/LATERAL EXT.

CONTRA COSTA
2019 NOV - 8 AM 11:03
APPLICATION & PERMIT CENTER
TP19-0036



OWNER:
DAVID MONTALBO &
TAMARI HEYDEN
448 BLUE RIDGE DRIVE
MARTINEZ, CA 94553
(925) 872-5192

PROJECT ADDRESS:
O W. NEWELL AVE.
WALNUT CREEK, CA 94595
APN: 238-050-007

**ROADWAY ACCESS AND
UTILITY PLAN**
O WEST NEWELL AVE.

REVISION		
No.	DESCRIPTION	DATE
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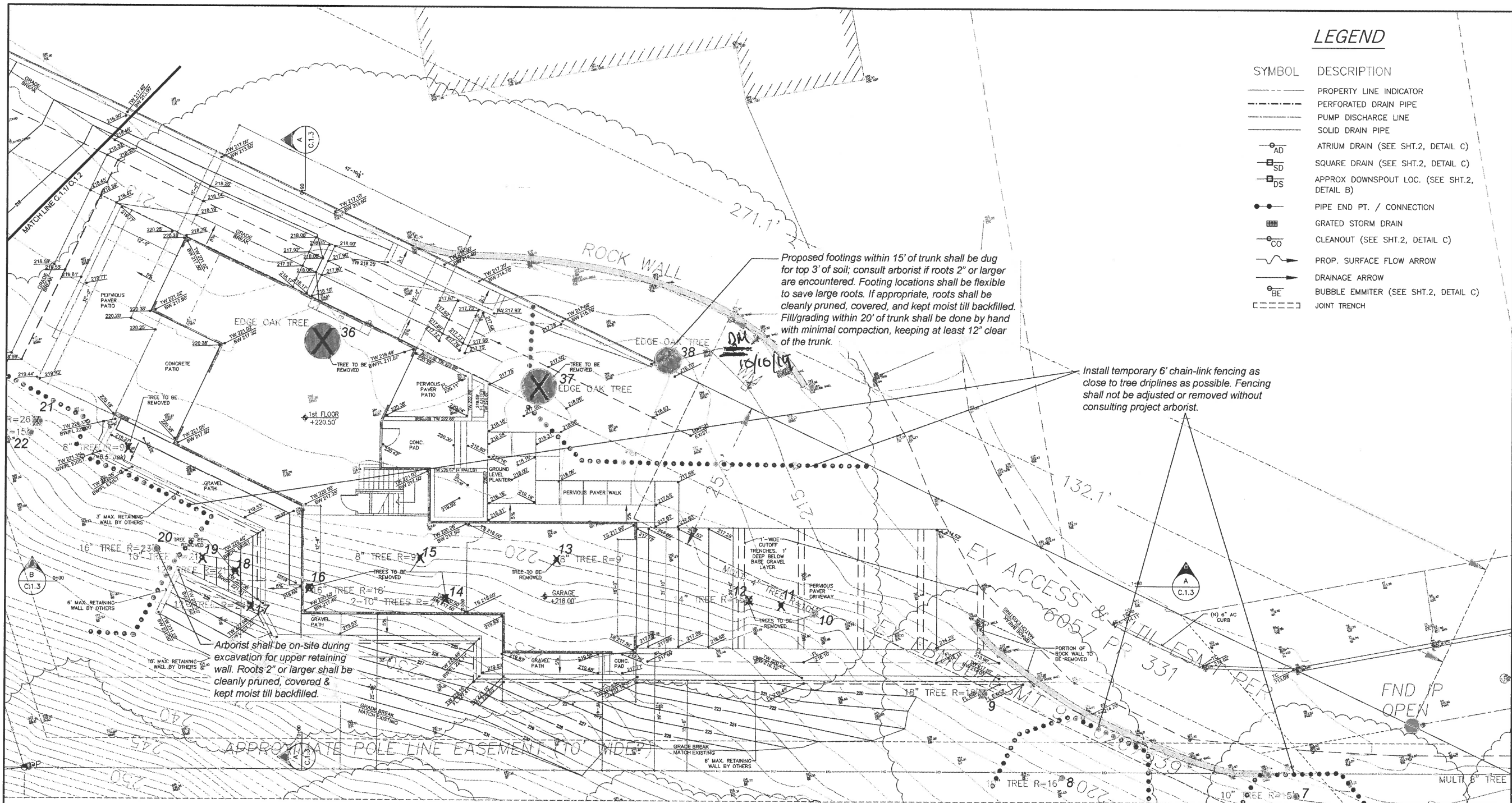
PROJECT No.:
DRAWN BY:
CHECKED BY:
DATE: 9/25/19

C.4.1

TREE PROTECTION PLAN
By: Jennifer Tso
Certified Arborist #WE-10270A
Traverso Tree Service, Inc.
October 25, 2019
(drawn on proposed roadway access and utility plan)

ACCESS AND UTILITY PLAN
SCALE: 1/16" = 1'

CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.



LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE INDICATOR
---	PERFORATED DRAIN PIPE
---	PUMP DISCHARGE LINE
---	SOLID DRAIN PIPE
AD	ATRIUM DRAIN (SEE SHT.2, DETAIL C)
SD	SQUARE DRAIN (SEE SHT.2, DETAIL C)
DS	APPROX DOWNSPOUT LOC. (SEE SHT.2, DETAIL B)
●	PIPE END PT. / CONNECTION
■	GRATED STORM DRAIN
CO	CLEANOUT (SEE SHT.2, DETAIL C)
→	PROP. SURFACE FLOW ARROW
→	DRAINAGE ARROW
BE	BUBBLE EMMITER (SEE SHT.2, DETAIL C)
---	JOINT TRENCH



OWNER:
DAVID MONTALBO &
TAMBRI HEYDEN
448 BLUE RIDGE DRIVE
MARTINEZ, CA 94553
(925) 872-5192

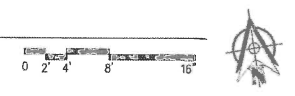
PROJECT ADDRESS:
O.W. NEWELL AVE.
WALNUT CREEK, CA 94595
APN: 238-050-007

PLANNING GRADING PLAN

O WEST NEWELL AVE.

REVISION		
No.	DESCRIPTION	DATE
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GRADING PLAN
SCALE: 1/8" = 1'

