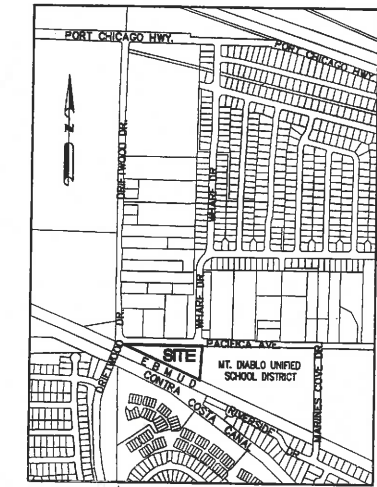


GENERAL NOTES:

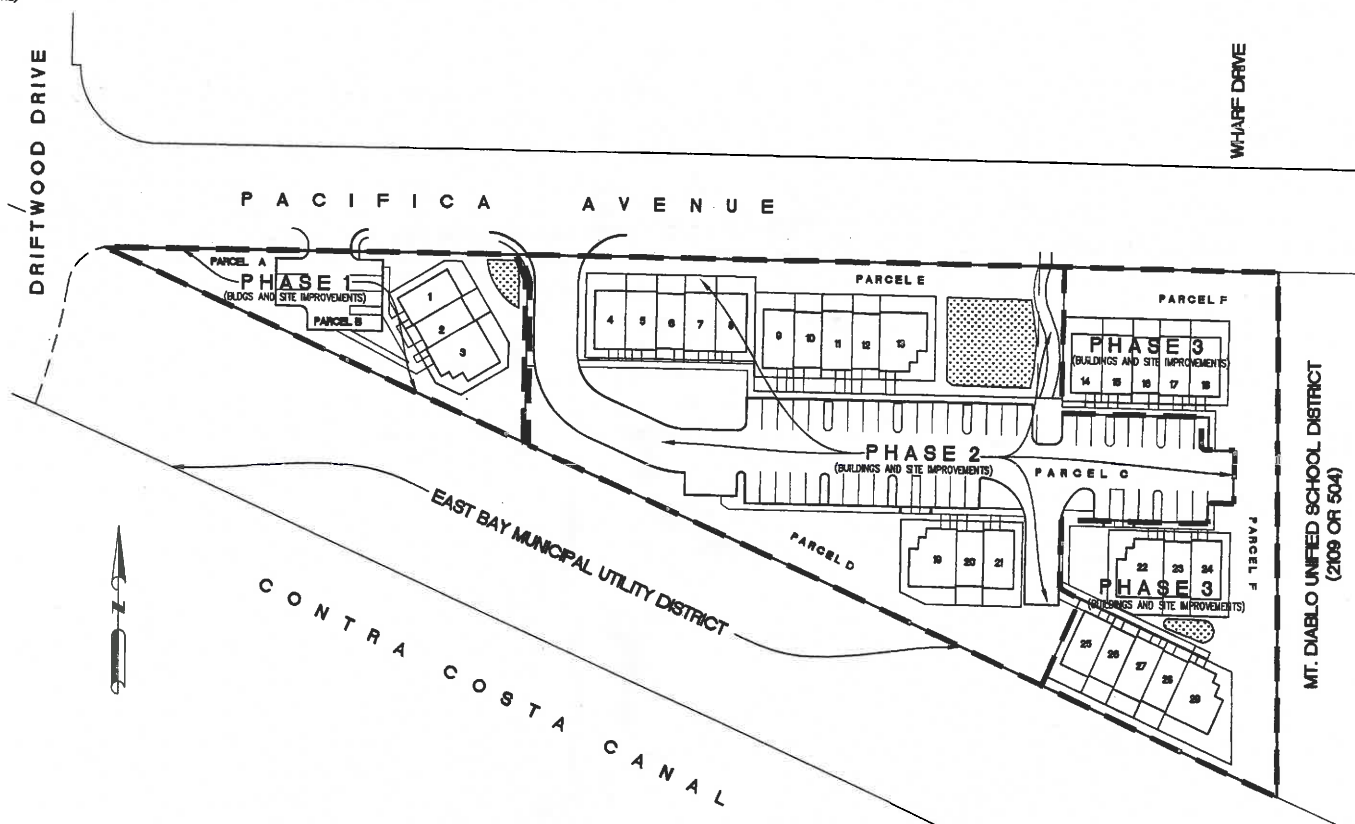
- OWNER:** HABITAT FOR HUMANITY EAST BAY/SILICON VALLEY
2519 BROADWAY
OAKLAND, CA 94612
- PROPERTY ADDRESS:** 589 PACIFICA AVENUE
BAYPOINT, CA 94565
- CIVIL ENGINEER:** ALIQUOT ASSOCIATES, INC.
1305 SOUTH MAIN ST., SUITE 310
WALNUT CREEK, CA 94598
PHONE: (925) 476-2300
FAX: (925) 476-2350
CONTACT: VINCE D'ALO
- ASSESSOR'S PARCEL NUMBERS:** 098-210-001
- EXISTING USE:** SINGLE FAMILY RESIDENTIAL
PROPOSED USE: MULTIPLE FAMILY RESIDENTIAL
- EXISTING BAY POINT GENERAL PLAN:** SINGLE FAMILY RESIDENTIAL - MEDIUM DENSITY (SM, 3.0-4.9 UNITS PER NET ACRE)
PROPOSED GENERAL PLAN AMENDMENT: MULTIPLE FAMILY RESIDENTIAL - MEDIUM DENSITY (MM, 12.0-21.9 UNITS PER NET ACRE)
- EXISTING ZONING:** R-10 (SINGLE-FAMILY RESIDENTIAL - LOT SIZE 10,000 SQUARE FEET MINIMUM)
PROPOSED ZONING: P-1
- SITE AREAS:** GROSS AREA = 2.42 ACRES
STREET AREA = 0.27 ACRES
NET AREA = 2.15 ACRES
- PROPOSED NUMBER OF LOTS:** 29 LOTS
MAXIMUM SIZE = 1,809 SF
MINIMUM SIZE = 764 SF
AVERAGE SIZE = 1,033 SF
COMMON AREA = 74,919 SF
- NET DENSITY:** PROJECT SITE GROSS AREA 2.42 ACRES
STREET AREAS (DEDUCTED) 0.27 ACRES
PROJECT NET AREA 2.15 ACRES
OP DESIGNATION: MULTIPLE FAMILY-MEDIUM DENSITY 12.0-21.9 U/AC
PROJECT UNIT COUNT PER OP DENSITY 23.8-47 UNITS
PROPOSED UNITS 29 UNITS
- FEMA:** ZONE X - AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER CONTRA COSTA COUNTY FIRM MAP PANEL 115 OF 602 MAP NUMBER 0601300115F EFFECTIVE DATE JUNE 16, 2009.
- UTILITIES:** SEWER - DELTA DIABLO SANITARY DISTRICT
WATER - GOLDEN STATE WATER COMPANY
STORM DRAIN - CONTRA COSTA COUNTY
FIRE - CONTRA COSTA COUNTY FIRE PROTECTION DISTRICT
GAS & ELECTRIC - PACIFIC GAS AND ELECTRIC (PG&E)
TELEPHONE - AT&T
CABLE - COMCAST CABLE
- BENCHMARK:** BM # 3717 CONTRA COSTA COUNTY FASTENER & TAG ON TOP CENTERLINE OF THE NORTH CONCRETE HEADWALL OF CONCRETE BOX CULVERT UNDER PORT CHICAGO HIGHWAY. CULVERT IS 500' WEST OF INTERSECTION OF WHARF DRIVE & PORT CHICAGO HIGHWAY. ELEVATION=8.651, CONTRA COSTA COUNTY DATUM (NGVD 29)

SD13-9340

"PACIFICA LANDING" VESTING TENTATIVE MAP



VICINITY MAP
NOT TO SCALE



SITE PLAN
SCALE 1"=40'

Revised
RECEIVED
CONTRA COSTA COUNTY
SEP 7 2018
Dept of Conservation & Development

SD13-9340/DP13-3027/
INDEX: RZ13-3223/GP13-0001

- TM-1 TITLE SHEET
- TM-2 EXISTING CONDITIONS
- TM-3 LOT DIMENSIONS AND AREAS
- TM-4 GRADING & DRAINAGE PLAN
- TM-5 UTILITY PLAN
- TM-6 STORMWATER CONTROL PLAN

LEGEND

PROPOSED	EXISTING
PROPERTY LINE	STORM DRAIN LINE
LOT LINE	SANITARY SEWER LINE
STORM DRAIN LINE	WATER LINE
SUBDRAIN	GAS LINE
EARTH OR CONCRETE SWALE	CATCH BASIN
SANITARY SEWER LINE	SANITARY SEWER MANHOLE
SS LAT	STORM DRAIN MANHOLE
WATER LINE	POWER POLE
WATER LATERAL	JOINT POLE
GAS LINE	JOINT POLE
RETAINING WALL	GUY WIRE
LANDSCAPE DRAIN	ELECTRODER
CATCH BASIN	WATER METER
CLEANOUT WITH SORROWCAP	WATER METER
SANITARY SEWER MANHOLE	PROPOSED GRADES
STORM DRAIN MANHOLE	RUNOFF DIRECTION
POWER POLE	EXISTING TREE TO BE REMOVED
JOINT POLE	
GUY WIRE	
ELECTRODER	
WATER VALVE	
FIRE HYDRANT	
WATER METER	
PROPOSED GRADES	
RUNOFF DIRECTION	
EXISTING TREE TO BE REMOVED	

ABBREVIATION INDEX

AB	AGGREGATE BASE	P	PAD
AC	ASPHALT CONCRETE	PAC	PRIVATE ACCESS EASEMENT
ARV	AIR RELEASE VALVE	PAV	PAVEMENT
BC	BEGINNING OF CURVE	PFW	PERIMETER FENCE WALL
BDR	BEGIN CURB RETURN	PL	PROPERTY LINE
BDRY	BOUNDARY	P/L	PROPERTY LINE
BO	BLOW OFF	PP	POWER POLE
BLDG	BUILDING	PRC	POINT OF REVERSE CURVATURE
BW	BOTTOM OF WALL (AT FINISHED GRADE)	PR	PROPOSED
CB	CATCH BASIN	PSDE	PRIVATE STORM DRAIN EASEMENT
CPP	CAST IN PLACE PIPE	PT	POINT
C/L	CENTER LINE	PUE	PUBLIC UTILITY EASEMENT
C&G	CURB AND GUTTER	PVT	PRIVATE
CO	CLEAN OUT	RET	RETAINING
CMP	CORRUGATED METAL PIPE	RI	ROODING INLET
CONC	CONCRETE	R/W	RIGHT OF WAY
DE	DRAINAGE EASEMENT	SD	STORM DRAIN LINE
DI	DROP INLET	SD/E	STORM DRAIN EASEMENT
DIP	DUCTILE IRON PIPE	SDMH	STORM DRAIN MANHOLE
DLR	DROP LINE RADIUS	SF	SQUARE FEET
DWY	DRIVEWAY	SS	SANITARY SEWER LINE
EB	ELECTRICAL BOX	SSE	SANITARY SEWER EASEMENT
EC	END OF CURB	SSM	SANITARY SEWER MAIN
ECR	END OF CURB RETURN	SSMH	SANITARY SEWER MANHOLE
ELEV	ELEVATION	STR	STRUCTURE
EP	EDGE OF PAVEMENT	SNK	SIDEWALK
EX (E)	EXISTING	TB	TOP OF BANK
FC	FACE OF CURB	TC	TOP OF VERTICAL CURB
FF	FINISH FLOOR ELEVATION	TFC	TOP OF FLUSH CURB
FH	FIRE HYDRANT	T(PFW)	TOP OF PERIMETER FENCE WALL
FL	FLOW LINE	TOP	TOP OF FOOTING
G	GAS	TP	TOP OF PAVEMENT
GB	GRADE BREAK	TW	TOP OF WALL
GBL	GRADE BREAK LINE	TP	TYPICAL
GR	GRATE	W	WATER
GUT	GUTTER	WM	WATER METER
G LP	GUTTER LIP	WV	WATER VALVE
HP	HIGH POINT	EBRP	EAST BAY REGIONAL PARK
INV	INVERT	PAC	PRIVATE ACCESS EASEMENT
JP	JOINT POLE	PAE	PRIVATE ACCESS EASEMENT
JT	JOINT TRENCH	SSE	SANITARY SEWER EASEMENT
LP	LOW POINT	PSDE	PRIVATE STORM DRAIN EASEMENT
MH	MANHOLE	PUE	PUBLIC UTILITY EASEMENT
(N)	NEW	PVT	PRIVATE
NC	NOT IN CONTRACT	CONC	CONTRA COSTA WATER DISTRICT
NTS	NOT TO SCALE	CCOFCWCD	CONTRA COSTA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT
OE/OIE	OVERHEAD ELECTRIC	DAYLIGHT LINE	DAYLIGHT LINE
		EDGE OF PAD	EDGE OF PAD

VESTING TENTATIVE MAP
TITLE SHEET

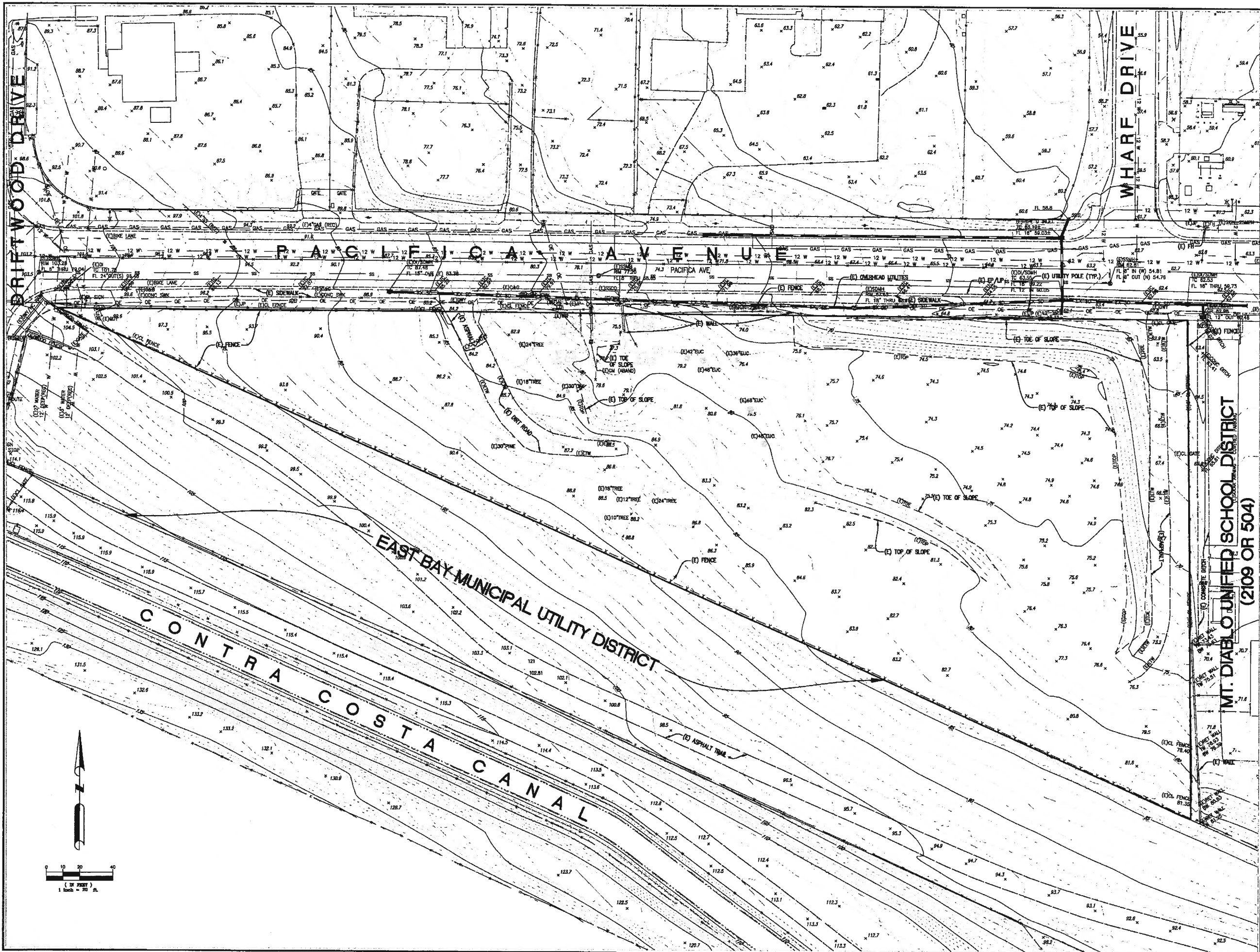
589 PACIFICA AVENUE - HABITAT FOR HUMANITY
UNINCORPORATED BAY POINT CONTRA COSTA COUNTY



Aliquot Associates, Inc.
Planners
Civil Engineers
Surveyors
2519 Broadway, Suite 310
Oakland, CA 94612
Telephone: (925) 476-2300
Fax: (925) 476-2350

No.	Date	Scale	Drawn	Check	Approved	Job No.
1	9/7/2018	AS SHOWN	VP	MS		20080224

Drawing Number:
TM-1
1 of 6



Aliquot Associates, Inc.
 2300 S. Main St., Ste. 210
 Walnut Creek, CA 94598
 Telephone: (925) 938-0200
 Fax: (925) 938-0200

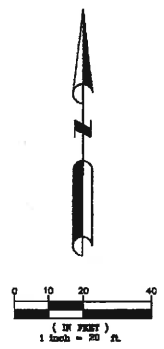
Planners
 Civil Engineer
 Surveyors

**VESTING TENTATIVE MAP
 EXISTING CONDITIONS**

590 PACIFICA AVENUE - HABITAT FOR HUMANITY

CONTRA COSTA COUNTY
 UNINCORPORATED BAYPOINT

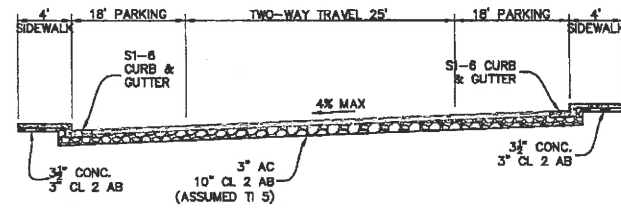
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Drawing Number:			
TM-2			
2 OF 6			



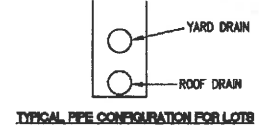
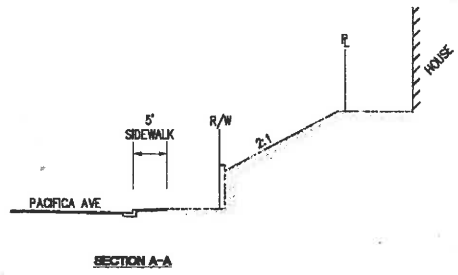
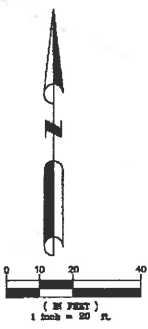
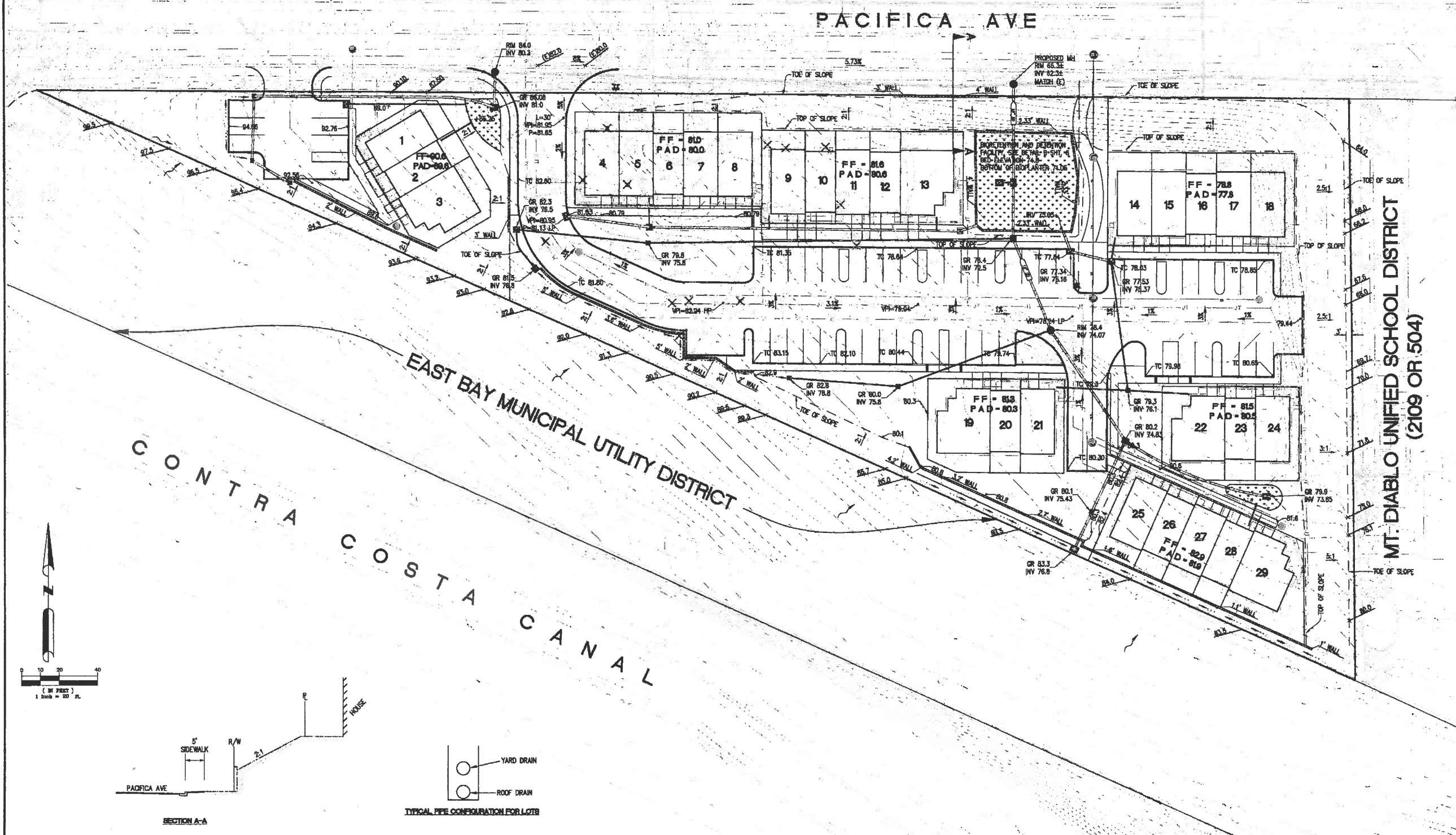
PHASE 1 GRADING QUANTITY:
 CUT - 270 CY
 FILL - 350 CY

PHASE 2 GRADING QUANTITY:
 CUT - 5,430 CY
 FILL - 5,430 CY

TREE NOTE:
 13 TREES TO BE REMOVED WITH PROJECT GRADING



TYPICAL STREET SECTION
 NOT TO SCALE



Aliquot Associates, Inc.
 Walnut Creek, CA 94596
 Telephone: (925) 478-2900
 Fax: (925) 478-2980

Planners
 Civil Engineers
 Surveyors



CALIFORNIA

VESTING TENTATIVE MAP
 GRADING AND DRAINAGE PLAN
 589 PACIFICA AVENUE - HABITAT FOR HUMANITY

UNINCORPORATED BAYPOINT CONTRA COSTA COUNTY

Drawn	Checked	Reviewed	Approved
Date	Scale	Drawn By	Drawn At

P:\2008\2008\Tentative Map\TM-4 GRADING AND DRAINAGE PLAN.dwg, 3/28/2018 2:16:43 PM, AECI.EI

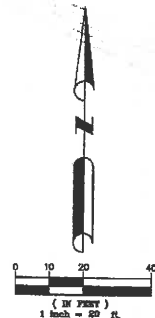
DRIFTWOOD DR.