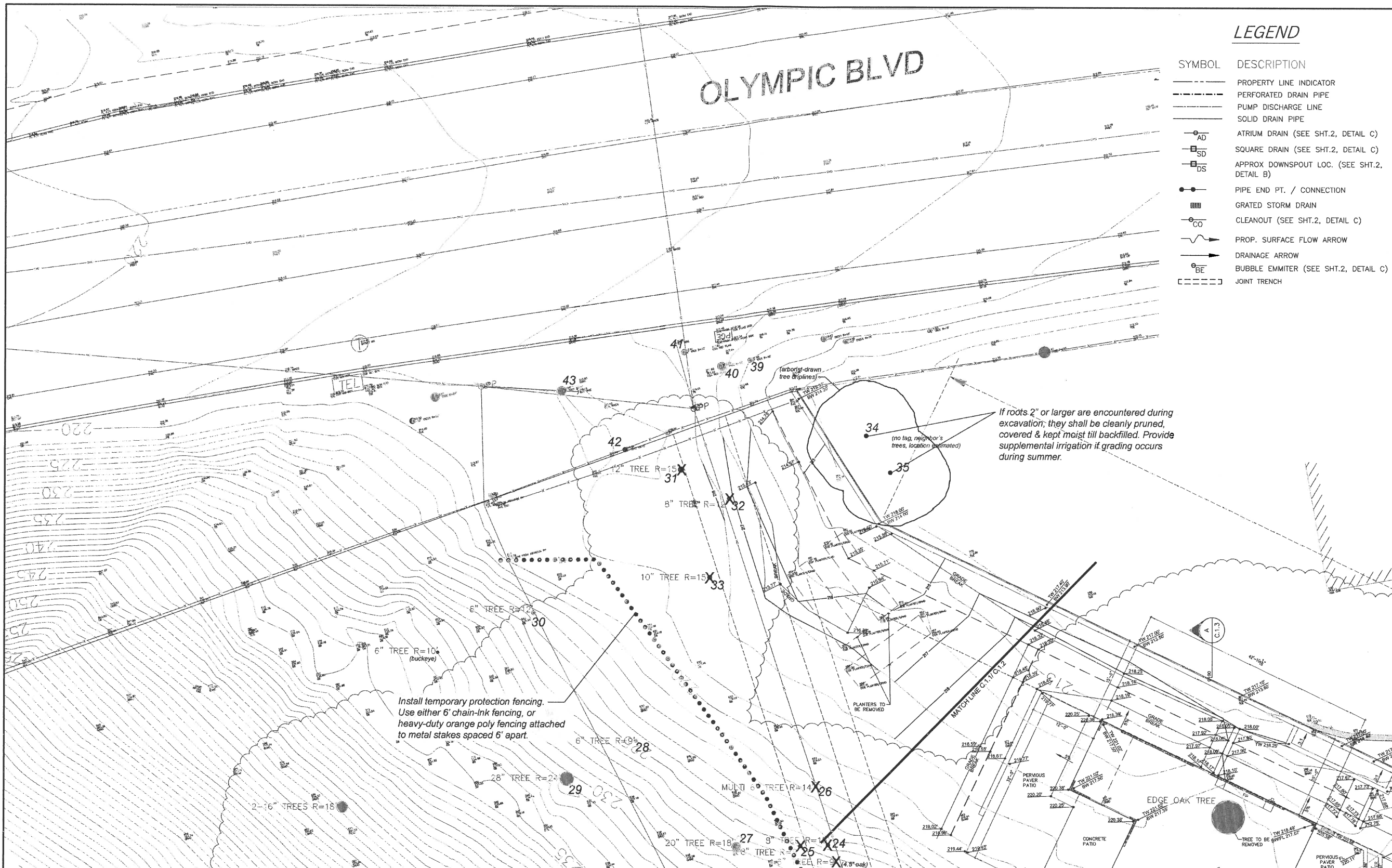


TREE PROTECTION PLAN - 1 of 2
By: Jennifer Tso
Certified Arborist #WE-10270A
Traverso Tree Service, Inc.
July 3, 2019
(drawn on proposed grading plan)

PROJECT No.:
DRAWN BY:
CHECKED BY:
DATE: 6/8/19

C.1.1

CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL, WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.



LEGEND

- | SYMBOL | DESCRIPTION |
|-----------|---|
| --- | PROPERTY LINE INDICATOR |
| - - - - | PERFORATED DRAIN PIPE |
| - . - . - | PUMP DISCHARGE LINE |
| --- | SOLID DRAIN PIPE |
| ○-AD | ATRIUM DRAIN (SEE SHT.2, DETAIL C) |
| □-SD | SQUARE DRAIN (SEE SHT.2, DETAIL C) |
| □-DS | APPROX DOWNSPOUT LOC. (SEE SHT.2, DETAIL B) |
| ● | PIPE END PT. / CONNECTION |
| ■ | GRATED STORM DRAIN |
| ○-CO | CLEANOUT (SEE SHT.2, DETAIL C) |
| → | PROP. SURFACE FLOW ARROW |
| → | DRAINAGE ARROW |
| ○-BE | BUBBLE EMMITER (SEE SHT.2, DETAIL C) |
| --- | JOINT TRENCH |



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PROJECT ADDRESS:
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WALNUT CREEK, CA 94595
APN: 238-050-007

PLANNING GRADING PLAN

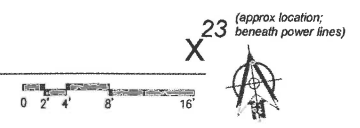
O WEST NEWELL AVE.

REVISION		
No.	DESCRIPTION	DATE
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PROJECT No.:
DRAWN BY:
CHECKED BY:
DATE: 6/8/19

C.1.2

GRADING PLAN
SCALE: 1/8" = 1'



TREE PROTECTION PLAN - 2 of 2
By: Jennifer Tso
Certified Arborist #WE-10270A
Traverso Tree Service, Inc.
July 3, 2019
(drawn on proposed grading plan)

CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

RECORD BOUNDARY & TOPOGRAPHIC SURVEY

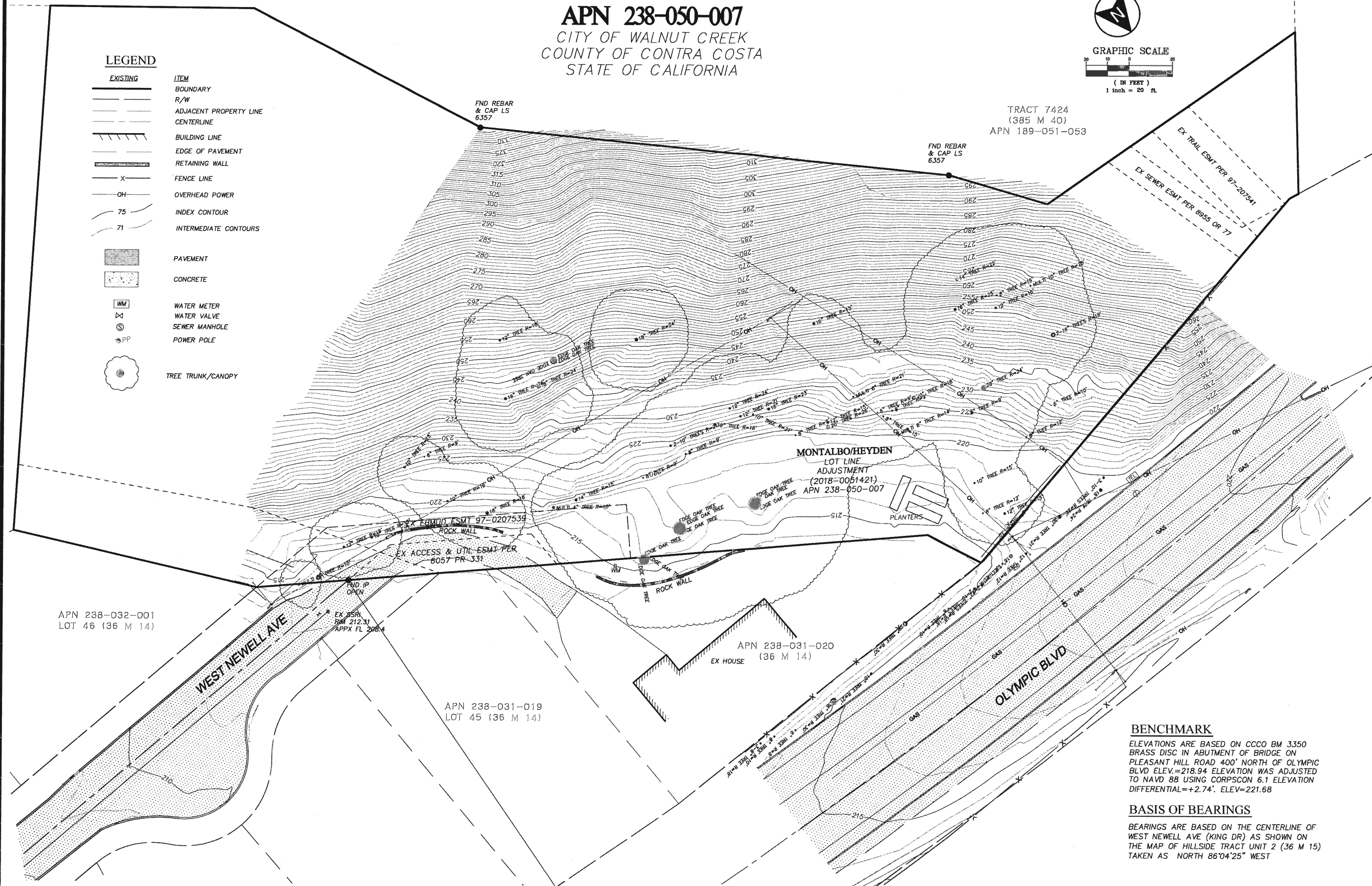
APN 238-050-007
CITY OF WALNUT CREEK
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft

LEGEND

EXISTING	ITEM
---	BOUNDARY
---	R/W
---	ADJACENT PROPERTY LINE
---	CENTERLINE
---	BUILDING LINE
---	EDGE OF PAVEMENT
---	RETAINING WALL
X	FENCE LINE
OH	OVERHEAD POWER
75	INDEX CONTOUR
71	INTERMEDIATE CONTOURS
---	PAVEMENT
---	CONCRETE
WM	WATER METER
WV	WATER VALVE
SM	SEWER MANHOLE
PP	POWER POLE
---	TREE TRUNK/CANOPY



BENCHMARK

ELEVATIONS ARE BASED ON CCCC BM 3350
BRASS DISC IN ABUTMENT OF BRIDGE ON
PLEASANT HILL ROAD 400' NORTH OF OLYMPIC
BLVD ELEV.=218.94 ELEVATION WAS ADJUSTED
TO NAVD 88 USING CORPSCON 6.1 ELEVATION
DIFFERENTIAL=+2.74'. ELEV=221.68

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE CENTERLINE OF
WEST NEWELL AVE (KING DR) AS SHOWN ON
THE MAP OF HILLSIDE TRACT UNIT 2 (36 M 15)
TAKEN AS NORTH 86°04'25" WEST