WHARF DR.

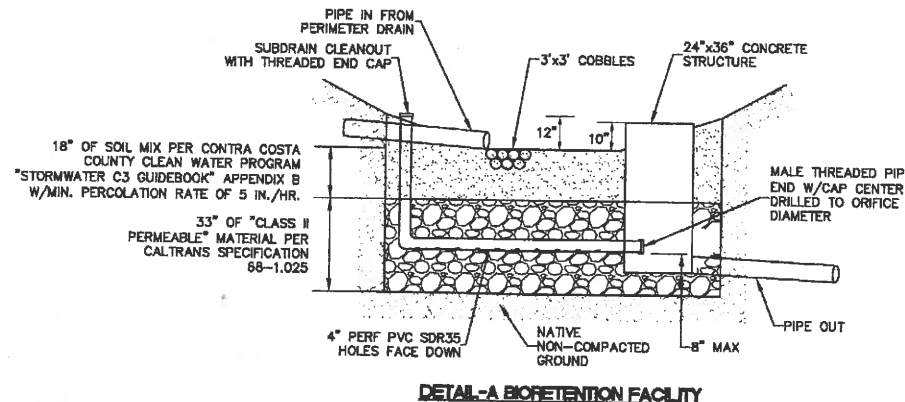
PACIFICA AVENUE

EAST BAY MUNICIPAL UTILITY DISTRICT
CONTRA COSTA CANAL

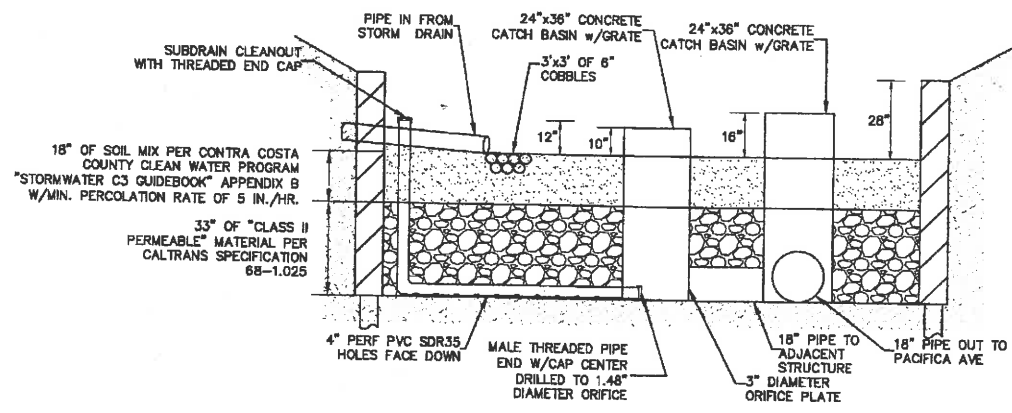
MT. DIABLO UNIFIED SCHOOL DISTRICT
(2109 OR 504)



DMA #	IMPERVIOUS AREA TRIBUTARY TO MP (SF)	PERVIOUS AREA TRIBUTARY TO MP (SF)	MP # (BIORETENTION FACILITY)	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)
DMA 1 THRU DMA 11, 15	39,084	4,987	MP#1	2,617	2,617
DMA 12 THRU DMA 14	3,550	1,154	MP#2	278	278
DMA 16 THRU DMA 18	5,038	484	MP#3	331	331
DMA 19		47,808	SELF-TREATING AREA		



DETAIL-A BIORETENTION FACILITY



DETAIL-B BIORETENTION AND DETENTION FACILITY

ALIQUOT ASSOCIATES, INC.
2300 S. MAIN ST., 3RD FLOOR
MOUNTAIN VIEW, CA 94039
TEL: (415) 947-8200
FAX: (415) 947-8202

Planners
Civil Engineers
Surveyors



CALIFORNIA

VESTING TENTATIVE MAP
STORMWATER CONTROL PLAN
589 PACIFICA AVENUE - HABITAT FOR HUMANITY
UNINCORPORATED BAY POINT CONTRA COSTA COUNTY

NO.	DATE	BY	CHKD.	APP'D.	JOB NO.
1	3/20/18
2
3
4
5
6

P:\2018\2018\Tentative Map\TM-6_STORMWATER CONTROL PLAN.dwg, 3/20/2018 2:22:48 PM, ANCH11

GENERAL NOTES

- PLANS ARE BASED UPON ARCHITECTURAL DRAWINGS PREPARED BY GEOFFREY HOLTON AND ASSOCIATES ARCHITECTS AND ALJOUT ASSOCIATES CIVIL ENGINEERS. CONTRACTOR SHALL REVIEW THESE DOCUMENTS, CONFIRM ALL DIMENSIONS AND ELEVATIONS AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES, EITHER ON THE PLANS OR OBSERVED IN THE FIELD PRIOR TO COMMENCING WORK.
- ALL WORK SHALL BE PERFORMED BY QUALIFIED LICENSED CONTRACTORS OR SUBCONTRACTORS HAVING AT LEAST 5 YEARS EXPERIENCE WITH SIMILAR PROJECTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND PAYING ALL FEES RELATED TO THE SCOPE OF WORK, UNLESS STATED OTHERWISE IN THE CONTRACT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK WITH THAT OF OTHER SUBCONTRACTORS ON THE SITE TO AVOID CONFLICTS WITH WORK SEQUENCE AND DELAYS IN THE PROGRESS OF WORK BY OTHERS.
- CODES AND STANDARDS: ALL WORK SHALL BE IN ACCORDANCE WITH STANDARDS STATED IN THE NOTES AND ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO:
 AMERICAN DISABILITIES ACT
 UNIFORM BUILDING CODE
 CALIFORNIA STATE TITLE 24
 CALIFORNIA STATE BOARD OF CONSUMER AFFAIRS FOR AREAS OF WORK GOVERNED BY APPLICABLE LICENCE REQUIREMENTS
 CONTRA COSTA COUNTY
- CONSTRUCTION LAYOUT: CONTRACTOR SHALL STAKE IN THE FIELD ALL ITEMS SHOWN ON THESE PLANS TO BE CONSTRUCTED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. IF CONFLICTS BETWEEN PROPOSED CONSTRUCTION AND EXISTING SURFACE AND SUBSURFACE CONDITIONS ARE APPARENT, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY AND DO NOT PROCEED WITH WORK UNTIL AUTHORIZED TO PROCEED. ALL CHANGES TO PROPOSED CONSTRUCTION WORK MUST BE AUTHORIZED BY LANDSCAPE ARCHITECT IN WRITING. UNAUTHORIZED WORK SHALL BE SUBJECT TO REMOVAL AND PROPERLY CONSTRUCTED IN ACCORDANCE WITH CONDITIONS IDENTIFIED ON THE DRAWINGS AND PROJECT SPECIFICATIONS OR AS AMENDED IN WRITING BY THE LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- GRADING AND DRAINAGE: CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH ALL RELATED PLANS, DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING WORK, INCLUDING BUT NOT LIMITED TO: ARCHITECTURAL, CIVIL, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS. NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR OBSTRUCTIONS RELATED TO THE WORK IMMEDIATELY FOR DIRECTIONS OR MODIFICATIONS TO THE PROPOSED PLANS. DO NOT PROCEED WITH WORK WHICH MODIFIES OR CHANGES THE PLANS WITHOUT AUTHORIZATION BY THE OWNER'S REPRESENTATIVE.
- INSPECTIONS: PROVIDE MINIMUM 48 HOURS PRIOR NOTICE TO LANDSCAPE ARCHITECT TO SCHEDULE INSPECTIONS. INSPECTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING ITEMS. CONTRACTOR TO MAKE EVERY EFFORT TO COMBINE ITEMS FOR INSPECTION WHENEVER POSSIBLE.
 - PRE-CONSTRUCTION SITE WALK THROUGH
 - CONSTRUCTION LAYOUT
 - GRADING AND FORM WORK
 - IRRIGATION MAINLINES AND VALVING - PRIOR TO BACK FILLING TRENCHES (INCLUDES FULLY PRESSURIZED MAIN LINES)
 - IRRIGATION HEAD LAYOUT PRIOR TO INSTALLATION, AND PLANTING LAYOUT PRIOR TO INSTALLATION
 - PRELIMINARY INSPECTION OF FINAL WORK PRIOR TO AUTHORIZING MAINTENANCE PERIOD.
 - FINAL INSPECTION PRIOR TO AUTHORIZING MAINTENANCE PERIOD
 - END OF MAINTENANCE PERIOD PRIOR TO AUTHORIZING WARRANTY PERIOD
- SUBMITTALS: CONTRACTOR SHALL ALLOW 21 DAYS REVIEW BY OWNER'S REPRESENTATIVE FOR APPROVAL OF SUBMITTAL ITEMS. CONTRACTOR TO IDENTIFY LEAD TIMES FOR PRODUCTION, MANUFACTURE AND DELIVERY OF ALL SUBMITTAL ITEMS IDENTIFIED IN THE SPECIFICATIONS AND PROVIDE ADEQUATE TIME FOR REVIEW BY OWNER'S REPRESENTATIVE. DELAYS TO THE WORK SCHEDULE RESULTING FROM INADEQUATE TIME TO REVIEW SUBMITTAL ITEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THESE PLANS COMPLY WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENCY ORDINANCE AND APPLY THOSE CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

LAYOUT NOTES

- DIMENSIONS ARE TO FACE OF CURB, FACE OF WALL, FACE OF COLUMN, AND EDGE OF PAVING UNLESS OTHERWISE NOTED.
- VERIFY EXISTING AND NEW UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ANY CONFLICTS OR DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- AFTER NOTIFYING UNDERGROUND SERVICE ALERT AND HAVING MARKED & LOCATED UTILITIES, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE WHICH UTILITIES, IF ANY, HAVE BEEN ABANDONED BY EACH SPECIFIC UTILITY COMPANY.
- NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS RELATED TO THE WORK IMMEDIATELY FOR DIRECTIONS OR MODIFICATIONS TO THE PROPOSED PLANS. DO NOT PROCEED WITH WORK WHICH MODIFIES OR CHANGES THE DESIGN WITHOUT AUTHORIZATION BY LANDSCAPE ARCHITECT.
- STAKE PROPOSED IMPROVEMENTS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- COORDINATE ALL CONSTRUCTION ELEMENTS PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE, AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING WORK.

PLANTING NOTES

- ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
- CONTRACTOR TO PROVIDE A MINIMUM OF TWO AGRICULTURAL SOIL ANALYSIS DONE BY A NAPT QUALIFIED SOIL-TESTING LABORATORY FOR REVIEW BY LANDSCAPE ARCHITECT. LOCATION SHALL BE SELECTED BY LANDSCAPE ARCHITECT. SOIL ANALYSIS TO INCLUDE SOIL TEXTURE, PH, SOLUBLE SALTS, SODIUM, ESSENTIAL NUTRIENTS AND PERCENT ORGANIC MATTER. SOIL ANALYSIS LAB TO MAKE RECOMMENDATIONS FOR AMENDING THE NATIVE SOIL WITH COMPOST TO BRING ORGANIC MATTER TO A MINIMUM OF 5% DRY WEIGHT AND INCORPORATING NON-SYNTHETIC FERTILIZERS TO RECOMMENDED LEVELS FOR PLANTING AREA.
- SUBMIT TECHNICAL DATA SHEET FOR ALL FERTILIZERS AND AMENDMENTS TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO PLACEMENT.
- PLANT COUNT IS FOR THE CONVENIENCE OF THE CONTRACTOR. IN CASE OF DISCREPANCIES, THE PLAN SHALL GOVERN.
- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE LANDSCAPE ARCHITECT. PLANT LOCATIONS ARE TO BE ADJUSTED IN THE FIELD AS NECESSARY TO SCREEN UTILITIES BUT NOT SIGNS NOR TO IMPEDE ACCESS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS, AND DELETIONS IN THE PLANTING SCHEME AS THEY FEEL NECESSARY WHILE WORK IS IN PROGRESS UPON APPROVAL OF THE OWNER. SUCH CHANGES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF NECESSARY.
- ALL TREES ARE TO BE STAKED AS SHOWN ON THE TREE STAKING DIAGRAMS. BRANCHING HEIGHT OF TREES SHALL BE A 6'-0" MINIMUM ABOVE FINISH PAVING. ALL TREES IN A FORMAL GROUP PLANTING SHALL BE MATCHING IN SIZE AND SHAPE. LANDSCAPE ARCHITECT SHALL BE CONSULTED REGARDING ORIENTATION OF TREES PRIOR TO PLANTING AND/OR BACKFILLING. TREES INSTALLED WITHOUT THIS APPROVAL WILL BE SUBJECT TO REMOVAL AND REPLANTING TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- ALL BOXED MATERIALS SHALL BE HAND-PICKED AND TAGGED BY THE LANDSCAPE ARCHITECT AT THEIR PLACE OF ORIGIN. BOXED MATERIALS PLANTED WITHOUT SELECTION BY LANDSCAPE ARCHITECT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT NO ADDITIONAL COST TO THE OWNER.
- TREES MUST HAVE AN UNCUT LEADER WITH A UNIFORM TAPER FROM BASE TO TIP. TREES MUST MEET AT LEAST NORMAL CALIPER AND HEIGHT FOR CONTAINER SIZE. TREES WHICH ARE OVERGROWN, UNDERSIZED, ROOT BOUND, OR WITH CO-DOMINANT LEADERS ARE NOT ACCEPTABLE AND SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3" LAYER OF MULCH. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO ORDERING. REFER TO SPECIFICATION SHEET L10.06 FOR ADDITIONAL INFORMATION.
- ALL TREES WITHIN 5'-0" OF PAVING SHALL HAVE 24" DEEP ROOT BARRIERS. REFER TO DETAILS AND NOTES FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY HIS OPERATIONS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE WITHOUT ANY ADDITIONAL CHARGE.
- LAYOUT PLANTS IN CONTAINERS FOR INSPECTION BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. FAILURE TO COMPLY WITH THIS REQUIREMENT MAY RESULT IN REMOVAL AND REPLACEMENT OF PLANT MATERIAL AT NO ADDITIONAL COST BY OWNER.

SOIL PREPARATION NOTES

- TOPSOIL ANALYSIS:
 - FURNISH SOIL ANALYSIS BY A NAPT QUALIFIED SOIL-TESTING LABORATORY FOR EXISTING NATIVE SOIL AFTER MASS GRADING FOR REVIEW BY LANDSCAPE ARCHITECT. FURNISH SOIL ANALYSIS FOR IMPORT TOPSOIL IF IMPORT TOPSOIL IS REQUIRED.
 - SOIL ANALYSIS SHALL INCLUDE SOIL TEXTURE, INFILTRATION RATE, PH, TOTAL SOLUBLE SALTS, SODIUM, ESSENTIAL NUTRIENTS, PERCENT ORGANIC MATTER, AND SUITABILITY OF TOPSOIL FOR PLANT GROWTH.
 - RECOMMENDATION - REQUEST THAT THE LABORATORY MAKE RECOMMENDATIONS FOR AMENDING THE TOPSOIL SOIL WITH COMPOST TO BRING THE SOIL ORGANIC MATTER TO A MINIMUM OF 5% BY DRY WEIGHT AND INCORPORATING NATURAL, NON-SYNTHETIC FERTILIZERS TO RECOMMENDED LEVELS FOR PLANTING AREA.
- SOIL AMENDMENT & IMPORT SOIL INSTALLATION. REFER TO DETAILS
- SCARIFY ALL PLANTING AREAS PRIOR TO FINE GRADING IN ORDER TO ENSURE RELATIVE COMPACTION OF 85% OR LESS. ANY PLANTING AREAS WHICH BECOME COMPACTED IN EXCESS OF 85% DUE TO CONSTRUCTION ACTIVITIES SHALL BE THOROUGHLY CROSS-RIPPED TO THE MAXIMUM DEPTH FEASIBLE TO ALLEVIATE THAT CONDITION (MINIMUM DEPTH OF 9 INCHES), TAKING CARE TO AVOID ALL EXISTING DRAINAGE AND SUBSURFACE UTILITY LINES.
- FINELY FINISH SURFACES BY RAKING SMOOTHLY AND EVENLY. REMOVE ALL EXPOSED, EXTRANEOUS MATTER ONE INCH OR LARGER IN SIZE TO FACILITATE NATURAL RUNOFF. DRAG TO SMOOTH SURFACE.
- FINISH GRADES WILL SLOPE TO DRAIN, WITHOUT WATER POCKETS OR IRREGULARITIES (HUMPS OR HOLLOWES). FINISH GRADES WILL MEET ALL EXISTING CONTROLS AND SHALL BE 3 INCHES BELOW ADJACENT TOP OF PAVING, CURBS, SIDEWALKS AND PLANTERS, UNLESS OTHERWISE NOTED ON PLANS. GRADES WILL BE OF UNIFORM SLOPE BETWEEN POINTS OF FIXED ELEVATION. ESTABLISH VERTICAL CURVES OR ROUNDING AT ABRUPT CHANGES IN SLOPE.
- ALL FINISH GRADES WILL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING THE PLANTING OPERATIONS.

ABBREVIATIONS

ADJ	ADJACENT	OC	ON CENTER
AGG	AGGREGATE	PA	PLANTING AREA
AL	ALIGN	PN	PROJECT NORTH
BR	BOTTOM OF RAMP	POB	POINT OF BEGINNING
BS	BOTTOM OF STAIR	PTDS	PRESSURE TREATED DOUG FIR RISER
BTW	BETWEEN	R	RISER
BW	BOTTOM OF WALL	RE	RIM ELEVATION
CB	CATCH BASIN	SAD	SEE ARCHITECT'S DRAWINGS
CIP	CAST IN PLACE	SCD	SEE CIVIL ENGINEER'S DRAWINGS
CJ	CONTROL JOINT	SOS	STORM DRAIN SYSTEM
CL	CENTERLINE	SED	SEE ELECTRICAL ENGINEER'S DRAWINGS
CLR	CLEARANCE	SD	STORM DRAIN
CO	CLEAN OUT	SM	SIMILAR
CONC	CONCRETE	SI	SCORE JOINT
CONF	CONFIGURATION	SMD	SEE MECHANICAL ENGINEER'S DRAWINGS
CONT	CONTINUOUS	SPECS	SPECIFICATIONS
DG	DECOMPOSED GRANITE	SS	STAINLESS STEEL
DWG	DRAWING(S)	SSD	SEE STRUCTURAL ENGINEER'S DRAWINGS
(E)	EXISTING	STL	STEEL
EJ	EXPANSION JOINT	TC	TOP OF CURB
EQ	EQUAL	TF	TOP OF FENCE
EW	EACH WAY	THLD	THRESHOLD
FF	FINISH FLOOR	TP	TOP OF PLANTER
FG	FINISHED GRADE	TR	TOP OF RAMP
FOB	FACE OF BUILDING	TS	TOP OF STAIR
FOW	FACE OF WALL	TW	TOP OF WALL
FP	FINISH PAVING	TYP	TYPICAL
GB	GRADE BREAK	UN	UNLESS OTHERWISE NOTED
HP	HIGH POINT	VF	VERIFY IN FIELD
HPS	HIGH POINT SWALE	WPM	WATERPROOF MEMBRANE
INV	INVERT	WP	WATERPROOFING
LT	LIGHT	WRC	WESTERN RED CEDAR
MAX	MAXIMUM		
MIN	MINIMUM		
MFR	MANUFACTURER		
NTS	NOT TO SCALE		

TOTAL PLANTING AREA: 46,717 SF

SHEET LIST	
SHEET NUMBER	SHEET TITLE
L0.01	COVER SHEET
L1.01	LANDSCAPE PLAN
L2.01	SITE FURNISHINGS IMAGES
L3.01	IRRIGATION PLAN
L4.01	PLANT PALETTE
L4.02	PLANTING PLAN



PACIFICA LANDING

VESTING TENTATIVE MAP (VPN) AND DEVELOPMENT PLAN (DP)

589 PACIFICA AVENUE, BAY POINT, CA 94565

NO.	DATE	REVISION
1	20 DEC 17	PLANNING SUBMITTAL
2	15 MAR 18	PLANNING RESUBMITTAL

SHEET TITLE
COVER SHEET

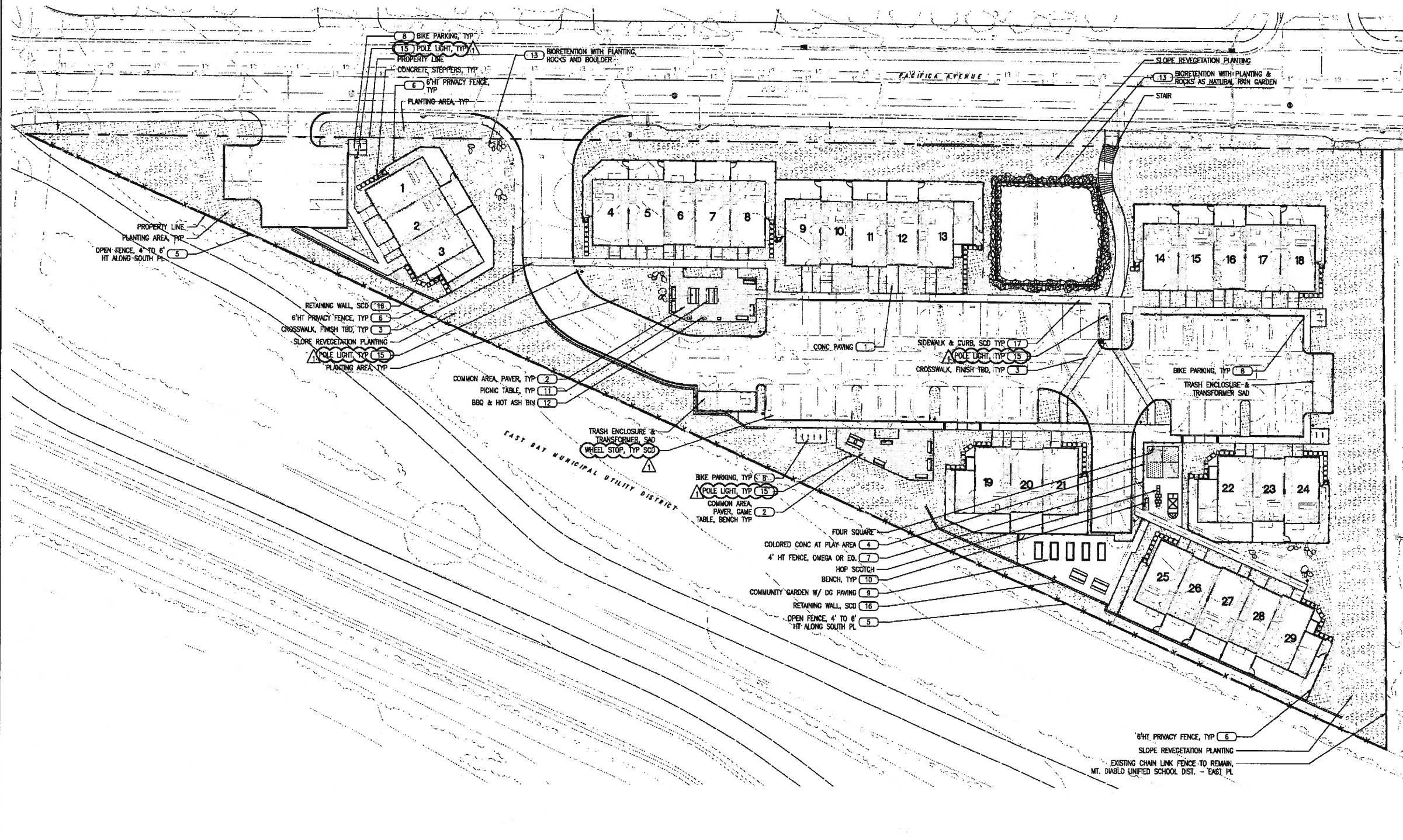
JOB NO. _____
 SCALE AS SHOWN
 DRAWN BY CL
 SHEET NO. _____

L0.01



9	COMMUNITY GARDEN	-
10	BENCH	-
11	PICNIC TABLE	-
12	BBQ AND HOT ASH BIN	-
13	RAIN GARDEN/BIORETENTION WITH ROCKS	-
14	GAME TABLE	-
15	POLE LIGHT	SED
16	RETAINING WALL	SCD
17	CONCRETE SIDEWALK & CURB	SCD

KEY	DESCRIPTION	DETAIL
1	CONCRETE PAVING	-
2	COLORED CONCRETE PAVING	-
3	CROSSWALK, FINISH TBD	-
4	DECORATIVE CONCRETE PAVERS	-
5	OPEN FENCE, 4'-6" HT	-
6	PRIVACY WOOD FENCE, 6' HT	-
7	OMEGA SCREEN FENCE	-
8	BIKE PARKING WITH BIKE RACKS	-



**PACIFICA
LANDING**
VESTING TENTATIVE MAP (VPM)
AND DEVELOPMENT PLAN (DP)

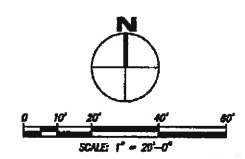
589 PACIFICA AVENUE,
BAY POINT, CA 94565

NO.	DATE	ISSUE
1	28 DEC 17	PLANNING SUBMITTAL
2	13 MAR 18	PLANNING RESUBMITTAL

SHEET TITLE
LANDSCAPE PLAN

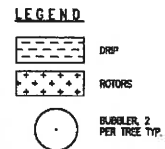
JOB NO.	AS SHOWN
SCALE	CL
DATE	
SHEET NO.	

L1.01

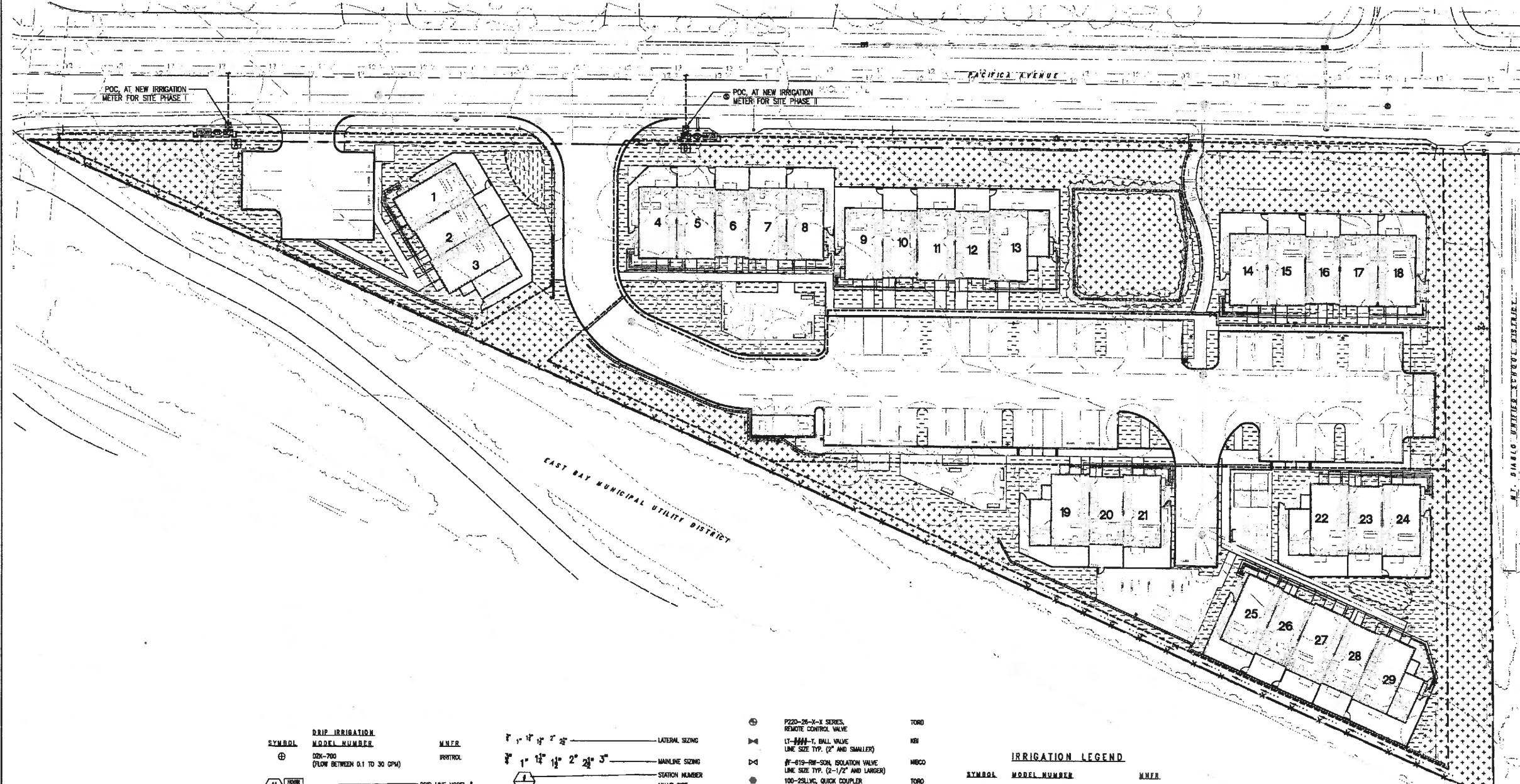


TITLE 23 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE:
I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR
THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN AND IRRIGATION DESIGN PLAN.

- IRRIGATION DESIGN INTENT**
- THIS PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), CONTRA COSTA COUNTY, AND GOLDEN STATE WATER COMPANY.
 - THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
 - THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP, BUBBLER DISTRIBUTION, AND ROTOR WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.
 - ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE AND MINIMAL MAINTENANCE REQUIREMENT, INSTALLED BELOW-GRADE, AND DESIGNED FOR 100% COVERAGE.
 - THE SYSTEM SHALL INCLUDE A MASTER CONTROL VALVE AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
 - THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.



JETT
LANDSCAPE ARCHITECTURE + DESIGN
ORLA #3336 - 2 Theatre Square #219 - Orinda CA - 94563
925.354.5422 - www.jettdesign.com



DRIP IRRIGATION

SYMBOL	MODEL NUMBER	M.N.R.
(Symbol)	02K-700 (FLOW BETWEEN 0.1 TO 30 GPM)	IRRITROL
(Symbol)	AS DETAILED	NETAFIM
(Symbol)	AS DETAILED	NETAFIM
(Symbol)	TURBOFLO-1, ALSO SEE DETAIL 10-F-01	NETAFIM
(Symbol)	IRRIGATION CHECK VALVE BPC-4070-S BPC-1000-S OR BPC-1500-S	XBI

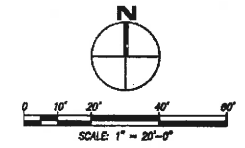
SPRAY IRRIGATION (ROTOR)

SYMBOL	MODEL NUMBER	M.N.R.
(Symbol)	PRO5-05-PR540-CY-MP1000	HUNTER
(Symbol)	PRO5-05-PR540-CY-MP1000	HUNTER
(Symbol)	PRO5-05-PR540-CY-MP2000	HUNTER
(Symbol)	PRO5-05-PR540-CY-MP2000	HUNTER
(Symbol)	PRO5-05-PR540-CY-MP3000	HUNTER
(Symbol)	PRO5-05-PR540-CY-MP3000-90	HUNTER
(Symbol)	PRO5-05-PR540-CY-MP4000R	HUNTER
(Symbol)	BUBBLERS (TWO PER EACH TREE, ONE PER SHRUB OR VIEW TYP.) FB-200-ADJ-PC2.00	TORO

(Symbol)	P220-25-X-X SERIES, REMOTE CONTROL VALVE	TORO
(Symbol)	LT-1000-T, BALL VALVE LINE SIZE TYP. (2" AND SMALLER)	XBI
(Symbol)	IF-619-RW-SOL, ISOLATION VALVE LINE SIZE TYP. (2-1/2" AND LARGER)	NECO
(Symbol)	100-ZSLVC, QUICK COUPLER LK - PROVIDE (2) TOTAL 100-MIS - PROVIDE (2) TOTAL 100-SLK - PROVIDE (2) TOTAL	TORO
(Symbol)	CARSON #1418, PULL BOX CHRISTY #H-5 (ON PAVING)	OLD CASTLE
(Symbol)	2000 SERIES (2" SIZE) MASTER VALVE	GRSCHILD
(Symbol)	IR-220P (1 1/2" SIZE) FLOW SENSOR	DATA INDUSTRIAL WILKINS
(Symbol)	500MLYSR KIT *INSTALL ONLY WHEN WATER PRESSURE EXCEEDS 75 PSI AT POINT OF CONNECTION	
(Symbol)	HOSE BIBB	
(Symbol)	PVC SCHEDULE 40	
(Symbol)	PVC GLASS 315 SCHEDULE 40	
(Symbol)	FLOW SENSOR CABLE	
(Symbol)	PVC GLASS 315	

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	M.N.R.
(Symbol)	POINT OF CONNECTION	
(Symbol)	BACKFLOW PREVENTER	
(Symbol)	MC-122 IRRITROL MC-E BLUE ET CONTROLLER	IRRITROL
(Symbol)	EQP-TW RAIN MASTER TWICE 2-WIRE ET CONTROLLER	IRRITROL RAINMASTER
(Symbol)	PRIMAX REMOTE CONTROL KIT	IRRITROL
(Symbol)	RS1000, WIRELESS RAIN SENSOR	IRRITROL
(Symbol)	TR-CAB-14, DECODER CABLE	IRRITROL
(Symbol)	TR-D-1, DECODER	IRRITROL
(Symbol)	GROUNDING ROD	
(Symbol)	TR-LA-1, LIGHTNING ARRESTOR	IRRITROL



PACIFICA LANDING
VESTING TENTATIVE MAP (VPM)
AND DEVELOPMENT PLAN (DP)

589 PACIFICA AVENUE,
BAY POINT, CA 94565

NO.	DATE	DESCRIPTION
01	02 DEC 17	PLANNING SUBMITTAL
02	13 MAR 18	PLANNING RESUBMITTAL

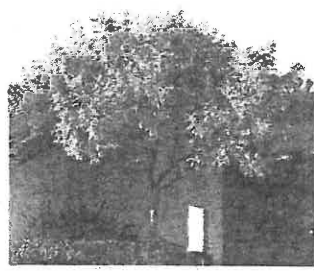
IRRIGATION PLAN

SCALE	AS SHOWN
DESIGNED BY	CL
CHECKED BY	

L3.01

TREES

PARKING AREA TREE OPTIONS



PISTACIA CHINENSIS



QUERCUS AGRIFOLIA

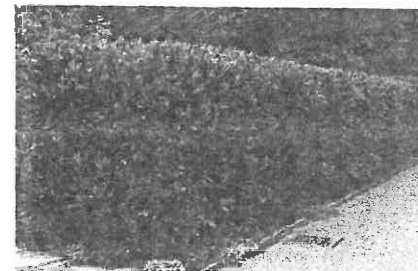
ACCENT TREE OPTIONS



CERCIS OCCIDENTALIS



LAGERSTROEMIA INDICA



LAURUS NOBILIS

SCREENING

NOTES:

1. IRRIGATION SYSTEM TO BE FULLY AUTOMATIC WEATHER-BASED SYSTEM UTILIZING A WEATHER-BASED EVAPOTRANSPIRATION/SMART CONTROLLER WITH A RAIN OR SOIL MOISTURE SENSOR.
2. IRRIGATION SHALL BE IN ACCORDANCE WITH REGULATIONS OF CONTRA COSTA COUNTY, CALIFORNIA GREEN BUILDING STANDARDS CODE, STATE WATER ORDINANCE, HABITAT FOR HUMANITY EAST BAY/SILICON VALLEY.
3. PLANT MATERIAL SHALL BE NATIVE OR DROUGHT TOLERANT SPECIES.



Habitat
for Humanity®
East Bay/Silicon Valley

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SHRUBS, GROUNDCOVERS, AND VINE



ACHILLEA MILLEFOLIUM 'CERISE QUEEN'



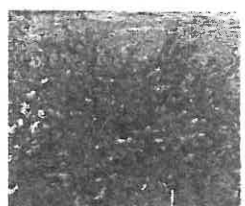
ARCTOSTAPHYLOS 'HOWARD MCMIN'



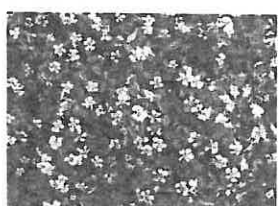
ANAGALLIS 'PINK JOEY'



BULBINE FRUTESCENS



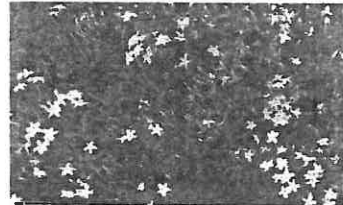
CEANOTHUS 'SKYLARK'



COTONEASTER 'CORAL BEAUTY'



DIETES GRANDIFLORA 'VAREGATA'



JASMINUM OFFICINALE



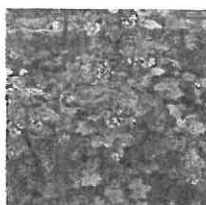
LOVANDRA LONGIFOLIA 'BREEZE'



NANDINA DOMESTICA
'LEMON LIME'



PITOSPORUM TOBIRA 'WHEELER'S DWARF'



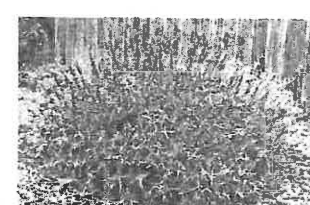
RIBES SANGUINEUM 'KING EDWARD VI'



RHAMPHOLEPIS INDICA 'CLARA'



ROSMARINUS OFFICINALIS
'TUSCAN BLUE'



SALVIA LEUCOPHYLLA

NATURAL SLOPE REVEGETATION PLANTS



ARCTOSTAPHYLOS EDMUNDSI 'BIG SUR'



BACCHARIS PILULARIS



CEANOTHUS MARITIMUS



ERIODORUM FASCICULATUM 'WARRINER LYTLE'



SALVIA 'MRS BEARD'

STORMWATER PLANTS



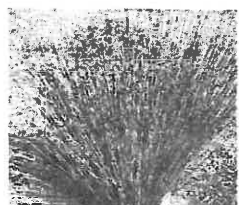
ACHILLEA MILLEFOLIUM
'CERISE QUEEN'



CAREX DIMISSA



CHONDROPETALUM TECTORUM



JUNCUS PATENS



MUHLENBERGIA RIGENS



SISYRINCHIUM BELLUM

PACIFICA
LANDING
VESTING TENTATIVE MAP (VPN)
AND DEVELOPMENT PLAN (DP)

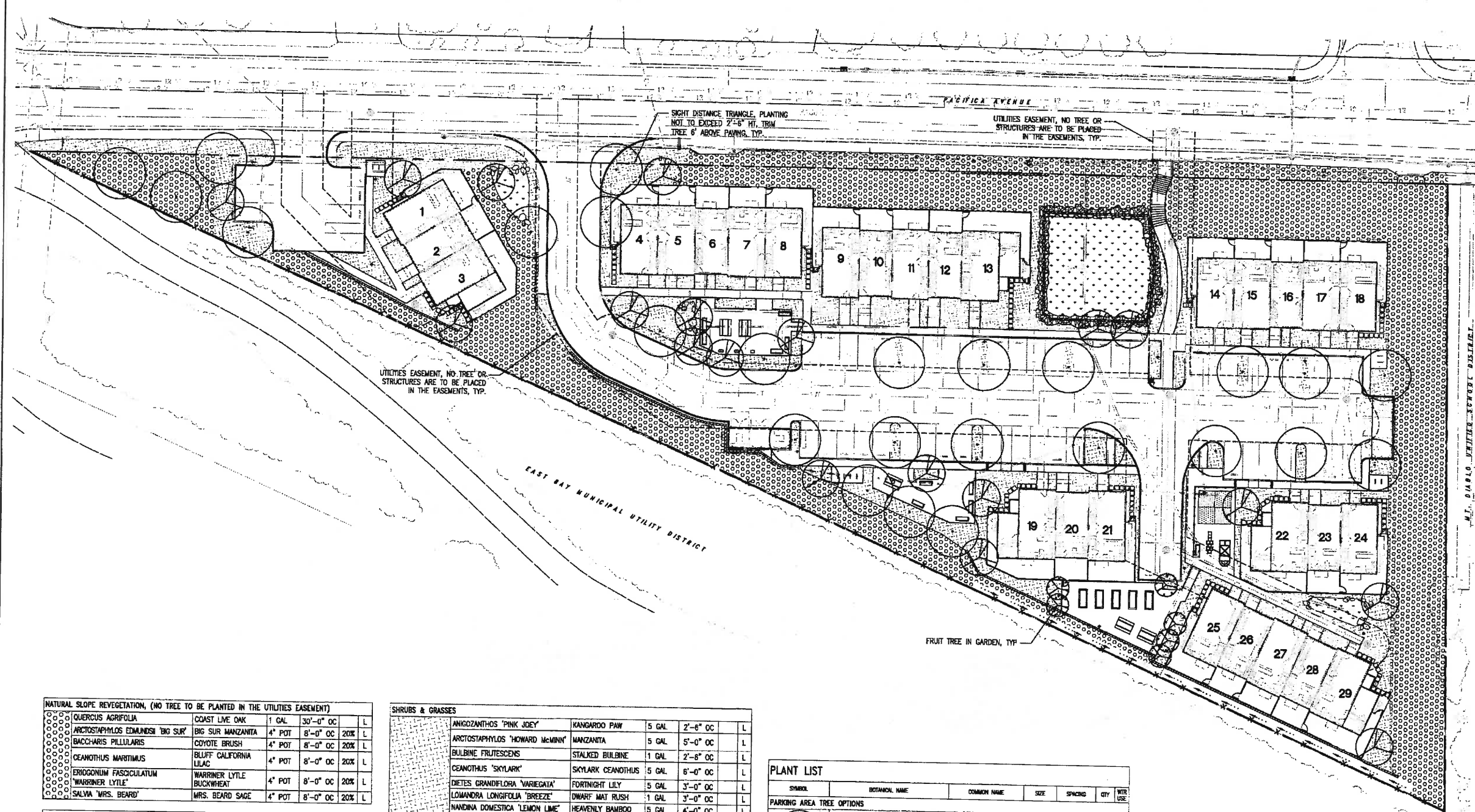
589 PACIFICA AVENUE,
BAY POINT, CA 94565

NO.	DATE	ISSUE
20	DEC 17	PLANNING SUBMITTAL
17	MAR 18	PLANNING RESUBMITTAL

SHEET TITLE
PLANT PALETTE

JOB NO.	SCALE	AS SHOWN
DRAWN BY	CL.	
SHEET NO.		