817 Arnold Drive Ste. 50
Martinez, CA 94553
Ph: 925.476.8199
www.apexce.net



NO.	REVISIONS	BY	APP	DATE

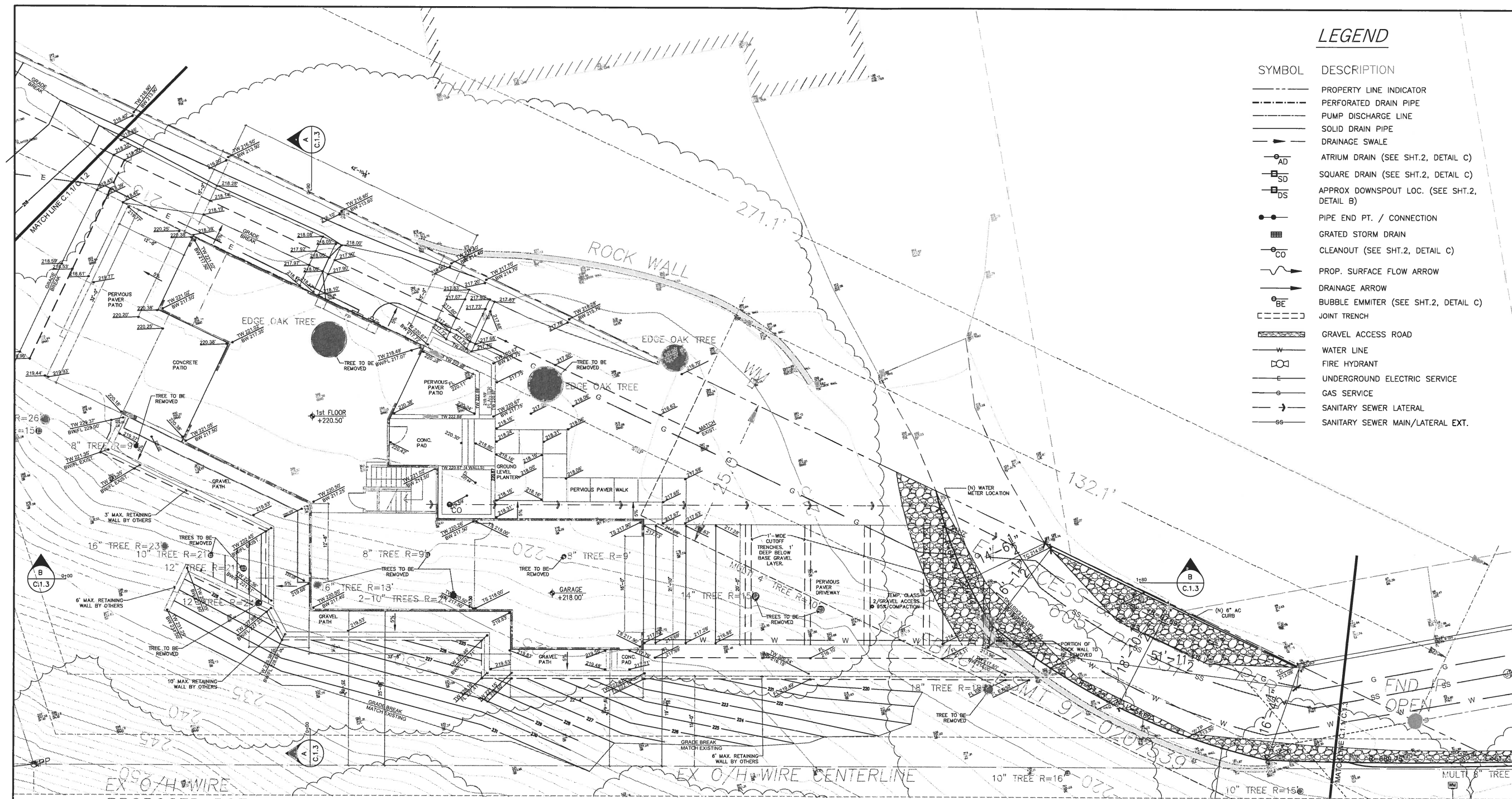
RECORD BOUNDARY & TOPOGRAPHIC SURVEY
APN 238-050-007, WALNUT CREEK, CA

SHEET
1 OF 1

DATE

10-3-19

PROJ#16029



LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE INDICATOR
- - - -	PERFORATED DRAIN PIPE
---	PUMP DISCHARGE LINE
---	SOLID DRAIN PIPE
---	DRAINAGE SWALE
○ AD	ATRIUM DRAIN (SEE SHT.2, DETAIL C)
□ SD	SQUARE DRAIN (SEE SHT.2, DETAIL C)
□ DS	APPROX DOWNSPOUT LOC. (SEE SHT.2, DETAIL B)
●	PIPE END PT. / CONNECTION
■	GRATED STORM DRAIN
○ CO	CLEANOUT (SEE SHT.2, DETAIL C)
→	PROP. SURFACE FLOW ARROW
→	DRAINAGE ARROW
○ BE	BUBBLE EMMITER (SEE SHT.2, DETAIL C)
- - - -	JOINT TRENCH
---	GRAVEL ACCESS ROAD
W	WATER LINE
○	FIRE HYDRANT
E	UNDERGROUND ELECTRIC SERVICE
G	GAS SERVICE
---	SANITARY SEWER LATERAL
---	SANITARY SEWER MAIN/LATERAL EXT.



OWNER:
DAVID MONTALBO &
TAMBI HEYDEN
448 BLUE RIDGE DRIVE
MARTINEZ, CA 94553
(925) 872-5192

PROJECT ADDRESS:
O W. NEWELL AVE.
WALNUT CREEK, CA 94595
APN: 238-050-007

PLANNING GRADING PLAN O WEST NEWELL AVE.

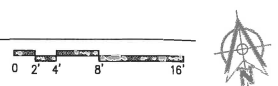
REVISION

No.	DESCRIPTION	DATE
1	REVISIONS TO UTILITIES	6/8/19
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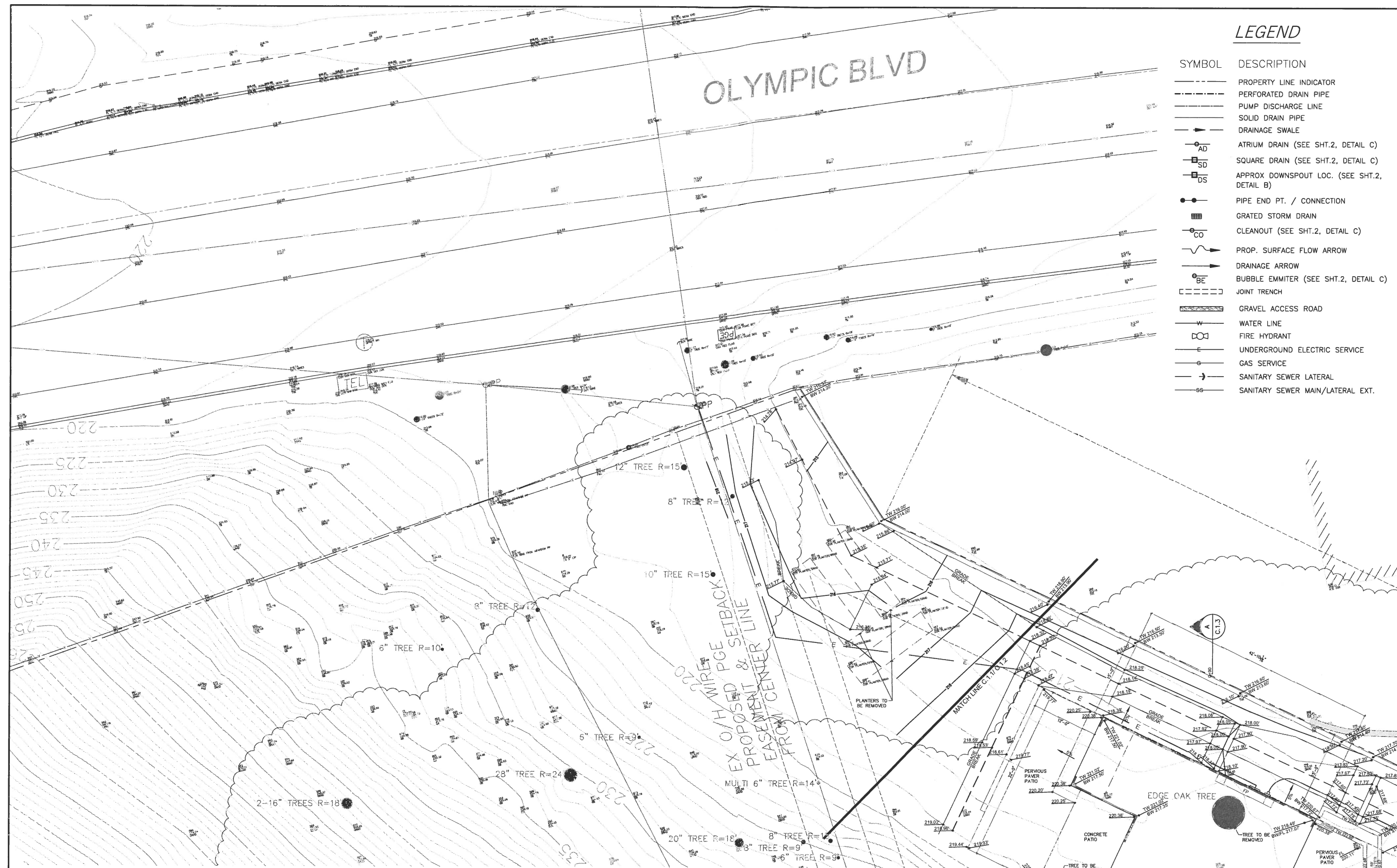
PROJECT No.:
DRAWN BY:
CHECKED BY:
DATE: 6/8/19

C.1.1

GRADING PLAN
SCALE: 1/8" = 1'



CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL, WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.