L4.01

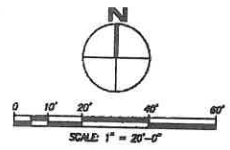


NATURAL SLOPE VEGETATION, (NO TREE TO BE PLANTED IN THE UTILITIES EASEMENT)					
○	QUERCUS AGRIFOLIA	COAST LIVE OAK	1 GAL	30'-0" OC	L
○	ARCTOSTAPHYLOS EDWARDSII 'BIG SUR'	BIG SUR MANZANITA	4" POT	8'-0" OC	20% L
○	BACCHARIS PILLULARIS	COYOTE BRUSH	4" POT	8'-0" OC	20% L
○	CEANOETHUS MARITIMUS	BLUFF CALIFORNIA LILAC	4" POT	8'-0" OC	20% L
○	ERIOGONUM FASCICULATUM 'WARRINER LYLE'	WARRINER LYLE BUCKWHEAT	4" POT	8'-0" OC	20% L
○	SALVIA 'MRS. BEARD'	MRS. BEARD SAGE	4" POT	8'-0" OC	20% L
STORMWATER					
○	ACHILLEA MILLEFOLIUM 'CERISE QUEEN'	ROSE YARROW	1 GAL	2'-0" OC	L
○	CAREX DIMULSA	BERKELEY SEDGE	1 GAL	2'-0" OC	L
○	CHONOROPETALUM TECTORUM	CAPE RUSH	3 GAL	3'-0" OC	L
○	JUNCUS PATENS 'ELK BLUE'	RUSH	1 GAL	2'-0" OC	L
○	MUHLENBERGIA RIGENS	DEER GRASS	3 GAL	3'-0" OC	L
○	SISYRINCHIUM BELLUM	BLUE-EYED GRASS	1 GAL	2'-0" OC	L

NOTES
 1. ALL PLANT QUANTITIES NOTED ABOVE ARE ESTIMATED FOR THE CONVENIENCE OF THE CONTRACTOR. FINAL COUNTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 2. NO TREES TO BE PLANTED IN THE UTILITIES EASEMENTS.

SHRUBS & GRASSES					
○	ANGONANTHOS 'PINK JOEY'	KANGAROO PAW	5 GAL	2'-6" OC	L
○	ARCTOSTAPHYLOS 'HOWARD McMINN'	MANZANITA	5 GAL	5'-0" OC	L
○	BULBINE FRUTESCENS	STALKED BULBINE	1 GAL	2'-8" OC	L
○	CEANOETHUS 'SKYLARK'	SKYLARK CEANOETHUS	5 GAL	6'-0" OC	L
○	DIETES GRANDIFLORA 'VARIEGATA'	FORTNIGHT LILY	5 GAL	3'-0" OC	L
○	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	3'-0" OC	L
○	NANDINA DOMESTICA 'LEMON LIME'	HEAVENLY BAMBOO	5 GAL	4'-0" OC	L
○	PITTIOSPORUM T. 'WHEELER'S DWARF'	DWARF MOCK ORANGE	5 GAL	4'-0" OC	L
○	RIBES SANGUINEUM 'KING EDWARD VI'	FLOWERING CURRANT	5 GAL	5'-0" OC	L
○	RHAPHIOLEPIS INDICA 'CLARA'	INDIA HAWTHORNE	5 GAL	4'-0" OC	L
○	ROSMARINUS 'TUSCAN BLUE'	UPRIGHT ROSEMARY	5 GAL	4'-0" OC	L
○	SALVIA LEUCOPHYLLA	PURPLE SAGE	5 GAL	4'-0" OC	L
GROUNDCOVERS					
○	ARCTOSTAPHYLOS 'EMERALD CARPET'	MANZANITA	1 GAL	5'-0" OC	L
○	COTONEASTER D. 'CORAL BEAUTY'	COTONEASTER	1 GAL	5'-0" OC	L
VINES					
○	JASMINUM OFFICINALE	JASMINE VINE	5 GAL	PER PLAN	L

PLANT LIST						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CITY	NOTE
PARKING AREA TREE OPTIONS						
○	PISTACIA CHINENSIS	CHINESE PISTACHIO	15 GAL	PER PLAN		L
○	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL	PER PLAN		VL
ACCENT TREES						
○	LAGERSTOEMIA INDICA	GRAPE MYRTLE	15 GAL	PER PLAN		L
○	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL	PER PLAN		L
SCREENING						
○	LAURUS NOBILIS	SWEET BAY	15 GAL	PER PLAN		L



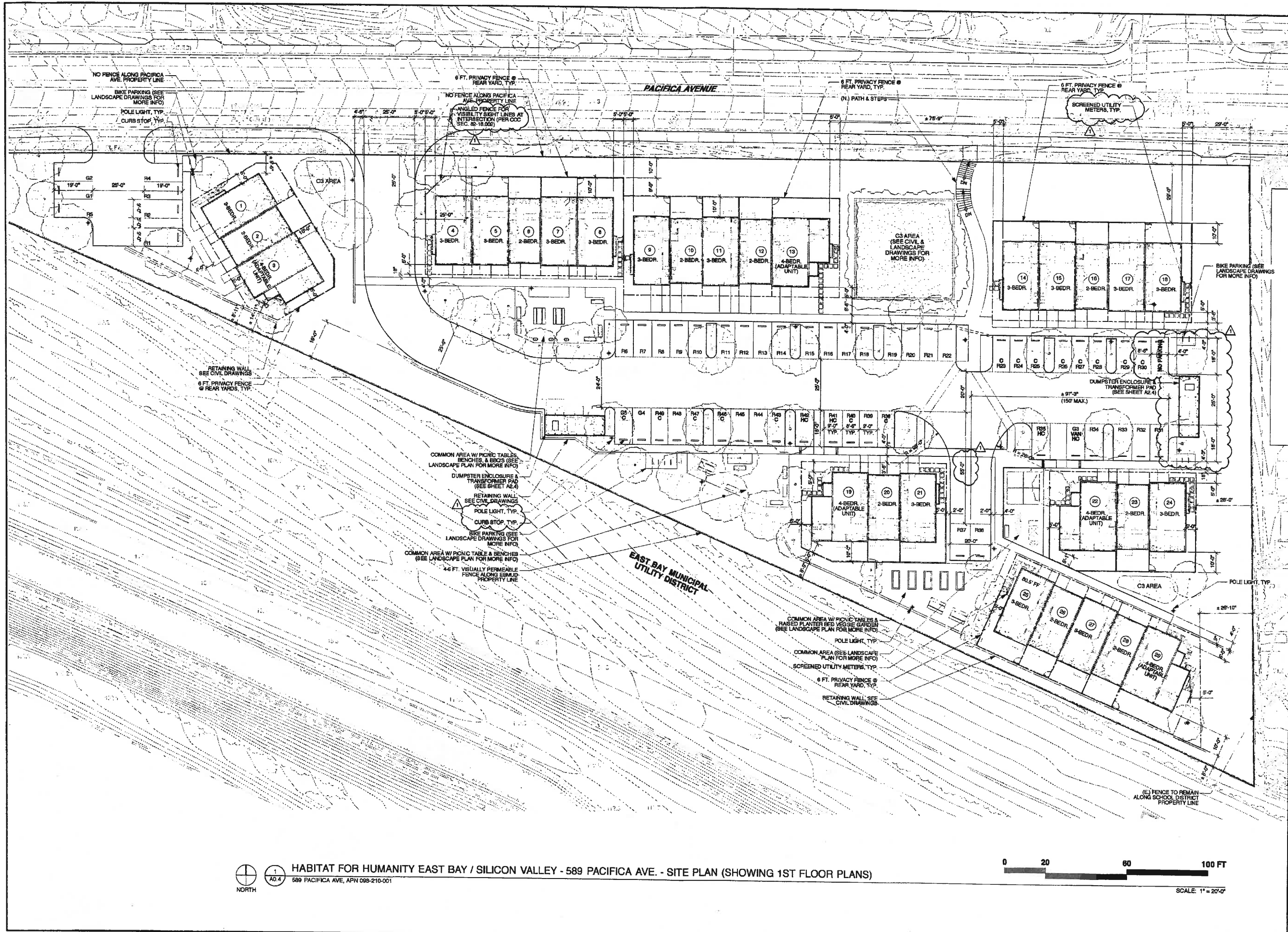
PACIFICA LANDING
 VESTING TENTATIVE MAP (VPM)
 AND DEVELOPMENT PLAN (DP)
 589 PACIFICA AVENUE,
 BAY POINT, CA 94565

NO.	DATE	BY	REVISION
1	28 DEC 17	JETT	PLANNING SUBMITTAL
2	13 MAR 18	JETT	PLANNING RESUBMITTAL

SHEET TITLE
PLANTING PLAN

JOB NO.	AS SHOWN
SCALE	CL
DRAWN BY	
CHECKED BY	

L4.02



**HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.**

589 PACIFICA AVENUE, BAYPOINT, CA 94565
PACIFICA AVENUE



GEOFFREY HOLTON & ASSOCIATES
1748 Alcatraz Avenue
Berkeley, CA 94703
tel: 510.863.9797
fax: 510.863.1807
http://www.gradesign.net

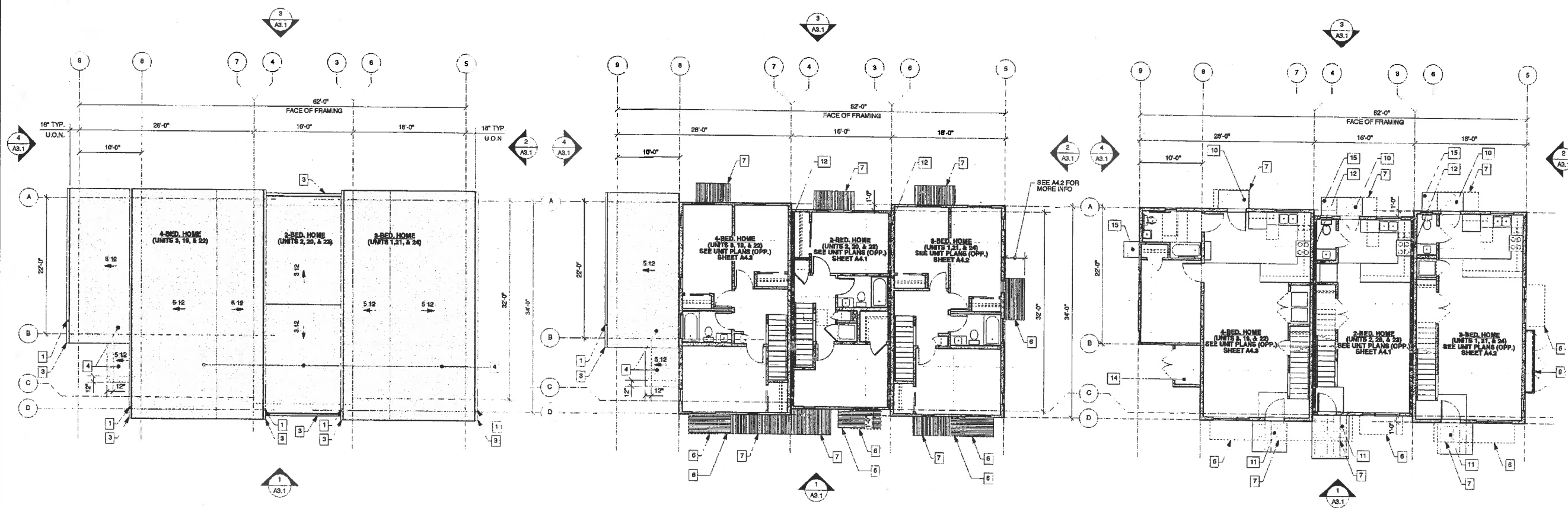


CURRENT
ISSUE DATE
3/13/2018
INITIAL
SUBMITTAL DATE
12/20/17
REVISIONS
PLANNING
RESUBMITTAL
3/13/2018

HABITAT FOR HUMANITY EAST BAY / SILICON VALLEY - 589 PACIFICA AVE. - SITE PLAN (SHOWING 1ST FLOOR PLANS)
589 PACIFICA AVE, APN 088-210-001

0 20 60 100 FT
SCALE: 1" = 20'-0"

SHEET NO.
A0.4
SITE PLAN

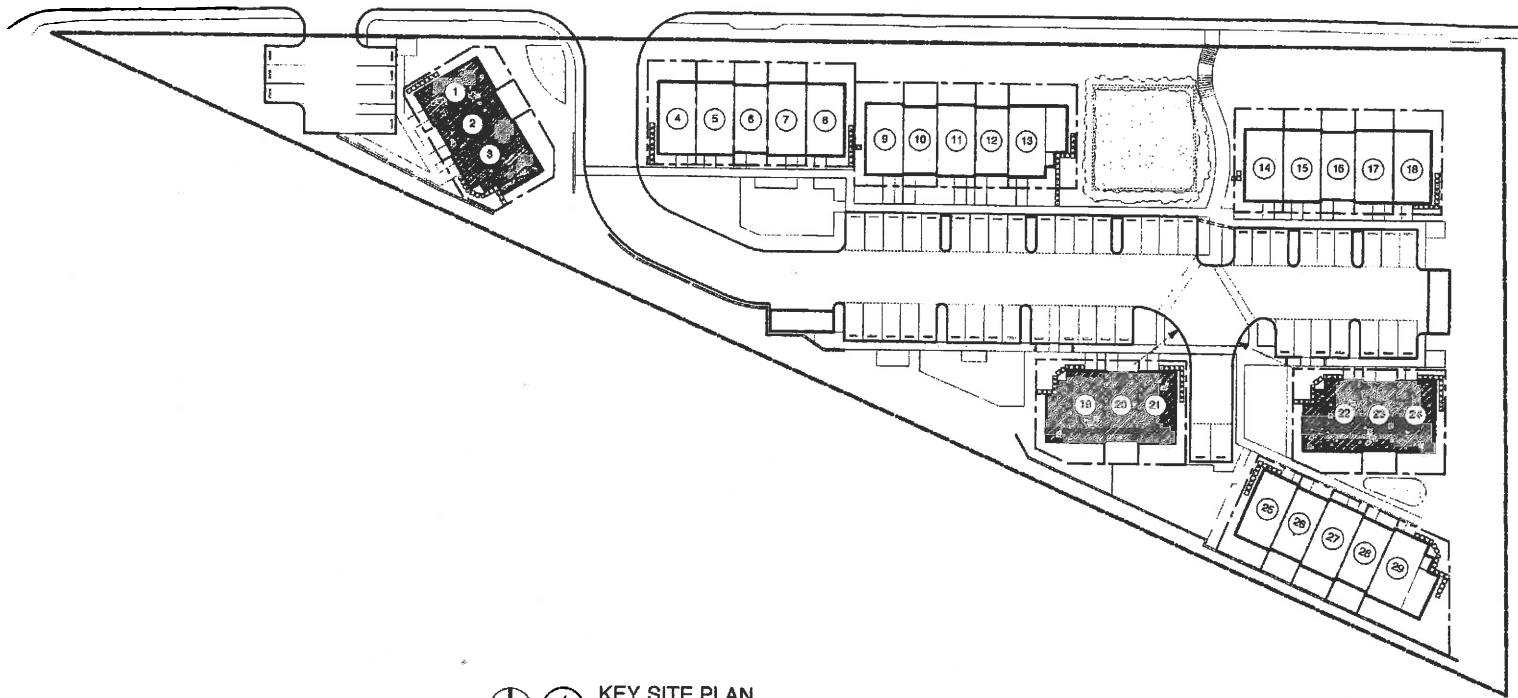


1 ROOF PLAN - TRIPLEX
UNITS 1-3, 19-21, & 22-24
SCALE: 1/8" = 1'-0"

2 2ND FLOOR PLAN - TRIPLEX
UNITS 1-3, 19-21, & 22-24
SCALE: 1/8" = 1'-0"

3 1ST FLOOR PLAN - TRIPLEX
UNITS 1-3, 19-21, & 22-24
SCALE: 1/8" = 1'-0"

- BUILDING PLAN NOTES:**
- 3" Ø ROUND DOWNSPOUT TO CS AREAS, TYP. (U.O.N.) SEE SITE PLAN A1.0 FOR LOCATIONS. SEE LANDSCAPE & CIVIL DRAWINGS FOR DETAILS & CALCULATIONS.
 - METAL SCUPPER
 - 4" x 6" METAL FASCIA GUTTER (NO OGEE) SLOPE MIN. 1/8" PER FT.
 - CLASS "A" ASPHALT ROOF SHINGLES (LIFETIME)
 - ROOF CRICKET
 - PAINTED WOOD SUNSHADE BELOW (SHOWN DASHED ABOVE) - LOCATIONS MAY VARY BASED ON SOLAR ORIENTATION
 - PAINTED WOOD & CORRUGATED METAL PORCH ROOF BELOW (SHOWN DASHED ABOVE)
 - NOT USED
 - LOCATION OF SCREENED ELECTRICAL & GAS METERS
 - REAR PATIO
 - FRONT PATIO
 - (2) 1-HR RATED WALLS SEPARATING DWELLING UNITS
 - NOT USED
 - STORAGE CLOSET
 - PRE-FAB CONCRETE PAD FOR AC CONDENSER UNIT



4 KEY SITE PLAN
NTS

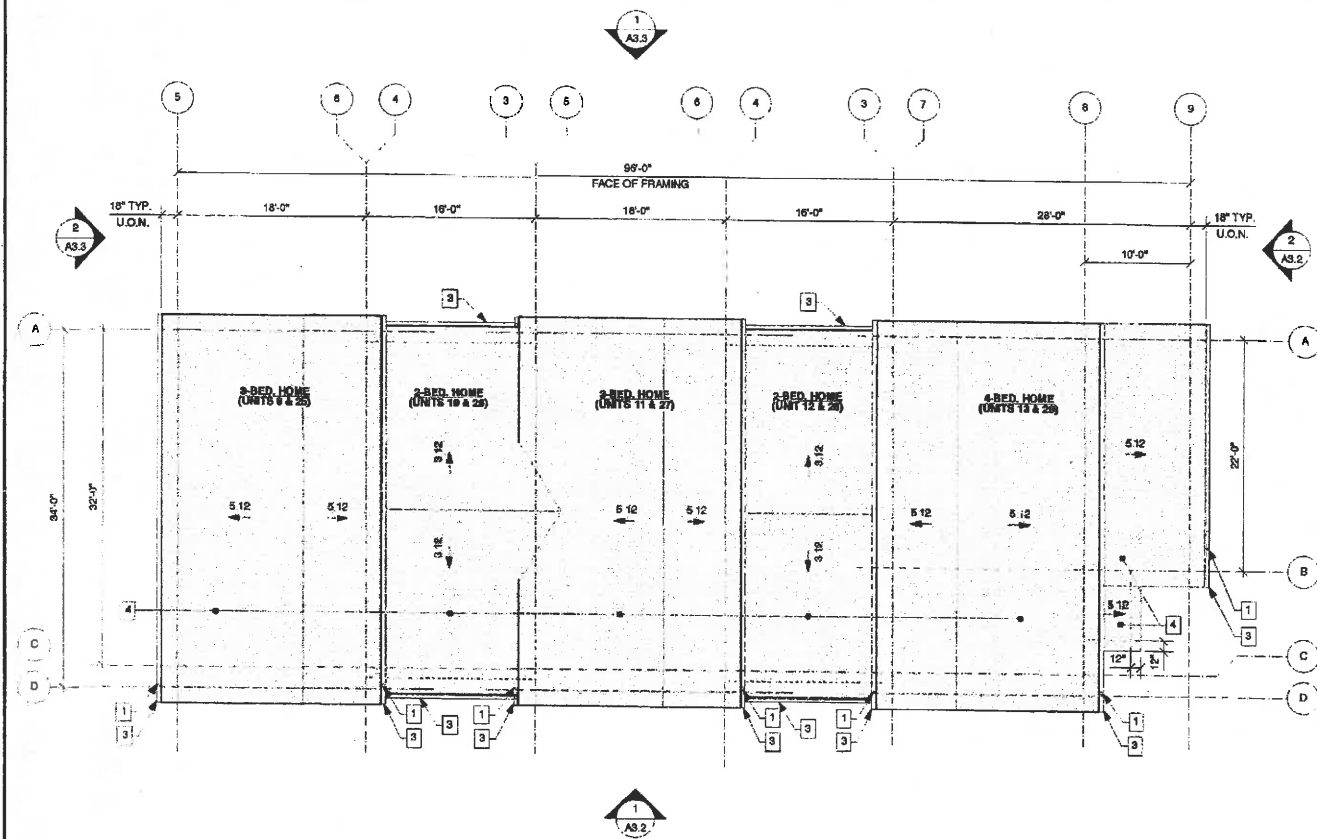
**HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.**
589 PACIFICA AVENUE, RAYPOINT, CA 94555
PACIFIC/LANDING

GHA
GEOFFREY HOLTON & ASSOCIATES
1743 Alcatraz Avenue
Berkeley, CA 94702
tel: 510.863.9797
fax: 510.663.1807
http://www.ghadesign.net



CURRENT
ISSUE DATE
3/13/2018
INITIAL
SUBMITTAL DATE
12/20/17
REVISIONS

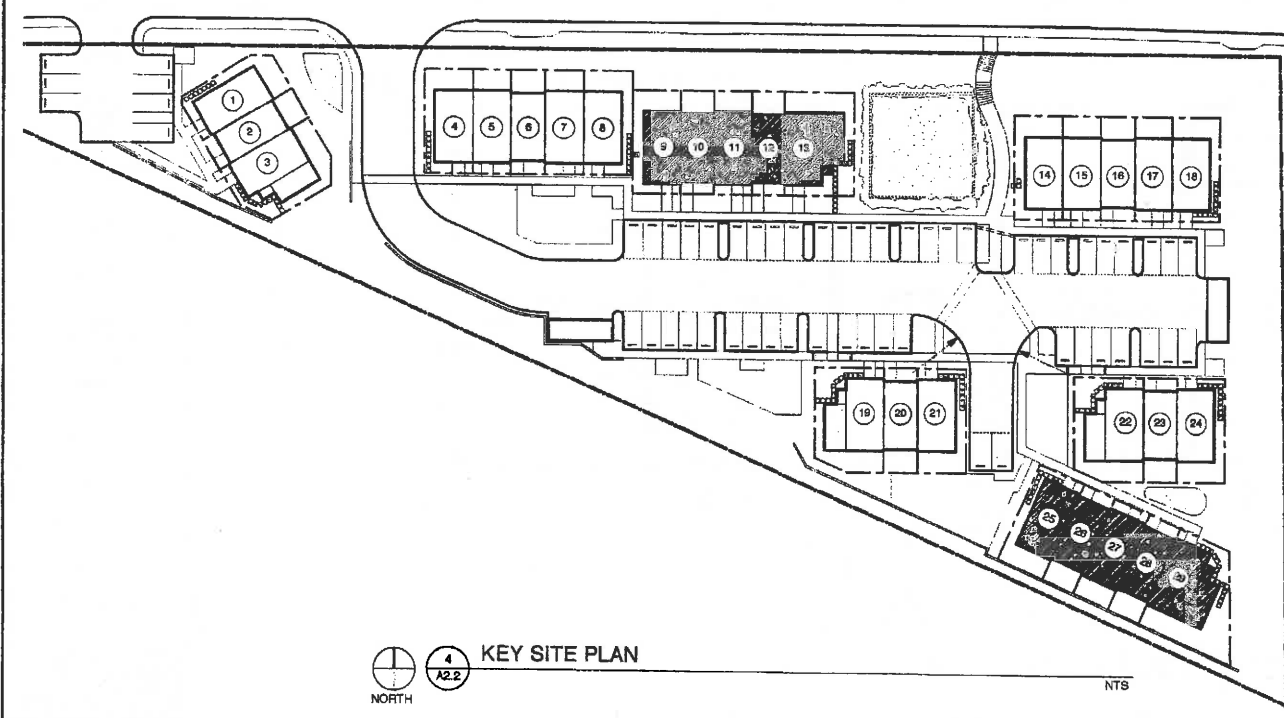
SHEET NO.
A2.1
TRIPLEX PLANS



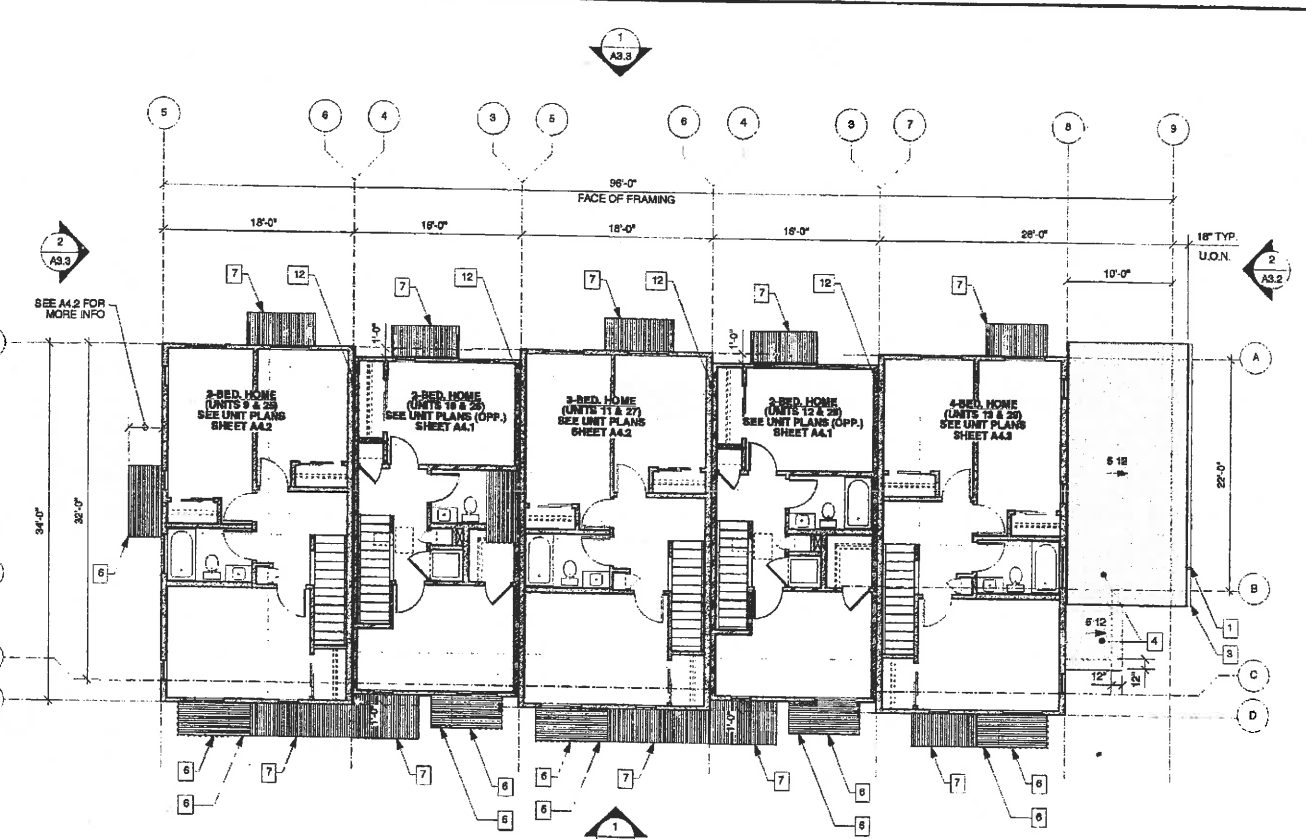
1 ROOF PLAN - 5 UNIT BUILDING - A
 A2.2 UNITS 9-13 & 25-29

SCALE: 1/8" = 1'-0"

- BUILDING PLAN NOTES:**
- 3" Ø ROUND DOWNSPOUT TO CS AREAS, TYP. (U.O.N.) SEE SITE PLAN A1.0 FOR LOCATIONS. SEE LANDSCAPE & CIVIL DRAWINGS FOR DETAILS & CALCULATIONS.
 - METAL SCUPPER
 - 4" x 6" METAL FASCIA CUTTER (NO GAGE) SLOPE MIN. 1/8" PER FT.
 - CLASS 'A' ASPHALT ROOF SHINGLES (LIFETIME)
 - ROOF CRICKET
 - PAINTED WOOD SUNSHADE BELOW (SHOWN DASHED ABOVE) - LOCATIONS MAY VARY BASED ON SOLAR ORIENTATION
 - PAINTED WOOD & CORRUGATED METAL PORCH ROOF BELOW (SHOWN DASHED ABOVE)
 - NOT USED
 - LOCATION OF SCREENED ELECTRICAL & GAS METERS
 - REAR PATIO
 - FRONT PATIO
 - 1-HR RATED WALLS SEPARATING DWELLING UNITS
 - NOT USED
 - STORAGE CLOSET
 - PRI-FAB CONCRETE PAD FOR AC CONDENSER UNIT

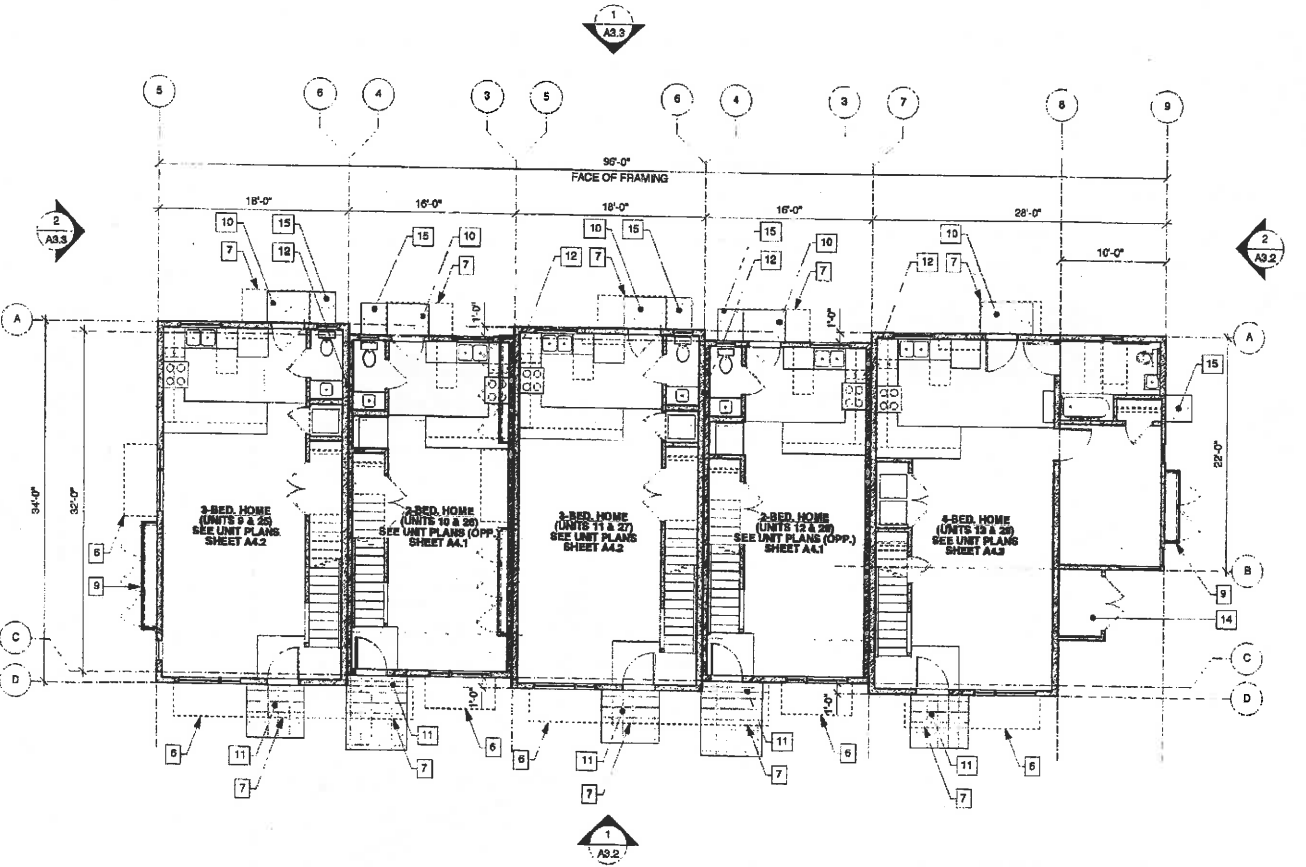


4 KEY SITE PLAN
 A2.2 NORTH



2 2ND FLOOR PLAN - 5 UNIT BUILDING - A
 A2.2 UNITS 9-13 & 25-29

SCALE: 1/8" = 1'-0"



3 1ST FLOOR PLAN - 5 UNIT BUILDING - A
 A2.2 UNITS 9-13 & 25-29

0 2 6 10 FT
 SCALE: 1/8" = 1'-0"

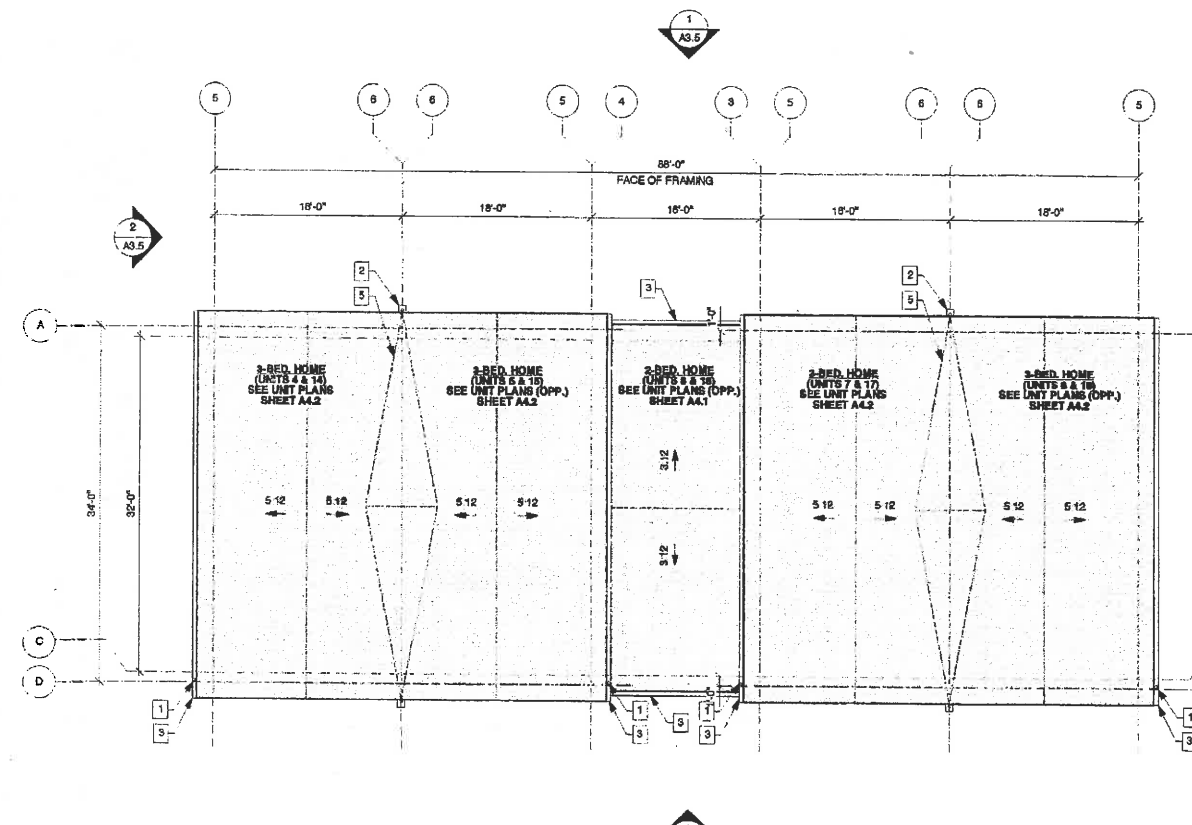
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 PACIFICA LANDING

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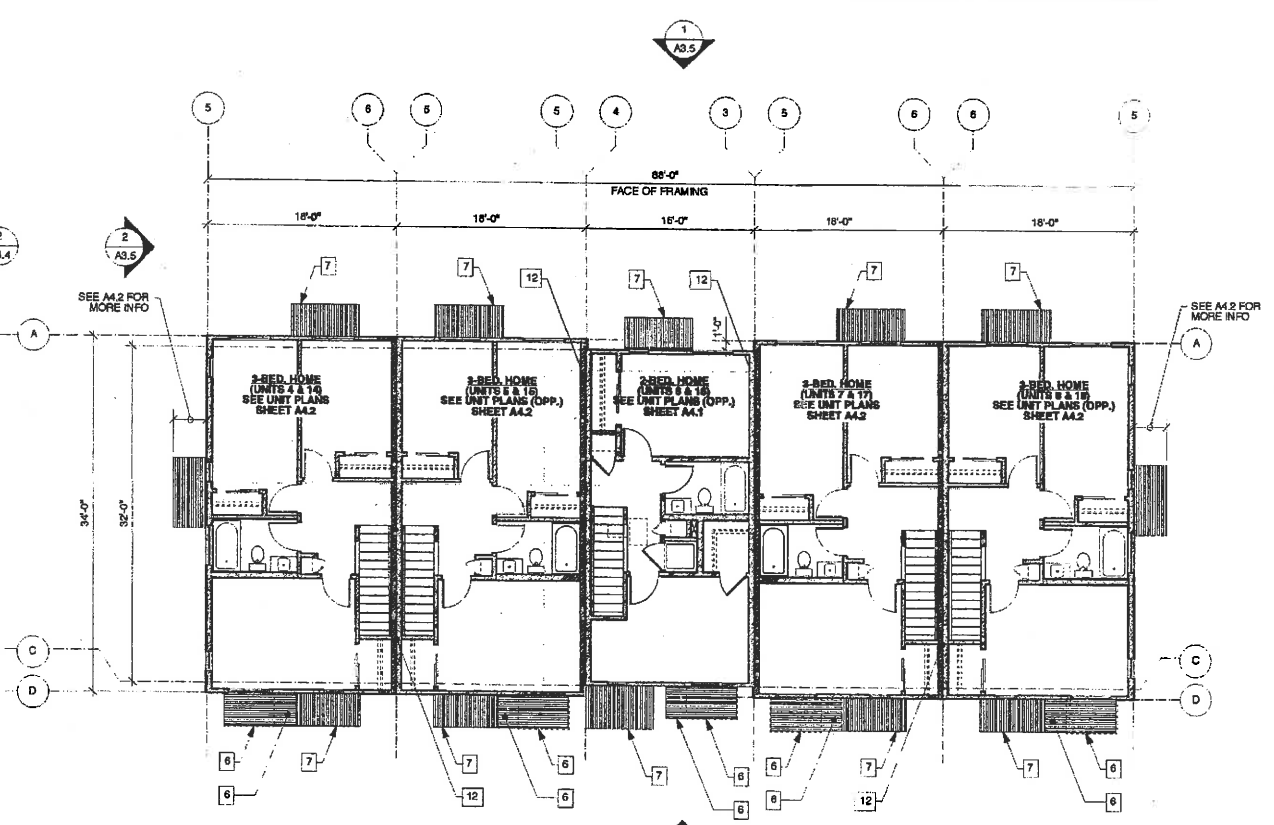


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SHEET NO.
A2.2
 5-UNIT BLDG. PLANS - A