LEGEND

- SYMBOL DESCRIPTION
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 - PUMP DISCHARGE LINE
 - SOLID DRAIN PIPE
 - DRAINAGE SWALE
 - AD ATRIUM DRAIN (SEE SHT.2, DETAIL C)
 - SD SQUARE DRAIN (SEE SHT.2, DETAIL C)
 - DS APPROX DOWNSPOUT LOC. (SEE SHT.2, DETAIL B)
 - PIPE END PT. / CONNECTION
 - GRATED STORM DRAIN
 - CO CLEANOUT (SEE SHT.2, DETAIL C)
 - PROP. SURFACE FLOW ARROW
 - DRAINAGE ARROW
 - BE BUBBLE EMMITER (SEE SHT.2, DETAIL C)
 - - - JOINT TRENCH
 - GRAVEL ACCESS ROAD
 - W WATER LINE
 - FIRE HYDRANT
 - E UNDERGROUND ELECTRIC SERVICE
 - G GAS SERVICE
 - SANITARY SEWER LATERAL
 - SS SANITARY SEWER MAIN/LATERAL EXT.



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0 W. NEWELL AVE.
WALNUT CREEK, CA 94595
APN: 238-050-007

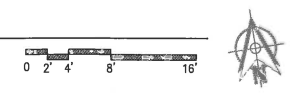
PLANNING GRADING PLAN
0 WEST NEWELL AVE.

REVISION		
No.	DESCRIPTION	DATE
1	REVISIONS TO UTILITIES	10/8/19
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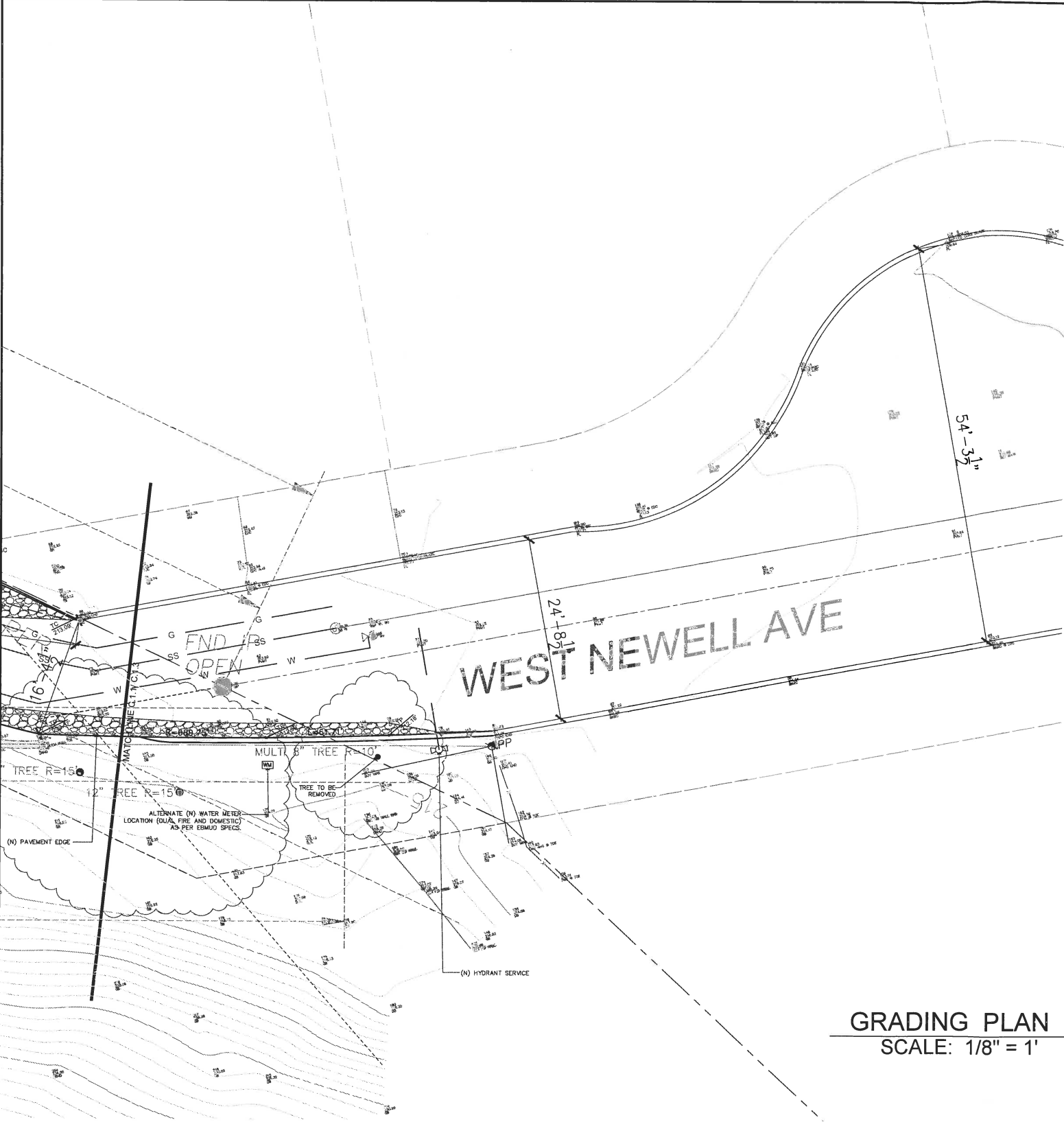
PROJECT No.:
DRAWN BY:
CHECKED BY:
DATE: 6/8/19

C.1.2

GRADING PLAN
SCALE: 1/8" = 1'



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GRADING PLAN
SCALE: 1/8" = 1'



LEGEND

SYMBOL	DESCRIPTION
	PROPERTY LINE INDICATOR
	PERFORATED DRAIN PIPE
	PUMP DISCHARGE LINE
	SOLID DRAIN PIPE
	DRAINAGE SWALE
	ATRIUM DRAIN (SEE SHT.2, DETAIL C)
	SQUARE DRAIN (SEE SHT.2, DETAIL C)
	APPROX DOWNSPOUT LOC. (SEE SHT.2, DETAIL B)
	PIPE END PT. / CONNECTION
	GRADED STORM DRAIN
	CLEANOUT (SEE SHT.2, DETAIL C)
	PROP. SURFACE FLOW ARROW
	DRAINAGE ARROW
	BUBBLE EMMITER (SEE SHT.2, DETAIL C)
	JOINT TRENCH
	GRAVEL ACCESS ROAD
	WATER LINE
	FIRE HYDRANT
	UNDERGROUND ELECTRIC SERVICE
	GAS SERVICE
	SANITARY SEWER LATERAL
	SANITARY SEWER MAIN/LATERAL EXT.



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PLANNING GRADING PLAN
0 WEST NEWELL AVE.

REVISION

No.	DESCRIPTION	DATE
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PROJECT No.:
DRAWN BY:
CHECKED BY:
DATE: 10/8/19

C.1.3

CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL, WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

GRADING NOTES:

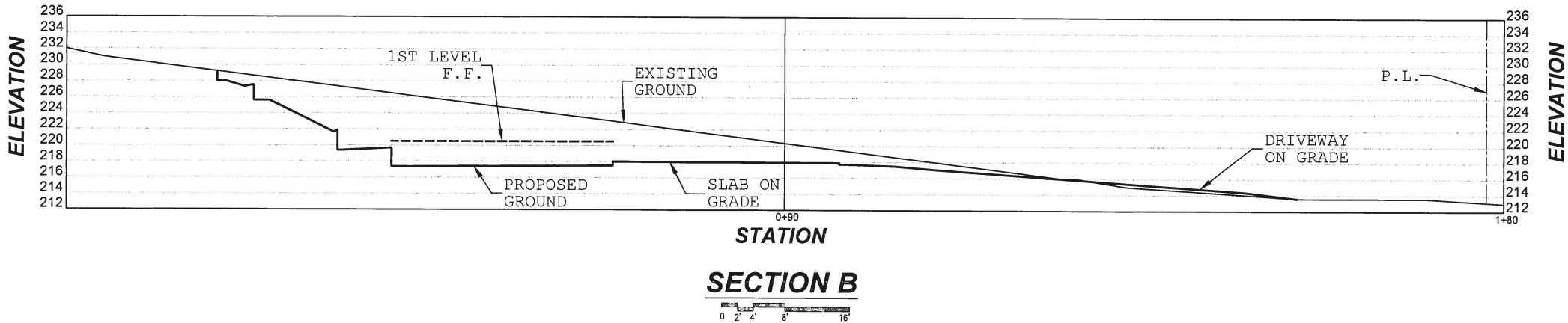
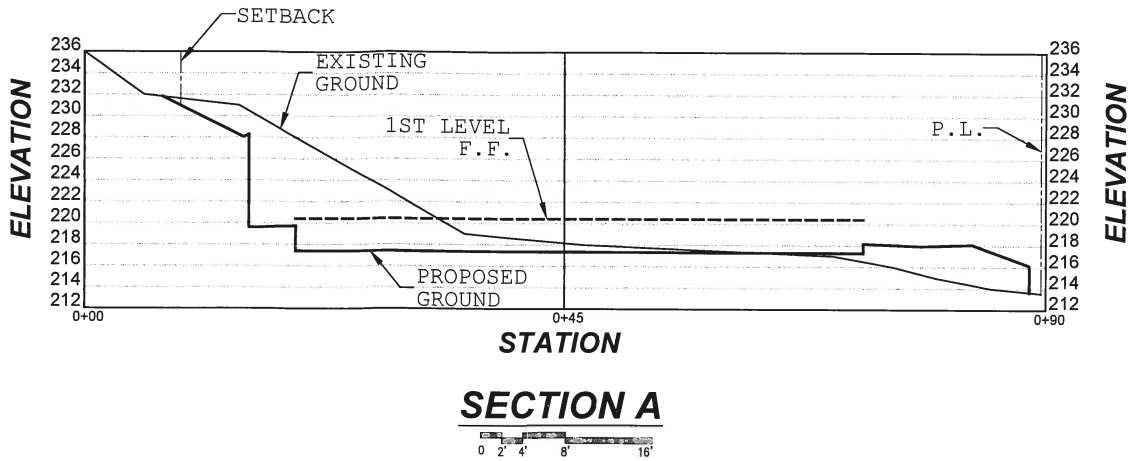
NOTE: THIS DRAWING IS APPROVED SUBJECT TO:

1. APPROVAL OF THIS PLAN APPLIES ONLY TO (A) THE EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS, (B) THE INSTALLATION OF ON-SITE (I.E. PRIVATE PROPERTY) STORM WATER CONVEYANCE AND TREATMENT FACILITIES THAT ARE OUTSIDE OF THE 5-FOOT BUILDING ENVELOPE, AND (C) THE INSTALLATION OF RETAINING STRUCTURES. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS WITH THE EXCEPTION OF THOSE LISTED ABOVE. PROPOSED IMPROVEMENTS, WITH THE EXCEPTION OF THOSE LISTED ABOVE, ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
2. UNLESS OTHERWISE NOTED ON THE PLAN, ANY DEPICTION OF A RETAINING STRUCTURE ON THIS PLAN SHALL NOT CONSTITUTE APPROVAL FOR CONSTRUCTION OF THE RETAINING STRUCTURE UNLESS A SEPARATE STRUCTURAL REVIEW, BY THE DEPARTMENT OF PUBLIC WORKS IS COMPLETED AND APPROVED.
3. THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY'S PLANNING DEPARTMENT AND THE CITY ARBORIST.
4. PERIMETER BUILDING GRADES SHALL SLOPE AWAY FROM BUILDINGS AT LEAST 5% MINIMUM.
5. ALL DOWNSPOUTS SHALL RELEASE TO STORMWATER CONTROLS THEN TO THE STORM COLLECTOR PIPE SYSTEM.
6. PROPOSED PERMANENT AND TEMPORARY SLOPES AND COMPACTION AND TRENCHING REQUIREMENTS ARE TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER AND AS PER THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT.
7. GRADING WITHIN THE PG&E SETBACK/DOMAIN TO BE APPROVED BY PG&E.

PROJECT EARTH QUANTITIES:

CUT: 510 C.Y.

FILL: 260 C.Y.



OWNER:
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TAMBRI HEYDEN
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WALNUT CREEK, CA 94595
APN: 238-050-007

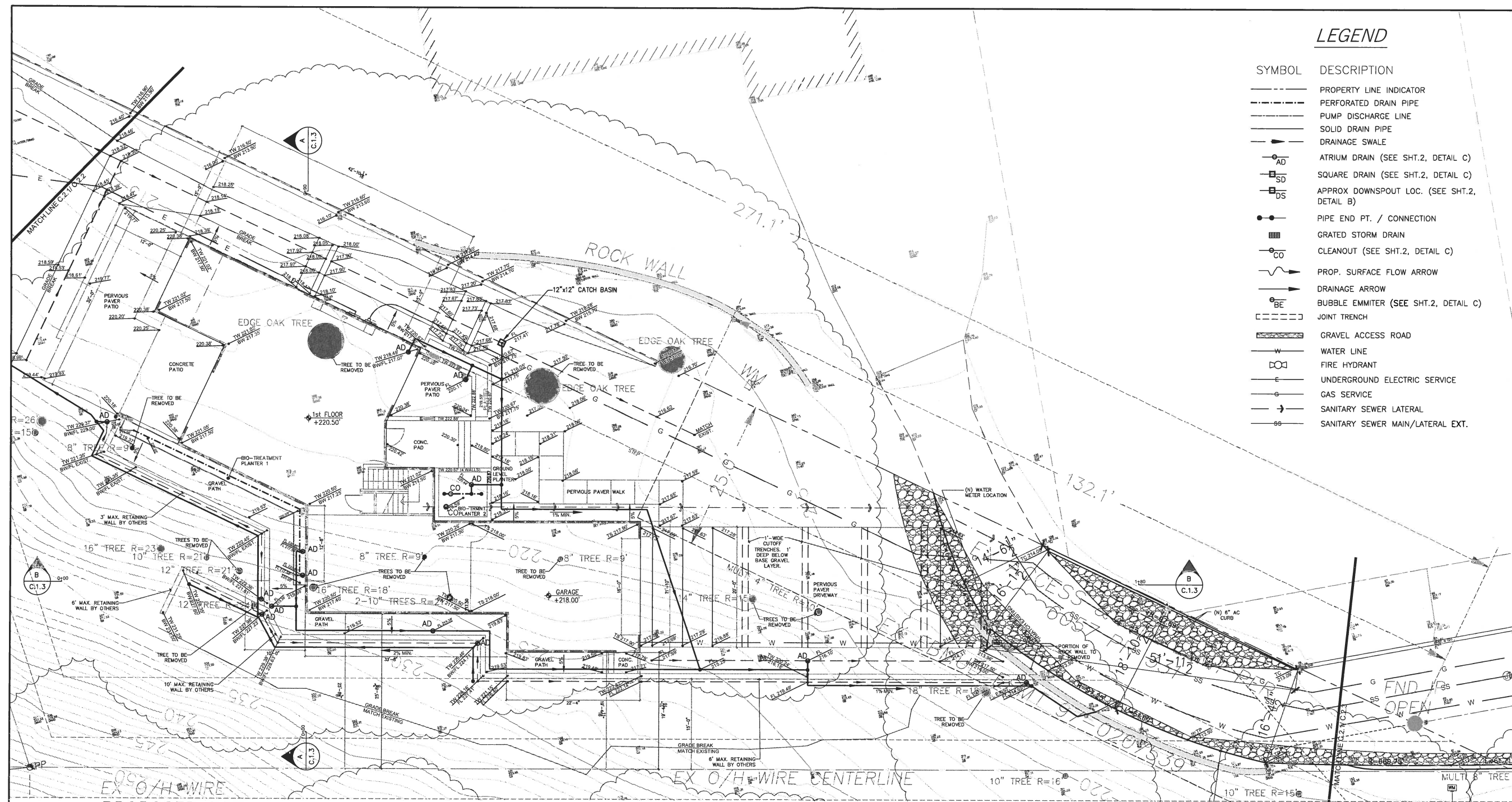
PLANNING GRADING PLAN
SECTIONS AND NOTES

0 WEST NEWELL AVE.

REVISION		
No.	DESCRIPTION	DATE
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△		
△		
△		

PROJECT No.:
DRAWN BY:
CHECKED BY:
DATE: 6/8/19

C.1.4



LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE INDICATOR
- - - -	PERFORATED DRAIN PIPE
- . - . -	PUMP DISCHARGE LINE
—	SOLID DRAIN PIPE
—	DRAINAGE SWALE
AD	ATRIUM DRAIN (SEE SHT.2, DETAIL C)
SD	SQUARE DRAIN (SEE SHT.2, DETAIL C)
DS	APPROX DOWNSPOUT LOC. (SEE SHT.2, DETAIL B)
●	PIPE END PT. / CONNECTION
■	GRATED STORM DRAIN
CO	CLEANOUT (SEE SHT.2, DETAIL C)
→	PROP. SURFACE FLOW ARROW
→	DRAINAGE ARROW
BE	BUBBLE EMMITER (SEE SHT.2, DETAIL C)
---	JOINT TRENCH
---	GRAVEL ACCESS ROAD
W	WATER LINE
⊕	FIRE HYDRANT
E	UNDERGROUND ELECTRIC SERVICE
G	GAS SERVICE
→	SANITARY SEWER LATERAL
SS	SANITARY SEWER MAIN/LATERAL EXT.