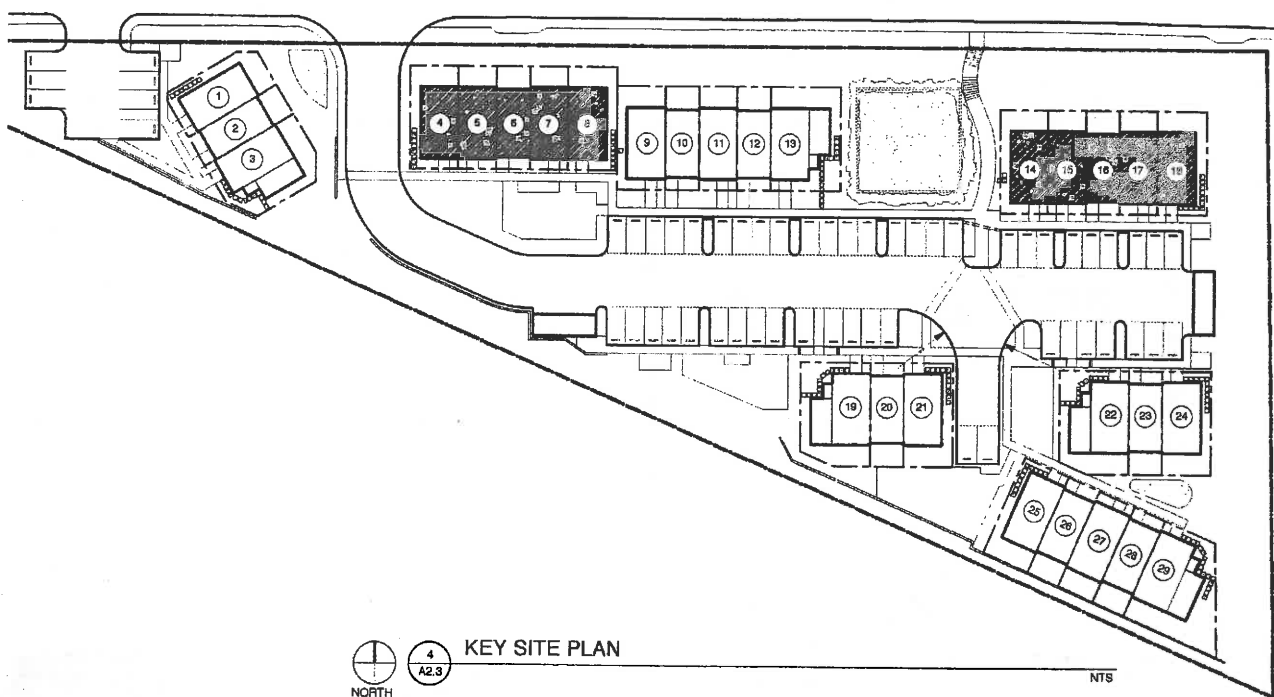


1 ROOF PLAN - 5 UNIT BUILDING - B
UNITS 4-8 & 14-18
SCALE: 1/8" = 1'-0"

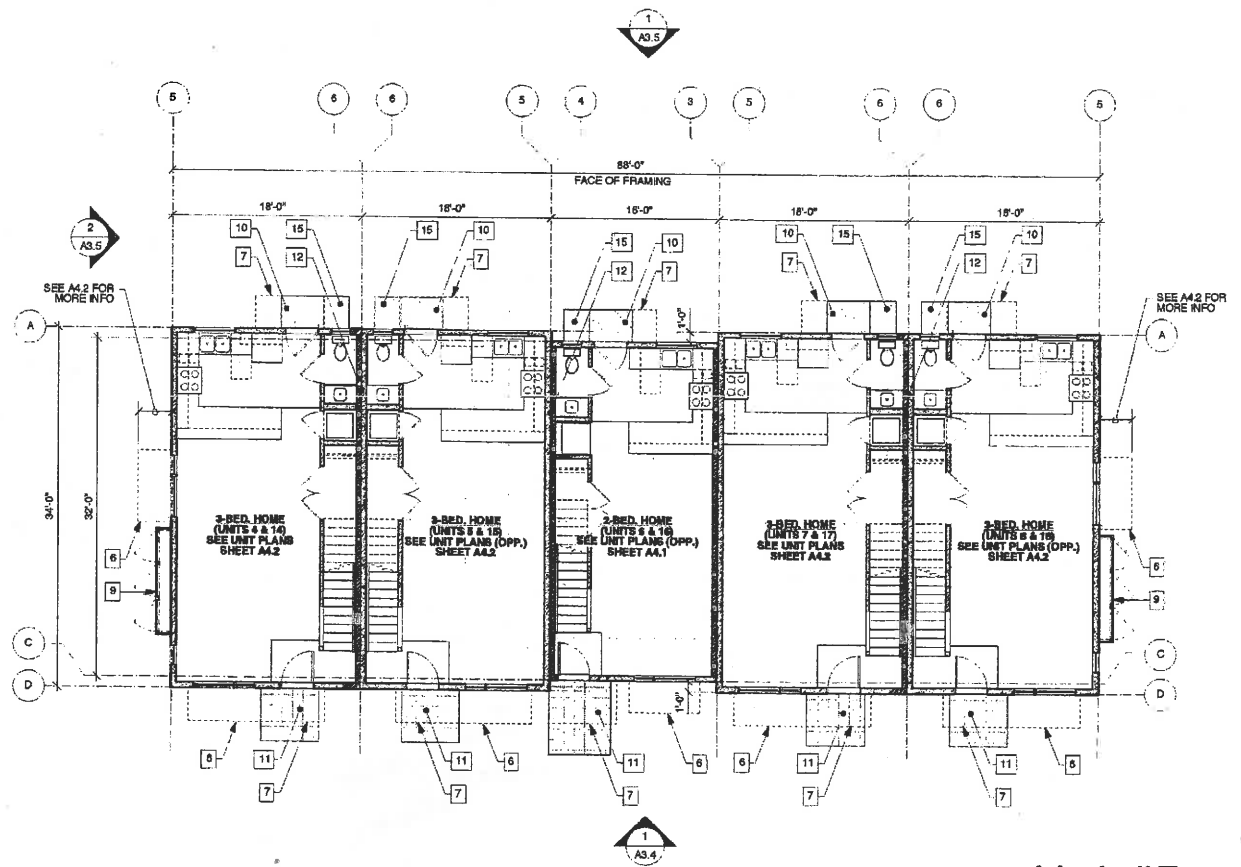


2 2ND FLOOR PLAN - 5 UNIT BUILDING - B
UNITS 4-8 & 14-18
SCALE: 1/8" = 1'-0"

- BUILDING PLAN NOTES:**
- 3" Ø ROUND DOWNSPOUT TO C3 AREAS, TYP. (U.O.N.) SEE SITE PLAN A1.0 FOR LOCATIONS. SEE LANDSCAPE & CIVIL DRAWINGS FOR DETAILS & CALCULATIONS.
 - METAL SCUPPER
 - 4" x 6" METAL FASCIA GUTTER (NO OGEE) SLOPE MIN. 1/8" PER FT.
 - CLASS 'A' ASPHALT ROOF SHINGLES (LIFETIME)
 - ROOF CRICKET
 - PAINTED WOOD SUNSHADE BELOW (SHOWN DASHED ABOVE) - LOCATIONS MAY VARY BASED ON SOLAR ORIENTATION
 - PAINTED WOOD & CORRUGATED METAL PORCH ROOF BELOW (SHOWN DASHED ABOVE)
 - NOT USED
 - LOCATION OF SCREENED ELECTRICAL & GAS METERS
 - REAR PATIO
 - FRONT PATIO
 - (2) 1-HR RATED WALLS SEPARATING DWELLING UNITS
 - NOT USED
 - STORAGE CLOSET
 - PRE-FAB CONCRETE PAD FOR AC CONDENSER UNIT



4 KEY SITE PLAN
SCALE: NTS



3 1ST FLOOR PLAN - 5 UNIT BUILDING - B
UNITS 4-8 & 14-18
SCALE: 1/8" = 1'-0"

0 2 6 10 FT
SCALE: 1/8" = 1'-0"

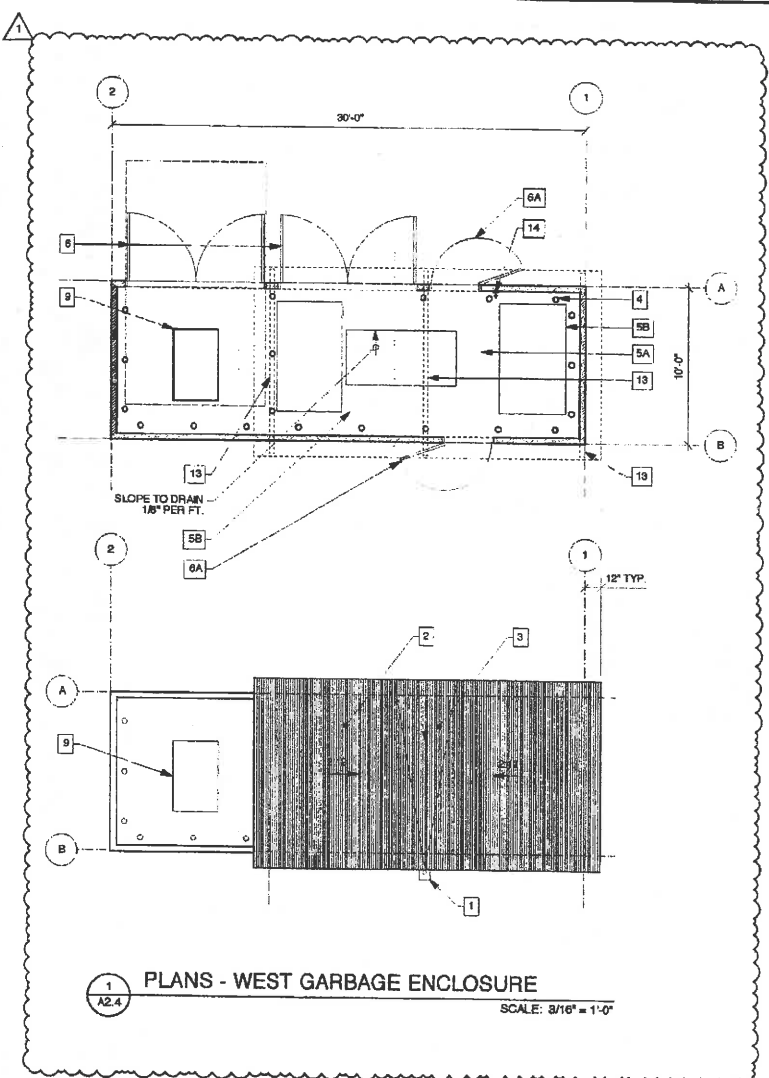
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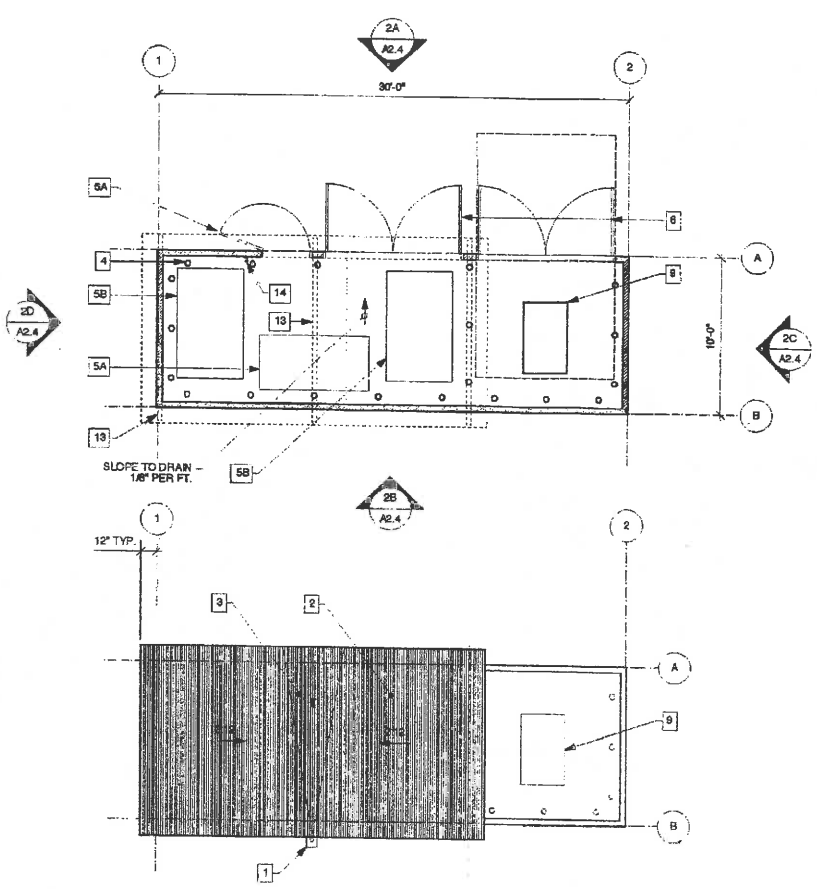


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A2.3
5-UNIT BLDG. PLANS - B

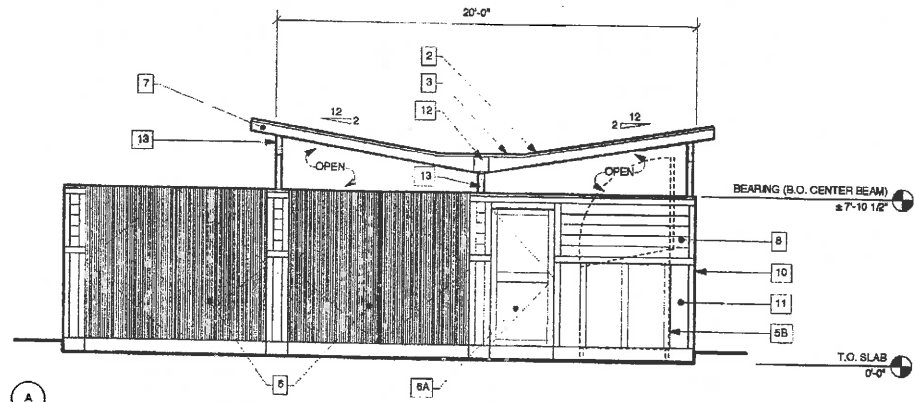


1 PLANS - WEST GARBAGE ENCLOSURE
SCALE: 3/16" = 1'-0"

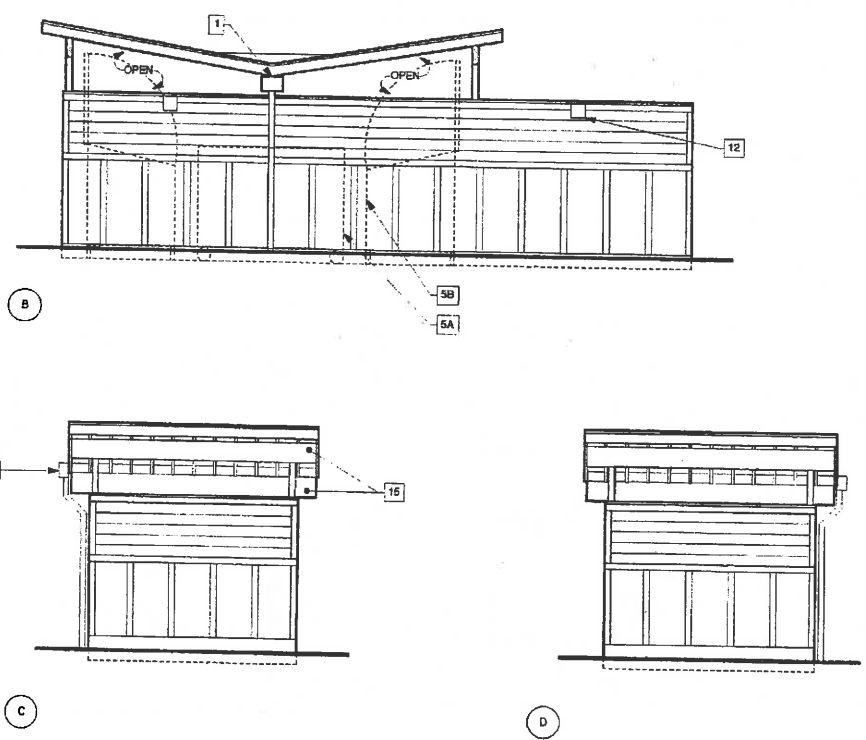


1 PLANS - EAST GARBAGE ENCLOSURE
SCALE: 3/16" = 1'-0"

- GARBAGE ENCLOSURE NOTES:**
- METAL SCUPPER W/ 3" Ø ROUND DOWNSPOUT TO C-9 BIO-SWALE, TYP. (U.O.N.) SEE SITE PLAN A1.0 FOR LOCATIONS. SEE LANDSCAPE & CIVIL DRAWINGS FOR DETAILS & CALCULATIONS.
 - CLASS 'A' CORRUGATED METAL ROOF
 - ROOF CRICKET
 - METAL BOLLARDS
 - 3 YD. GREENWASTE CONTAINER (41 1/2" W x 84" L x 57" H)
 - 4 YD. RECYCLING & WASTE CONTAINER (50 1/2" W x 84" L x 57" H)
 - SWING GATE (CORRUGATED METAL CLADDING)
 - 3'-0" DOOR
 - PAINTED WOOD 2x6 FASCIA
 - PAINTED FIBRECEMENT HORIZONTAL SIDING, 'SMOOTH' - 6" WIDTH
 - TRANSFORMER W/ 8" x 8" (MIN.) CLEARANCE FOR ACCESS
 - 1x4 & 2x4 TRIM, PAINTED.
 - 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4" x 8" FIBRECEMENT PANEL, PAINTED.
 - EXTERIOR WALL MOUNTED LIGHT
 - EXPOSED 4X BEAM
 - HOSE BIB

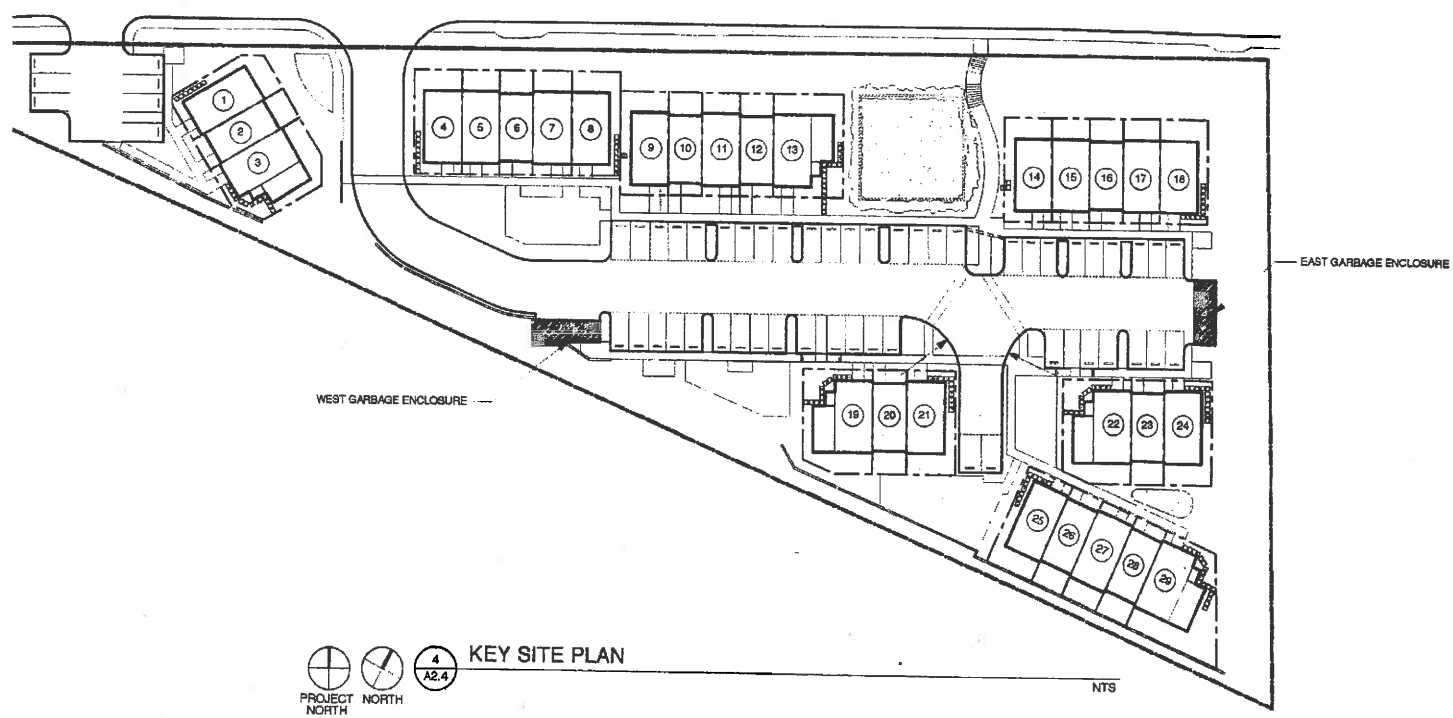


0 2 6 10 FT



2 ELEVATIONS - EAST GARBAGE ENCLOSURE

0 2 6 10 FT
SCALE: 1/8" = 1'-0"



4 KEY SITE PLAN
PROJECT NORTH
NORTH

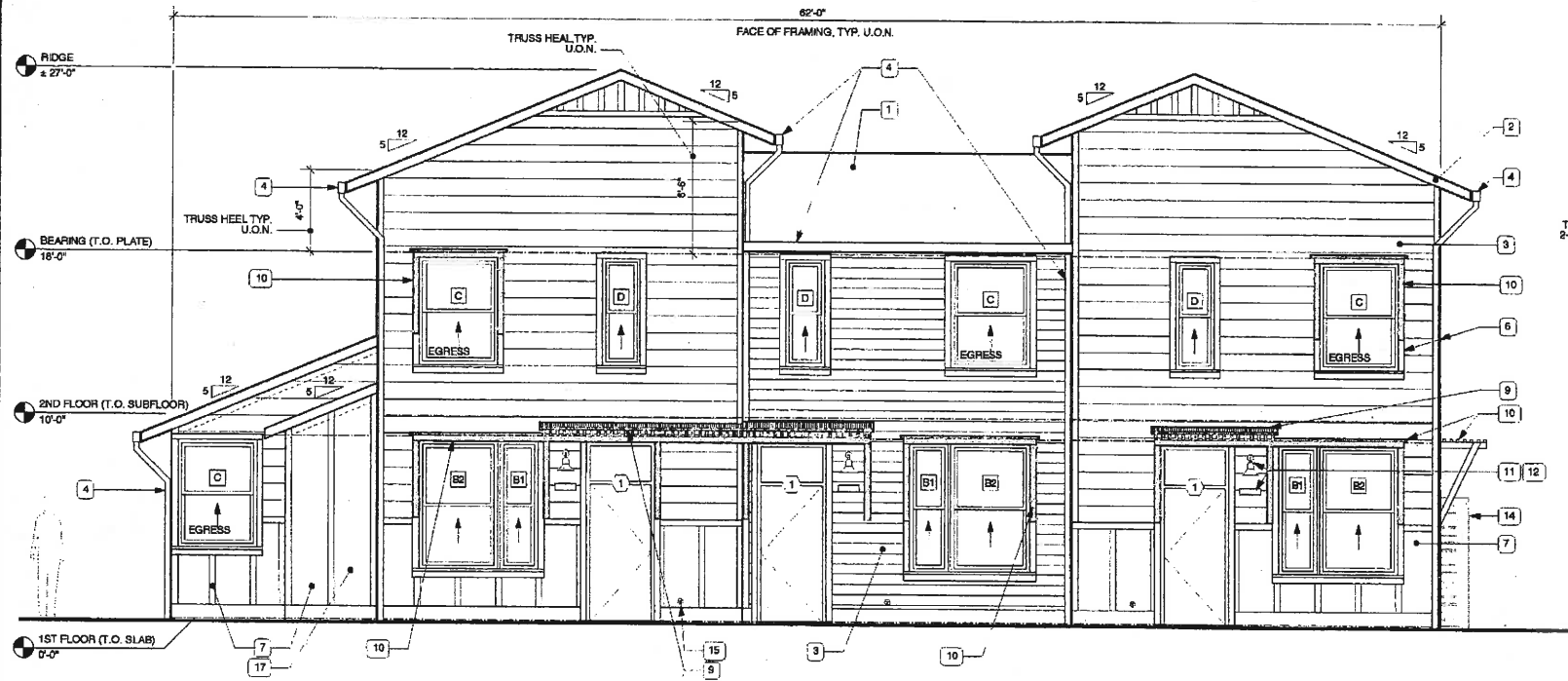
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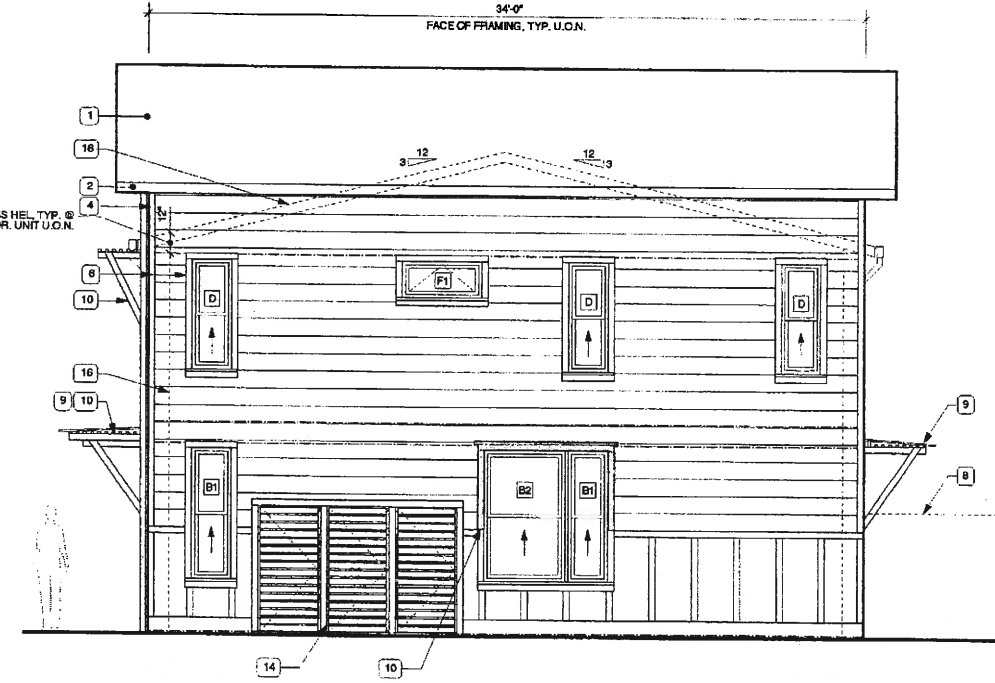


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SHEET NO.
A2.4
GARBAGE ENCLOSURE



1 PROPOSED FRONT ELEVATION - TRIPLEX
A3.1 UNITS 1-3, 19-21, & 22-24



2 PROPOSED SIDE ELEVATION - TRIPLEX
A3.1

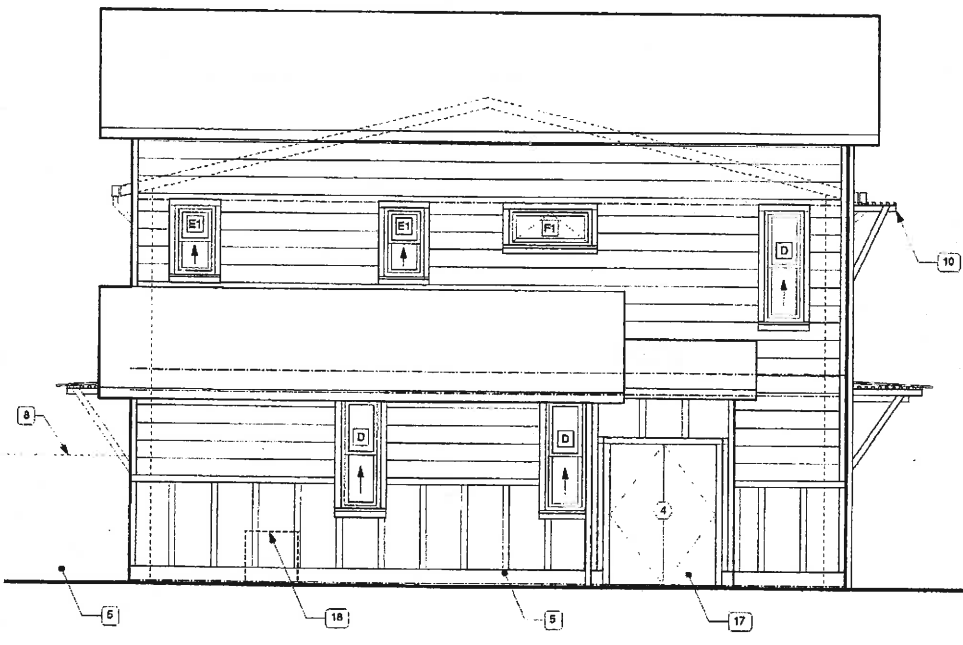
SCALE: 1/4" = 1'-0"

- ELEVATION NOTES:**
- CLASS 'A' ASPHALT ROOF SHINGLES (LIFETIME)
 - PAINTED WOOD 2x8 FASCIA
 - PAINTED FIBERCEMENT HORIZONTAL SIDING, 'SMOOTH' - (2) DIFFERENT WIDTHS: 6" & 10"
 - 4" x 6" METAL FASCIA GUTTER (NO OGEE) SLOPE MIN. 1/8" PER FT., METAL SCUPPER (@ DUPLEX ONLY), & 3" @ ROUND DOWNSPOUT TO IC3 AREAS, TYP. (U.O.N.) SEE SITE PLAN A1.0 FOR LOCATIONS. SEE LANDSCAPE & CIVIL DRAWINGS FOR DETAILS & CALCULATIONS.
 - NOT USED
 - 1x4 & 2x4 TRIM, PAINTED.
 - 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4 x 9' FIBERCEMENT PANEL, PAINTED.
 - 6 FT. HIGH PRIVACY FENCE (SEE LANDSCAPE DRAWINGS FOR DETAILS) SHOWN DASHED FOR CLARITY AS NECESSARY
 - PAINTED WOOD & CORRUGATED METAL PORCH ROOF
 - PAINTED WOOD SUNSHADE
 - EXTERIOR WALL MOUNTED LIGHT
 - 6" HIGH ADDRESS NUMBERS ON CONTRASTING BACKGROUND (ILLUMINATED BY PORCH LIGHT IMMEDIATELY ABOVE)
 - ROOF CRICKET
 - SCREENED ELECTRICAL & GAS METERS. OPERABLE STEEL GATES CLAD W/ HORIZ. REDWOOD 1x4s, 1" SPACE BTWN BOARDS. NO ROOF.
 - HOSE BIB
 - LINE OF 2-BEDR. UNIT SHOWN DASHED BEYOND
 - STORAGE CLOSET
 - AC CONDENSER UNIT ON PRE-FAB CONCRETE PAD



3 PROPOSED REAR ELEVATION - TRIPLEX
A3.1 UNITS 38-40

SCALE: 1/4" = 1'-0"



4 PROPOSED SIDE ELEVATION - TRIPLEX
A3.1

SCALE: 1/4" = 1'-0"

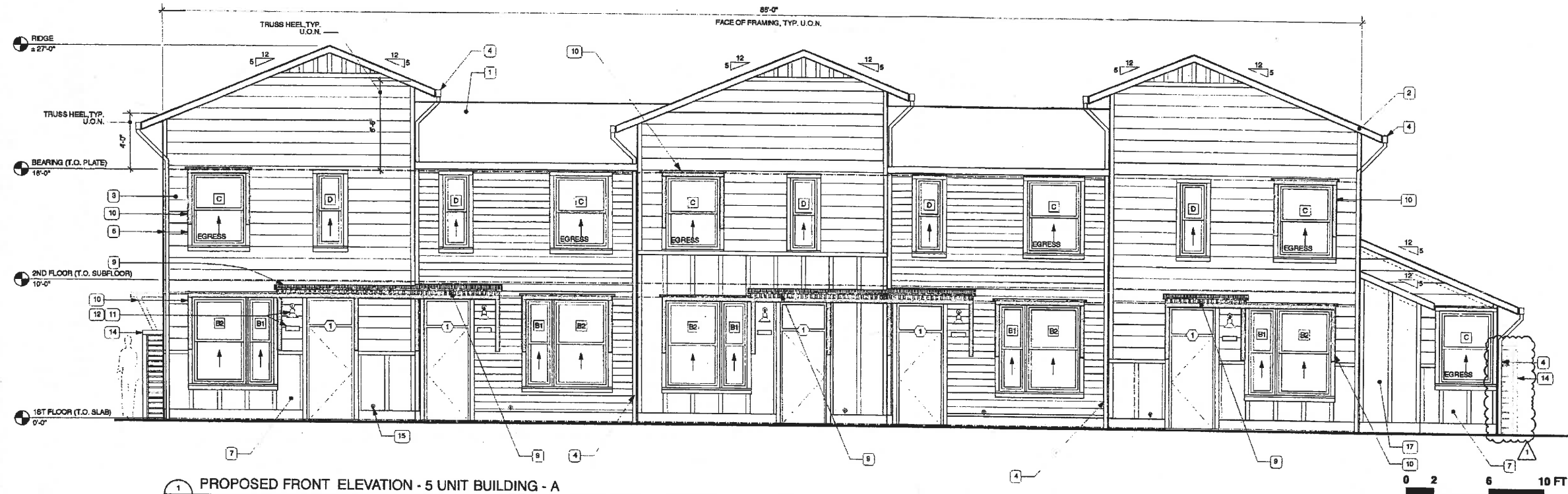
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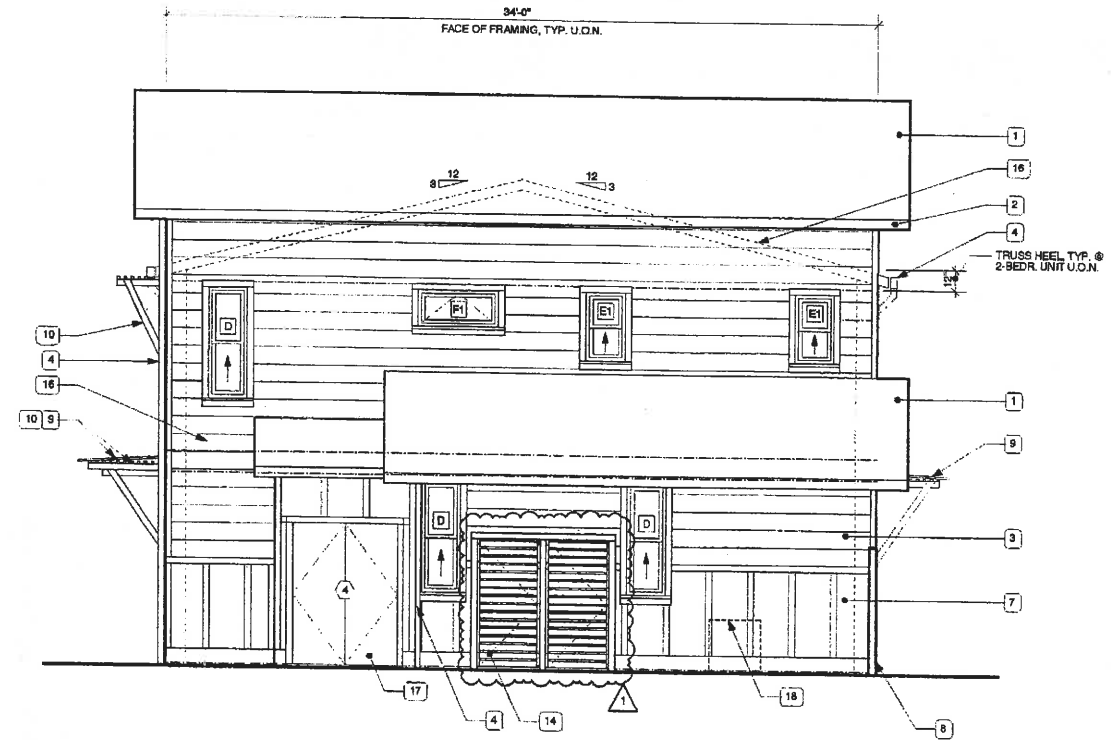
SHEET NO.
A3.1
TRIPLEX ELEVATIONS



1 PROPOSED FRONT ELEVATION - 5 UNIT BUILDING - A
 A3.2 UNITS 9-13 & 25-29

SCALE: 1/4" = 1'-0"

- ELEVATION NOTES:**
1. CLASS 'A' ASPHALT ROOF SHINGLES (LIFETIME)
 2. PAINTED WOOD 2x8 FASCIA
 3. PAINTED FIBERCEMENT HORIZONTAL SIDING, 'SMOOTH' - (2) DIFFERENT WIDTHS: 8" & 10"
 4. 4" x 6" METAL FASCIA GUTTER (NO OGEE) SLOPE MIN. 1/8" PER FT., METAL SCUPPER (8" DUPLEX ONLY) & 3" Ø ROUND DOWNSPOUT TO ICES AREAS, TYP. (U.O.N.) SEE SITE PLAN A1.0 FOR LOCATIONS. SEE LANDSCAPE & CIVIL DRAWINGS FOR DETAILS & CALCULATIONS.
 5. NOT USED
 6. 1x4 & 2x4 TRIM, PAINTED.
 7. 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4 x 8' FIBERCEMENT PANEL, PAINTED.
 8. 6 FT. HIGH PRIVACY FENCE (SEE LANDSCAPE DRAWINGS FOR DETAILS) SHOWN DASHED FOR CLARITY AS NECESSARY
 9. PAINTED WOOD & CORRUGATED METAL PORCH ROOF
 10. PAINTED WOOD SUNSHADE
 11. EXTERIOR WALL MOUNTED LIGHT
 12. 6" HIGH ADDRESS NUMBERS ON CONTRASTING BACKGROUND (ILLUMINATED BY PORCH LIGHT IMMEDIATELY ABOVE)
 13. ROOF CRICKET
 14. SCREENED ELECTRICAL & GAS METERS. OPERABLE STEEL GATES CLAD W/HORIZ. REDWOOD 1x4s, 1" SPACE BTWN BOARDS. NO ROOF.
 15. HOSE BIB
 16. LINE OF 2-BEDR. UNIT SHOWN DASHED BEYOND
 17. STORAGE CLOSET
 18. AC CONDENSER UNIT ON PRE-FAB CONCRETE PAD



2 PROPOSED SIDE ELEVATION - 5 UNIT BUILDING - A

SCALE: 1/4" = 1'-0"

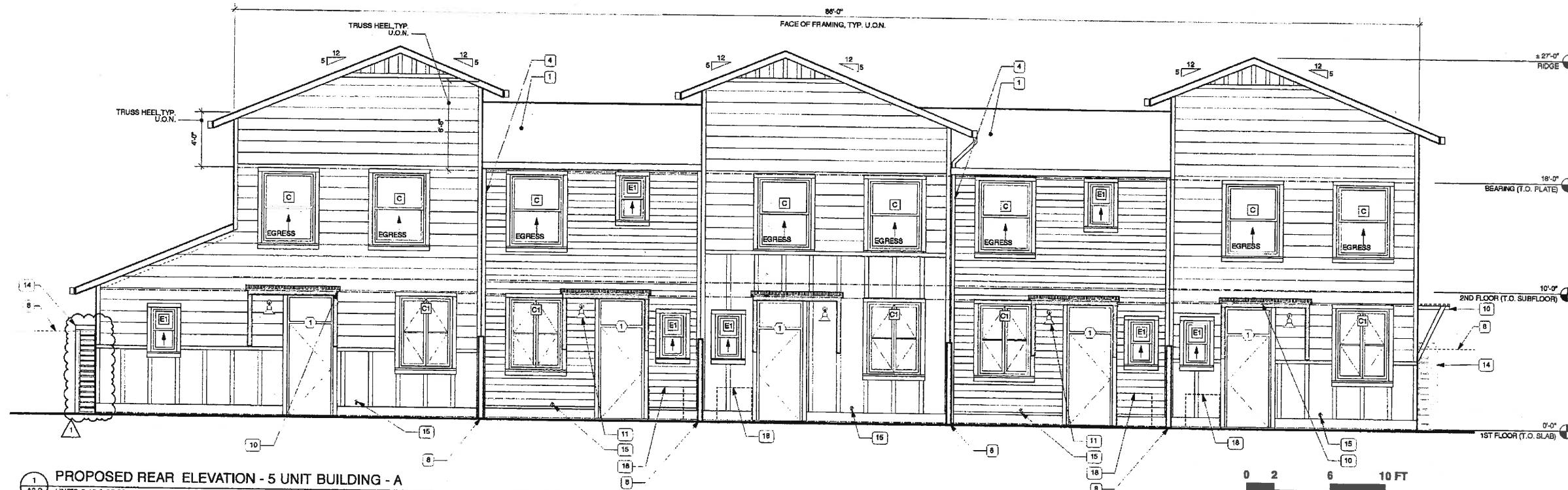
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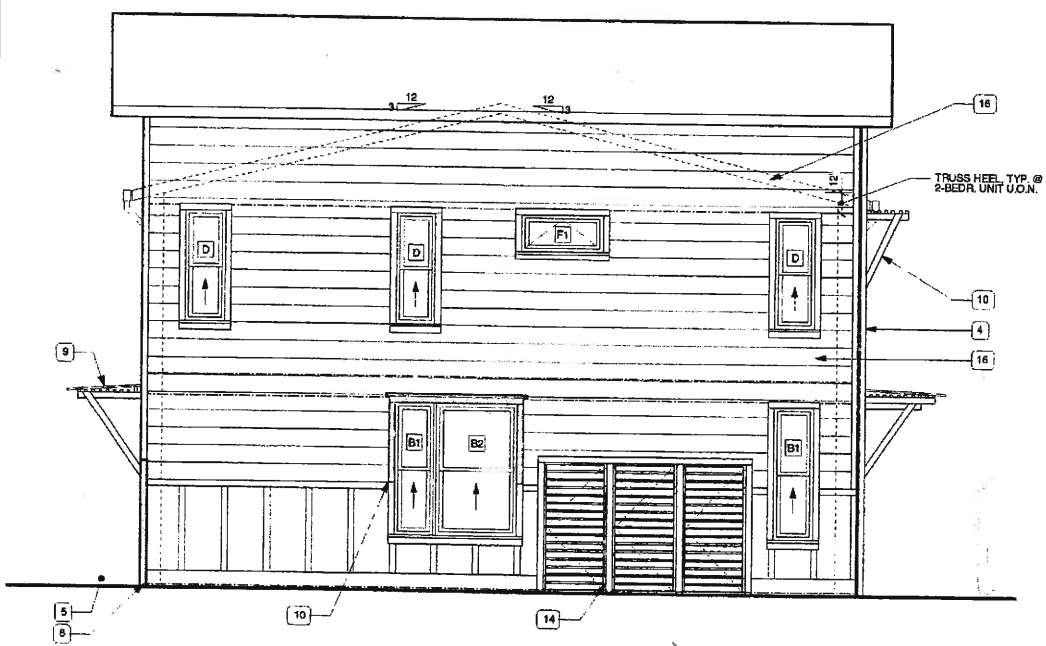
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SHEET NO.
A3.2
 5 UNIT BLDG.
 ELEVATIONS - A



1 PROPOSED REAR ELEVATION - 5 UNIT BUILDING - A
 A3.3 UNITS 9-13 & 25-29

- ELEVATION NOTES:**
- | | |
|---|---|
| 1. CLASS 'A' ASPHALT ROOF SHINGLES (LIFETIME) | 9. PAINTED WOOD & CORRUGATED METAL PORCH ROOF |
| 2. PAINTED WOOD 2nd FASCIA | 10. PAINTED WOOD SUNSHADE |
| 3. PAINTED FIBERCEMENT HORIZONTAL SIDING, 'SMOOTH' - (2) DIFFERENT WIDTHS: 8" & 10" | 11. EXTERIOR WALL MOUNTED LIGHT |
| 4. 4" x 8" METAL FASCIA GUTTER (NO OSGEE) SLOPE MIN. 1/8" PER FT., METAL SCUPPER (@ DUPLEX ONLY), & 3" Ø ROUND DOWNSPOUT TO IC3 AREAS, TYP. (U.O.N.) SEE SITE PLAN A1.0 FOR LOCATIONS. SEE LANDSCAPE & CIVIL DRAWINGS FOR DETAILS & CALCULATIONS. | 12. 6" HIGH ADDRESS NUMBERS ON CONTRASTING BACKGROUND (ILLUMINATED BY PORCH LIGHT IMMEDIATELY ABOVE) |
| 5. NOT USED | 13. ROOF CRICKET |
| 6. 1x4 & 2x4 TRIM, PAINTED. | 14. SCREENED ELECTRICAL & GAS METERS. OPERABLE STEEL GATES CLAD W/ HORIZ. REDWOOD 1X4's, 1" SPACE BTWN BOARDS. NO ROOF. |
| 7. 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4" x 8" FIBERCEMENT PANEL, PAINTED. | 15. HOSE BIB |
| 8. 6 FT. HIGH PRIVACY FENCE (SEE LANDSCAPE DRAWINGS FOR DETAILS) SHOWN DASHED FOR CLARITY AS NECESSARY | 16. LINE OF 2-BEDR. UNIT SHOWN DASHED BEYOND |
| | 17. STORAGE CLOSET |
| | 18. AC CONDENSER UNIT ON PRE-FAB CONCRETE PAD |



2 PROPOSED SIDE ELEVATION - 5 UNIT BUILDING - A
 A3.3

SCALE: 1/4" = 1'-0"