OWNER:
DAVID MONTALBO &
TAMBI HEYDEN
448 BLUE RIDGE DRIVE
MARTINEZ, CA 94553
(925) 872-5192

PROJECT ADDRESS:
O.W. NEWELL AVE.
WALNUT CREEK, CA 94595
APN: 238-050-007

PLANNING DRAINAGE PLAN SURFACE AND STORMWATER DRAINAGE

O WEST NEWELL AVE.

REVISION

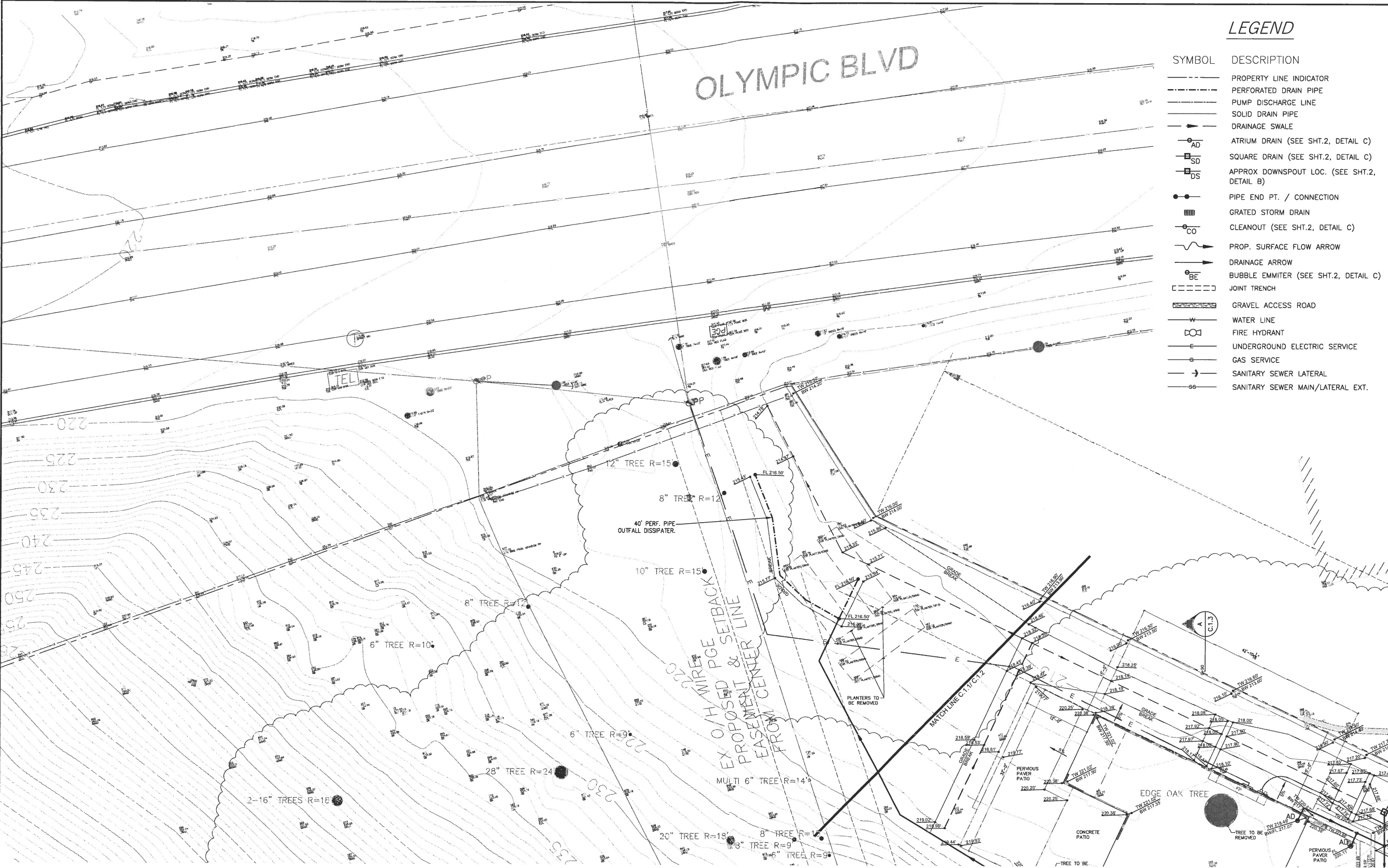
No.	DESCRIPTION	DATE
1	REVISIONS TO ACCESS DRIVE AND UTILITIES	10/8/19
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT No.:
DRAWN BY:
CHECKED BY:
DATE: 6/8/19

C.2.1

DRAINAGE PLAN
SCALE: 1/8" = 1'





LEGEND

SYMBOL	DESCRIPTION
	PROPERTY LINE INDICATOR
	PERFORATED DRAIN PIPE
	PUMP DISCHARGE LINE
	SOLID DRAIN PIPE
	DRAINAGE SWALE
	ATRIUM DRAIN (SEE SHT.2, DETAIL C)
	SQUARE DRAIN (SEE SHT.2, DETAIL C)
	APPROX DOWNSPOUT LOC. (SEE SHT.2, DETAIL B)
	PIPE END PT. / CONNECTION
	GRATED STORM DRAIN
	CLEANOUT (SEE SHT.2, DETAIL C)
	PROP. SURFACE FLOW ARROW
	DRAINAGE ARROW
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	JOINT TRENCH
	GRAVEL ACCESS ROAD
	WATER LINE
	FIRE HYDRANT
	UNDERGROUND ELECTRIC SERVICE
	GAS SERVICE
	SANITARY SEWER LATERAL
	SANITARY SEWER MAIN/LATERAL EXT.

DRAINAGE PLAN
SCALE: 1/8" = 1'



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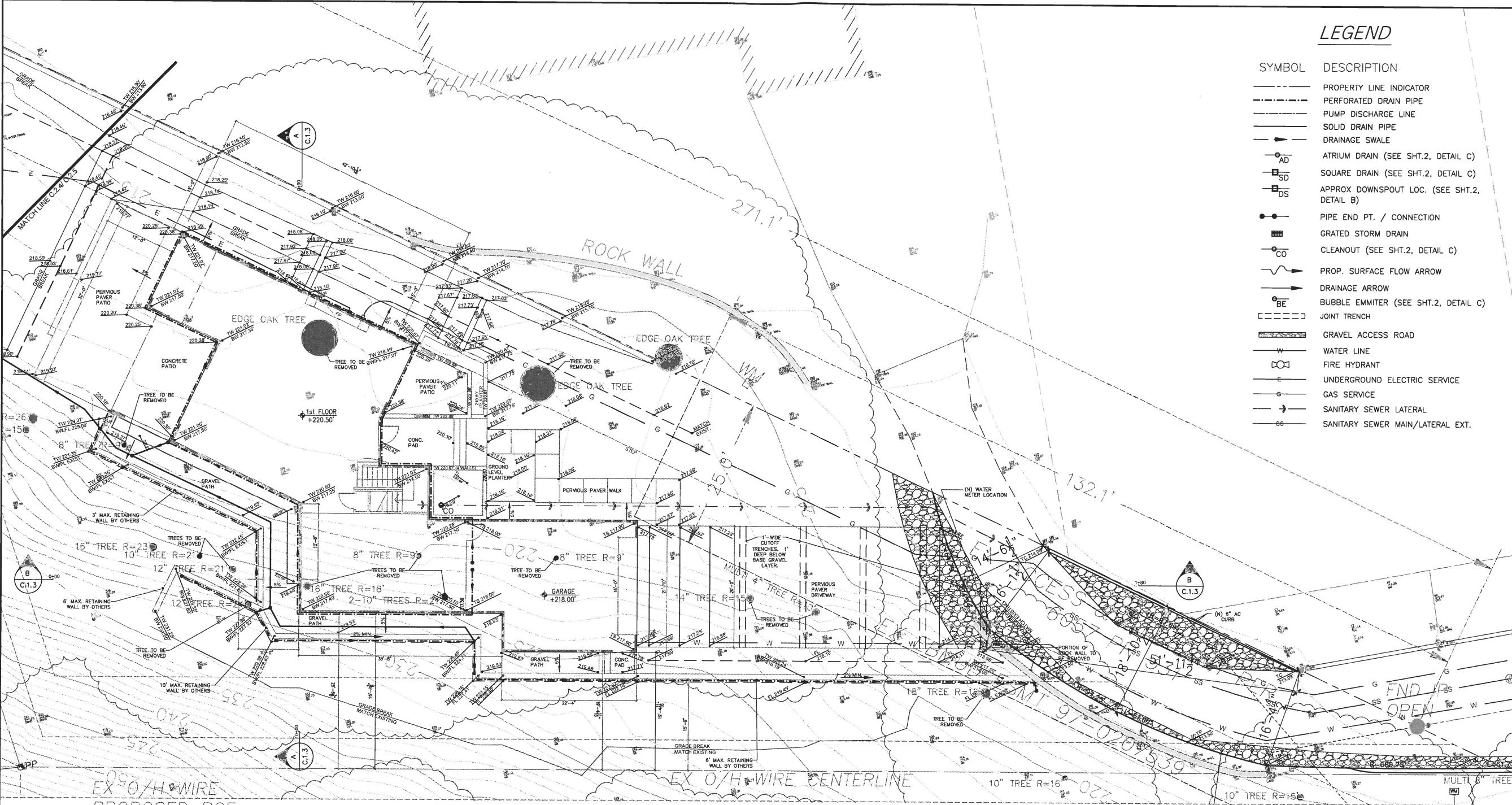
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WALNUT CREEK, CA 94595
APN: 238-050-007

PLANNING DRAINAGE PLAN
SURFACE AND STORMWATER
DRAINAGE

REVISION		
No.	DESCRIPTION	DATE
1	REVISIONS TO UTILITIES	10/08/19

PROJECT No.:
DRAWN BY:
CHECKED BY:
DATE: 6/8/19

C.2.2



LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE INDICATOR
---	PERFORATED DRAIN PIPE
---	PUMP DISCHARGE LINE
---	SOLID DRAIN PIPE
---	DRAINAGE SWALE
AD	ATRIUM DRAIN (SEE SHT.2, DETAIL C)
SD	SQUARE DRAIN (SEE SHT.2, DETAIL C)
DS	APPROX. DOWNSPOUT LOC. (SEE SHT.2, DETAIL B)
●	PIPE END PT. / CONNECTION
■	GRATED STORM DRAIN
CO	CLEANOUT (SEE SHT.2, DETAIL C)
→	PROP. SURFACE FLOW ARROW
→	DRAINAGE ARROW
BE	BUBBLE EMMITER (SEE SHT.2, DETAIL C)
---	JOINT TRENCH
---	GRAVEL ACCESS ROAD
W	WATER LINE
○	FIRE HYDRANT
E	UNDERGROUND ELECTRIC SERVICE
G	GAS SERVICE
→	SANITARY SEWER LATERAL
→	SANITARY SEWER MAIN/LATERAL EXT.



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APN: 238-050-007

PLANNING DRAINAGE PLAN
SUB-SURFACE DRAINAGE

0 WEST NEWELL AVE.

REVISION		
No.	DESCRIPTION	DATE
1	REVISIONS TO ACCESS DRIVE AND UTILITIES	10/8/19
2		
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PROJECT No.:
DRAWN BY:
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DATE: 6/28/19

C.2.4

DRAINAGE PLAN
SCALE: 1/8" = 1'



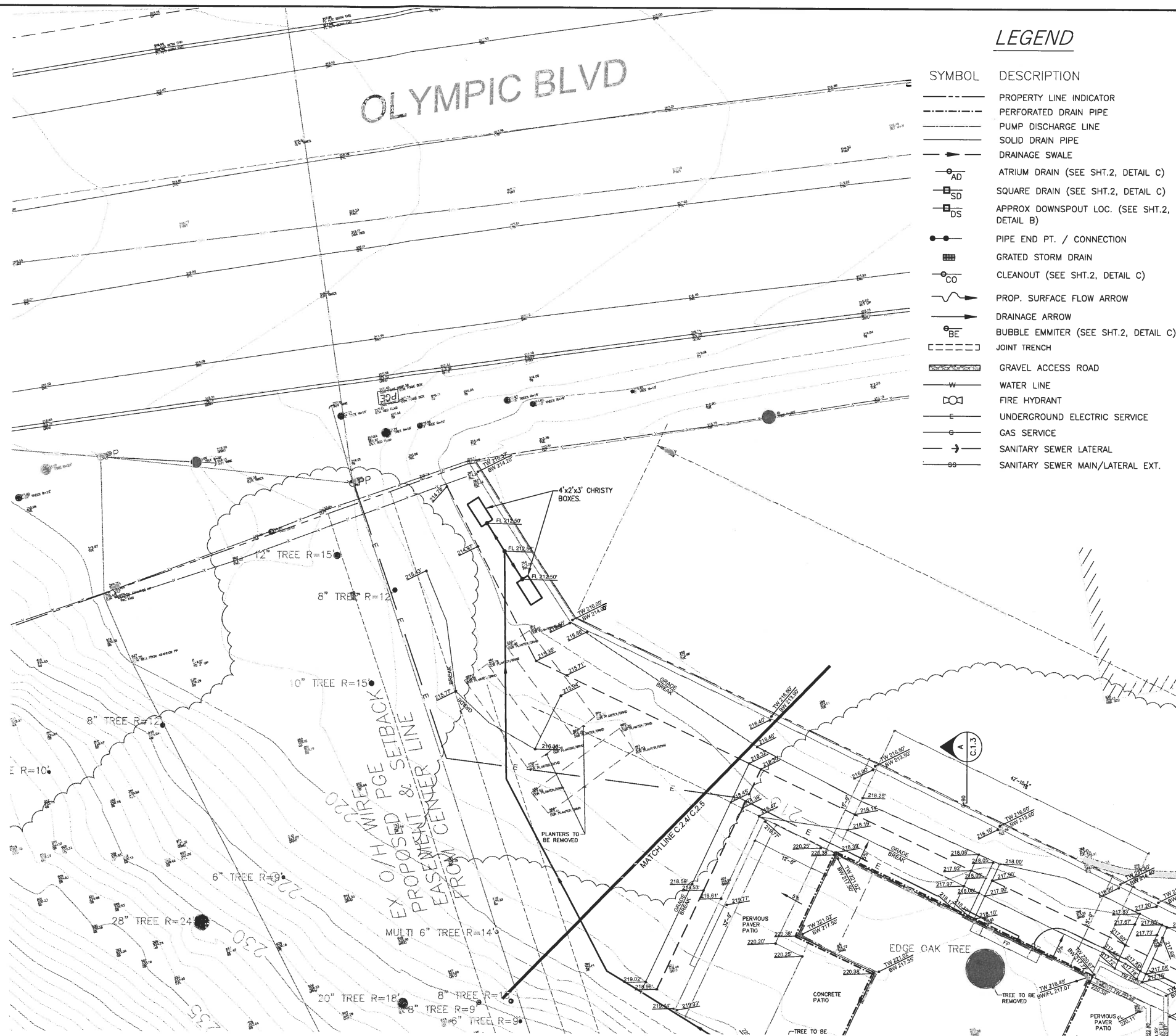
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DRAINAGE PLAN NOTES:

1. **DRAINAGE DESIGN** DRAINAGE SYSTEM DESIGNED TO CONVEY UP TO THE 10-YR STORM EVENT.
2. **GUTTERS AND DOWNSPOUTS** GUTTERS AND DOWNSPOUTS SHALL BE AS PER THE ARCHITECTURAL REQS. AND SPECS. SEE ARCHITECTURAL PLAN.
3. **GUTTER DESIGN SPECIAL CONSIDERATIONS** GUTTER DESIGN SHALL ENSURE 10-YR FLOW RATE FROM ROOF IS DELIVERED TO STORMWATER/DRAINAGE SYSTEM. GUTTER SEPARATORS SHALL ENSURE THAT DESIGNATED AREAS OF ROOF DRAIN TO THE DESIGNATED STORMWATER TREATMENT CONTROLS.
4. **RETAINMENTS** RETAINMENTS AS SHOWN ON THIS PLAN ARE DESIGNED AS PER THE STRUCTURAL PLAN OR DESIGNED BY OTHERS. REFER TO THE STRUCTURAL PLAN AND THE GEOTECHNICAL ENGINEER'S SOILS REPORT.
5. **PIPE TRENCHING** TRENCHING SHALL BE AS RECOMMENDED IN THE THE GEOTECHNICAL ENGINEER'S SOILS REPORT AND/OR ACCORDING TO TRECHING STANDARDS.
5. **SUB-SURFACE DRAINAGE** THE SUB-SURFACE DRAINAGE SYSTEM DESIGNED ON THIS PLAN AND RELEASE SHALL BE AS APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

STORMWATER NOTES:

1. SITE AREA= 111,517 S.F. (2.56 ACRE)
2. TOTAL NEW IMPERVIOUS COVER AREA (ROOFS, PORCHES, AND PATIOS)= 4112 SF. TOTAL REPLACED IMPERVIOUS COVER AREA = 0 SF. PROJECT SITE IS SINGLE FAMILY RESIDENTIAL AND BETWEEN 2,500 SF AND 10,000 SF. OF NEW/REPLACED IMPERVIOUS COVER AREA.
3. DRIVEWAY, PATIOS, AND WALKS/PATHS FROM STREET ARE DESIGNATED TO BE PERVIOUS PAVERS OR GRAVEL.
4. ELEVATIONS AND DRAINAGE PATTERNS OUTLINED IN THIS PLAN SHALL BE ADHERED TO TO INSURE THAT IMPERVIOUS AREAS DRAIN AWAY FROM BUILDINGS AND TO VEGETATED AREAS AND/OR STORWATER CONTROLS.



LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE INDICATOR
- - - -	PERFORATED DRAIN PIPE
---	PUMP DISCHARGE LINE
---	SOLID DRAIN PIPE
---	DRAINAGE SWALE
○ AD	ATRIUM DRAIN (SEE SHT.2, DETAIL C)
□ SD	SQUARE DRAIN (SEE SHT.2, DETAIL C)
□ DS	APPROX DOWNSPOUT LOC. (SEE SHT.2, DETAIL B)
●	PIPE END PT. / CONNECTION
■	GRATED STORM DRAIN
○ CO	CLEANOUT (SEE SHT.2, DETAIL C)
→	PROP. SURFACE FLOW ARROW
→	DRAINAGE ARROW
○ BE	BUBBLE EMMITER (SEE SHT.2, DETAIL C)
---	JOINT TRENCH
---	GRAVEL ACCESS ROAD
W	WATER LINE
○	FIRE HYDRANT
E	UNDERGROUND ELECTRIC SERVICE
G	GAS SERVICE
---	SANITARY SEWER LATERAL
---	SANITARY SEWER MAIN/LATERAL EXT.



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APN: 238-050-007

PLANNING DRAINAGE PLAN SUB-SURFACE DRAINAGE

REVISION

No.	DESCRIPTION	DATE
△	REVISIONS TO UTILITIES	10/08/19
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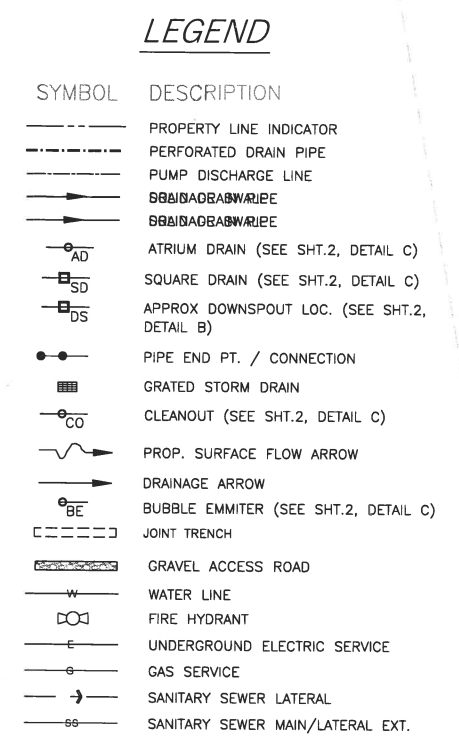
C.2.5

DRAINAGE PLAN SCALE: 1/8" = 1'

0 2' 4' 8' 16'



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PLANNING STORMWATER PLAN

[illegible]

PROJECT No.:

DRAWN BY:

CHECKED BY:

DATE: 6/8/19

C.3.1

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STORMWATER CALCS

ENTRY FLO-THRU PLANTER (RED)

ROOF AREA DMA, SF	1537	1ST/2ND FLR ROOFS
SOIL AREA, SF	61	
V1 DEPTH, FT	0.85	
SOIL DEPTH, FT	1.5	
V2/GRVEL DEPTH, FT	1.11	
$C_{0.05}, CFS$	0.158	$C=C^*I^2A$; PARAMETERS FROM C.C. CODE
d IN (FOR 8" PIPE)	1.49	$d = Cw^{1.75}d^{.5}$, $d=(Cw/L)^{.5}$; $Cw=2.3$
TOTAL DEPTH	3.65	
ORIFICE SIZE, IN	0.37	
TOP-OF-SOIL ELEV., FT	219.59	
RISER FL ELEV., FT	220.44	
OUTLET FL ELEV., FT	216.98	
TOP-OF-PLANTER ELEV., FT	219.67	

SOUTH-SIDE PLANTER (TEALE)

ROOF AREA DMA, SF	2186	1ST/2ND FLR ROOFS AND 2ND FLOOR PATIOS
SOIL AREA, SF	90.7	
V1 DEPTH, FT	0.80	
SOIL DEPTH, FT	1.5	
V2/GRAVEL DEPTH, FT	1.05	
Q _{10%} , CFS	0.22219972	Q=C*I*A; PARMETER FROM C.C. CO
IN (IN FOR 2" 6" PIPES)	1.177219561	Q = Cw*L*d ³ ; d=(Q/(Cw*L ³)); Cw = 22.51
ORIFICE SIZE, IN	0.43	
TOP-OF-SOIL ELEV, FT	220.05	
RISER FLEVEL, FT	220.85	
TOP-OF-PLANTER ELEV., FT	220.95	
OUTLET FL ELEV., FT	217.50	

NORTH-SIDE SELF-RETAINING AREA (YELLOW)

ROOF AREA DMA, SF	317	1ST/2ND FLR ROOFS
1" RUNOFF VOLUME	26.41666667	
SELF-RETAINING AREA, SF	439	
SELF-RETAINING VOLUME, CF	27.65	

ENTRY SELF-RETAINING AREA (CYAN)

ENTRY DMA, SF	50	ENTRY AND STEPS
1" RUNOFF VOLUME	4.166666667	
SELF-RETAINING AREA, SF	62	
SELF-RETAINING VOLUME, CF	5.166666667	

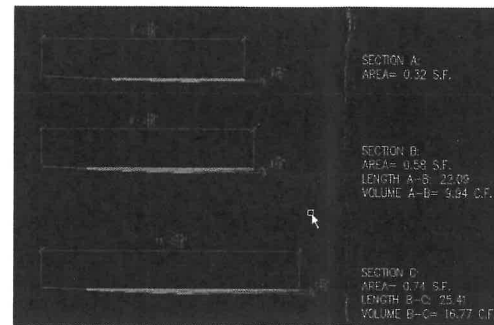
ENTRY SELF-RETAINING AREA (MAGENTA)

ENTRY DMA, SF	42	ENTRY AND STEPS
1" RUNOFF VOLUME	3.5	
SELF-RETAINING AREA, SF	50.25	
SELF-RETAINING VOLUME, CF	4.731875	

IMPERVIOUS COVER

TOTAL IMPERVIOUS, SF	4112
SITE AREA, SF	111517
SITE AREA, ACR	2.560078053

NORTH-SIDE SELF-RETAINING AREA (YELLOW)



Project Name: 0 W. NEWELL
Project Type: Treatment and Flow Control
APN: 238-050-007
Drainage Area: 14,200
Mean Annual Precipitation: 24.8

IV. Areas Draining to IMPs

IMP Name: ENTRY FLO-THRU PLANTER (RED)

IMP Type: Flow-Through Planter

Soil Group: ENTRY FLO-THRU PLANTER (RED)

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	IMP Sizing			
ENTRY ROOFS (RED)	1,537	Conventional Roof	1.00	1,537	IMP Sizing Factor	Rain Adjustment Factor	Minimum Area or Volume	Proposed Area or Volume
			Total	1,537	0.050	0.800	61"	6
	Area			Surface Volume	0.042	0.810	52	5
				Subsurface Volume	0.056	0.800	53	5
							Maximum Underdrain Flow (cfs)	0.0
							Orifice Diameter (in)	0.3

* The product of the SIF Sizing Factor and the Rainfall Adjustment Factor was less than the minimum value of 0.04. The value of 0.04 was used to adjust the area instead.

IMP Name: SOUTH-SIDE PLANTER (TEALE)

IMP Type: Flow-Through Planter

Soil Group: SOUTH-SIDE PLANTER (TEALE)

DMA Name	Area (sq ft)	Post Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor
SOUTH-SIDE ROOFS	2,168	Conventional Roof	1.00	2,168
		Total		2,168
	Area		0.050	0.900
	Surface Volume		0.042	0.900
	Subsurface Volume		0.050	0.900
		Maximum Under air Flow (cfs)		0.0
		Orifice		0.4
		Diameter (in)		

* The product of the IWP Sizing Factor and the Rainfall Adjustment Factor was less than the minimum value of 0.04. The value of 0.04 was used to adjust the area instead.

Report generated on 6/8/2019 12:00:00 AM by the Contra Costa Clean Water Program RMP Sizing Tool software (version 1.3.1.0).



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PLANNING STORMWATER PLAN

0 WEST NEWELL AVE.

R E V I S I O N

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PROJECT No.:

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C.3.2

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