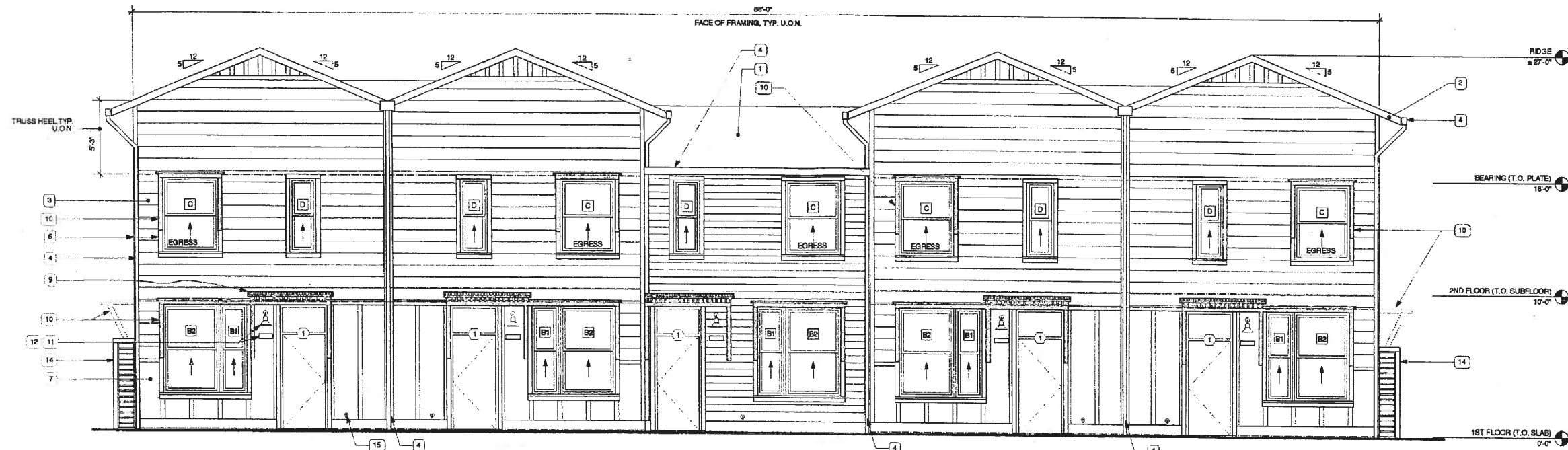
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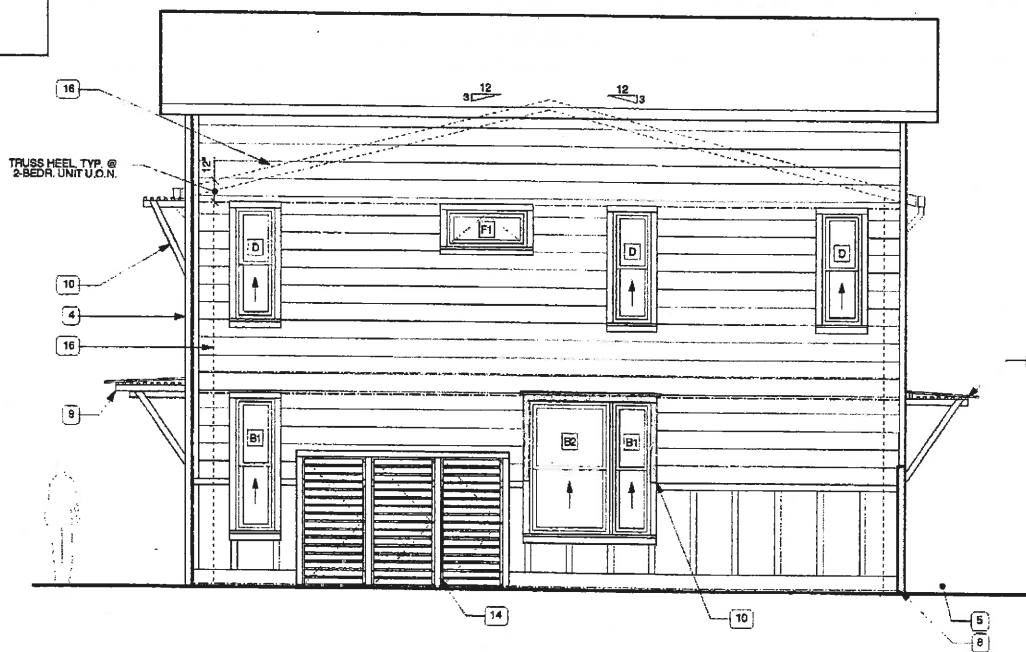
SHEET NO.
A3.3
 5-UNIT BLDG. ELEVATIONS - A



1 PROPOSED FRONT ELEVATION - 5 UNIT BUILDING - B
A3.4 UNITS 4-8 & 14-18

0 2 6 10 FT
SCALE: 1/4" = 1'-0"

- ELEVATION NOTES:**
- | | |
|--|---|
| 1. CLASS 'W' ASPHALT ROOF SHINGLES (LIFETIME) | 9. PAINTED WOOD & CORRUGATED METAL PORCH ROOF |
| 2. PAINTED WOOD 2x6 FASCIA | 10. PAINTED WOOD SUNSHADE |
| 3. PAINTED FIBRECEMENT HORIZONTAL SIDING, 'SMOOTH' - (2) DIFFERENT WIDTHS: 6" & 10" | 11. EXTERIOR WALL MOUNTED LIGHT |
| 4. 4" x 6" METAL FASCIA GUTTER (NO COLES) SLOPE MIN. 1/8" PER FT. METAL SCUPPER (@ DUPLEX ONLY), & 3" Ø ROUND DOWNSPOUT TO IC3 AREAS, TYP. (U.O.N.) SEE SITE PLAN A1.0 FOR LOCATIONS. SEE LANDSCAPE & CIVIL DRAWINGS FOR DETAILS & CALCULATIONS. | 12. 6" HIGH ADDRESS NUMBERS ON CONTRASTING BACKGROUND (ILLUMINATED BY PORCH LIGHT IMMEDIATELY ABOVE) |
| 5. NOT USED | 13. ROOF CRICKET |
| 6. 1x4 & 2x4 TRIM, PAINTED. | 14. SCREENED ELECTRICAL & GAS METERS. OPERABLE STEEL GATES CLAD W/HORIZ. REDWOOD 1X4s, 1" SPACE BTWN BOARDS. NO ROOF. |
| 7. 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4' x 9' FIBRECEMENT PANEL, PAINTED. | 15. HOSE BIB |
| 8. 6 FT. HIGH PRIVACY FENCE (SEE LANDSCAPE DRAWINGS FOR DETAILS) SHOWN DASHED FOR CLARITY AS NECESSARY | 16. LINE OF 2-BEDR. UNIT SHOWN DASHED BEYOND |
| | 17. STORAGE CLOSET |
| | 18. AC CONDENSER UNIT ON PRE-FAB CONCRETE PAD |



2 PROPOSED SIDE ELEVATION - 5 UNIT BUILDING - B
A3.4

SCALE: 1/4" = 1'-0"

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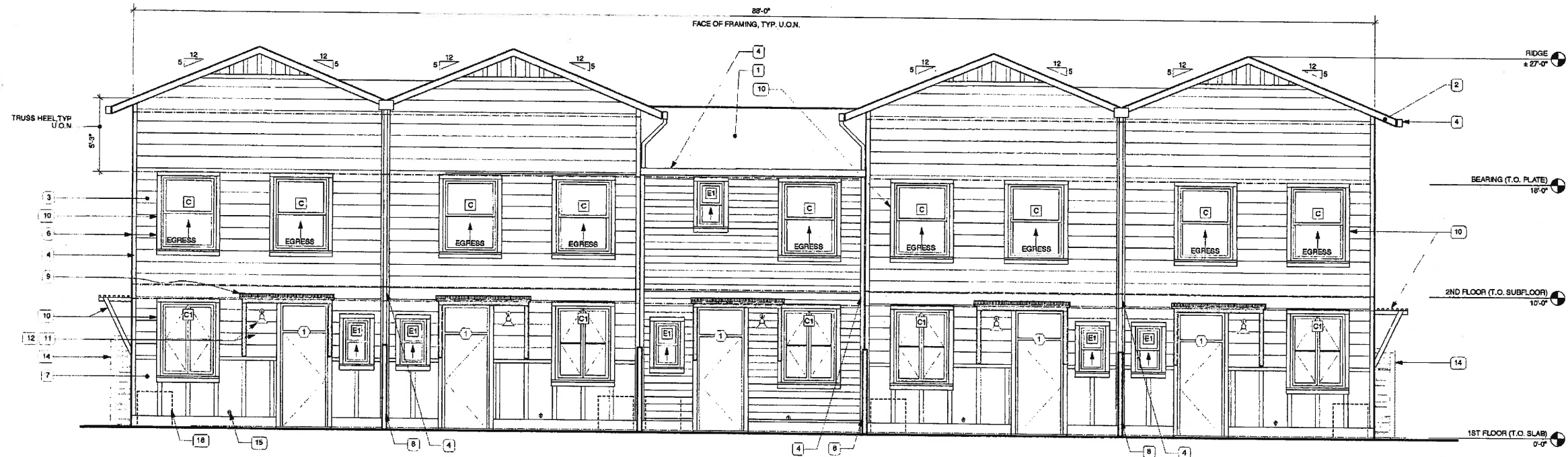
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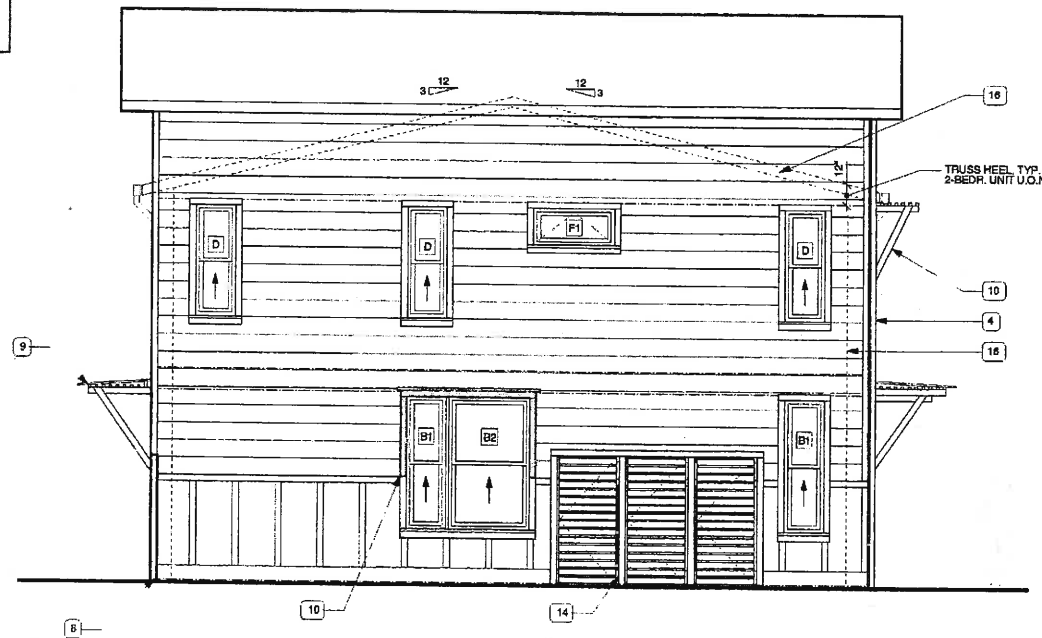
SHEET NO.
A3.4
5-UNIT BLDG.
ELEVATIONS - B



1 PROPOSED REAR ELEVATION - 5 UNIT BUILDING - B
A3.5 UNITS 4-B & 14-18

ELEVATION NOTES:

- | | |
|--|---|
| <p>1. CLASS 'X' ASPHALT ROOF SHINGLES (LIFETIME)</p> <p>2. PAINTED WOOD 2x6 FASCIA</p> <p>3. PAINTED FIBERCEMENT HORIZONTAL SIDING, 'SMOOTH' - (2) DIFFERENT WIDTHS: 8" & 10"</p> <p>4. 4" x 6" METAL FASCIA GUTTER (NO OGEE) SLOPE MIN. 1/8" PER FT., METAL SCUPPER (@ DUPLEX ONLY), & 3" Ø ROUND DOWNSPOUT TO K3 AREAS, TYP. (U.O.N.) SEE SITE PLAN A1.0 FOR LOCATIONS. SEE LANDSCAPE & CIVIL DRAWINGS FOR DETAILS & CALCULATIONS.</p> <p>5. NOT USED</p> <p>6. 1x4 & 2x4 TRIM, PAINTED.</p> <p>7. 'SMOOTH' 1x4 BATTENS @ 24" O.C. OVER 'SMOOTH' 4" x 8" FIBERCEMENT PANEL, PAINTED.</p> <p>8. 6 FT. HIGH PRIVACY FENCE (SEE LANDSCAPE DRAWINGS FOR DETAILS) SHOWN DASHED FOR CLARITY AS NECESSARY</p> | <p>9. PAINTED WOOD & CORRUGATED METAL PORCH ROOF</p> <p>10. PAINTED WOOD SUNSHADE</p> <p>11. EXTERIOR WALL MOUNTED LIGHT</p> <p>12. 6" HIGH ADDRESS NUMBERS ON CONTRASTING BACKGROUND (ILLUMINATED BY PORCH LIGHT IMMEDIATELY ABOVE)</p> <p>13. ROOF CRICKET</p> <p>14. SCREENED ELECTRICAL & GAS METERS, OPERABLE STEEL GATES CLAD W/ HORIZ. REDWOOD 1x4s, 1" SPACE BTWN BOARDS. NO ROOF.</p> <p>15. HOSE BIB</p> <p>16. LINE OF 2-BEDR. UNIT SHOWN DASHED BEYOND</p> <p>17. STORAGE CLOSET</p> <p>18. AC CONDENSER UNIT ON PRE-FAB CONCRETE PAD</p> |
|--|---|



2 PROPOSED SIDE ELEVATION - 5 UNIT BUILDING - B
A3.5

SCALE: 1/4" = 1'-0"

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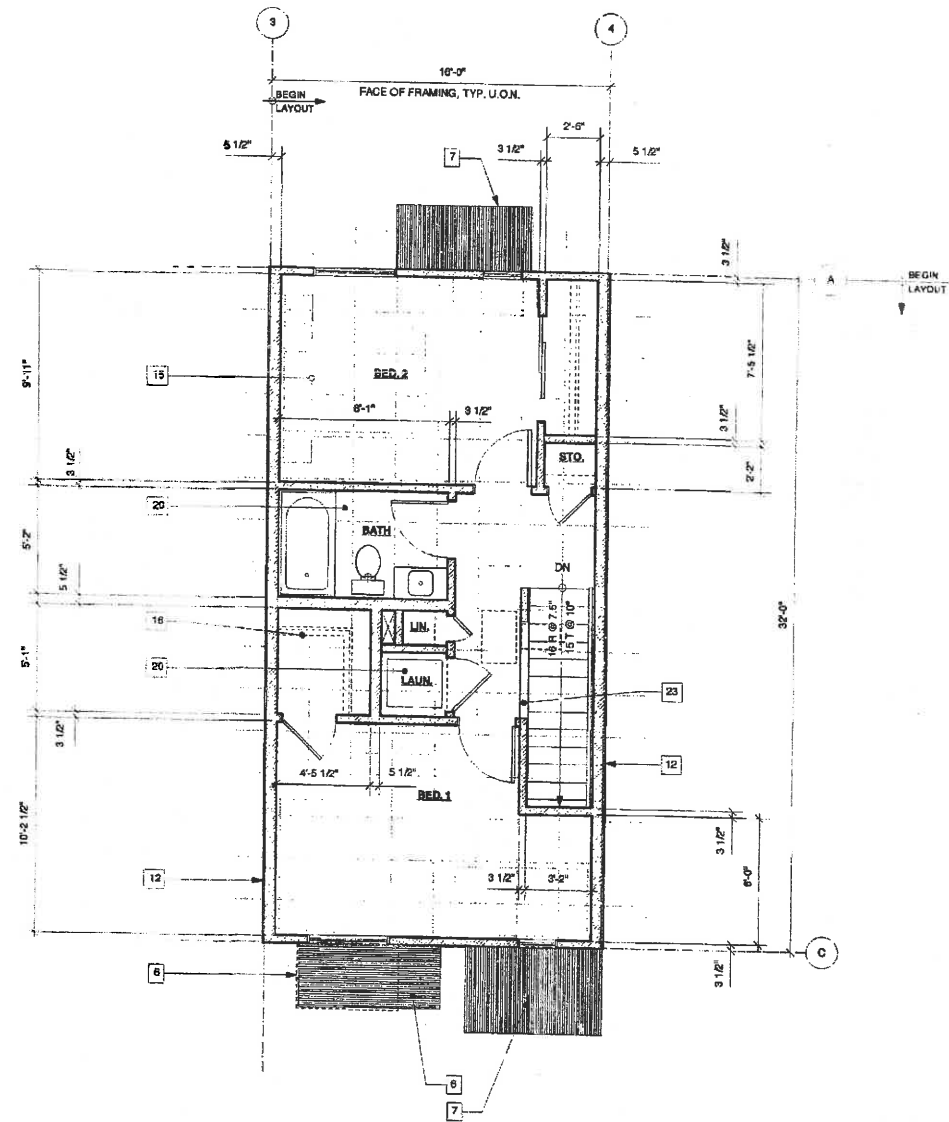
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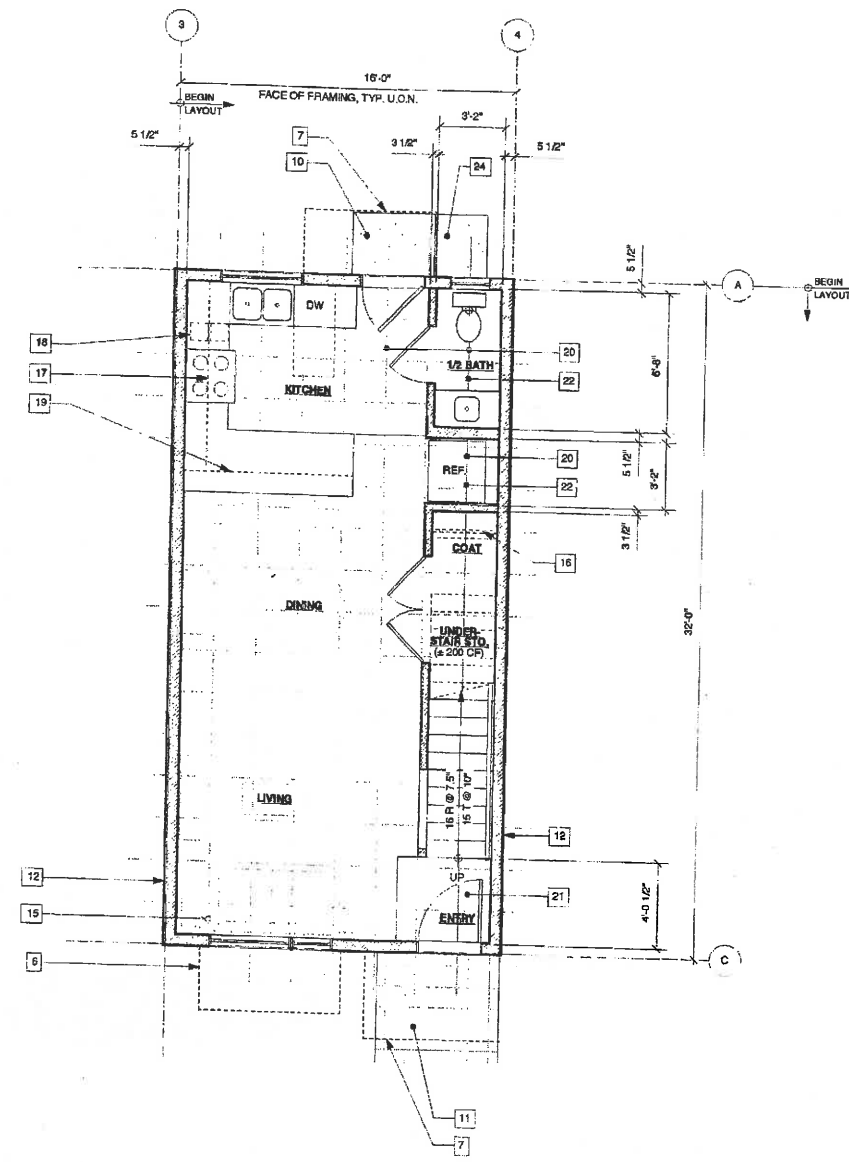


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A3.5
5-UNIT BLDG.
ELEVATIONS - B



2
A4.1 2ND FLOOR PLAN - 2 BEDROOM UNIT
SCALE: 1/4" = 1'-0"



1
A4.1 1ST FLOOR PLAN - 2 BEDROOM UNIT
TOTAL GROSS FLOOR AREA (INCL. STORAGE) = 982 S.F.
SCALE: 1/4" = 1'-0"

UNIT PLAN NOTES:

1. 3" Ø ROUND DOWNSPOUT TO INFILTRATION PLANTER, TYP. (U.O.N.). SEE SITE PLAN A1.0 FOR LOCATIONS. SEE LANDSCAPE & CIVIL DRAWINGS FOR DETAILS & CALCULATIONS.
2. METAL SCUPPER (Ø DUPLEX ONLY)
3. 4" x 6" METAL FASCIA GUTTER (NO DGE) SLOPE MIN. 1/8" PER FT.
4. CLASS 'A' ASPHALT ROOF SHINGLES (LIFETIME)
5. ROOF CRICKET
6. PAINTED WOOD SUNSHADE BELOW (SHOWN DASHED ABOVE) - LOCATION MAY VARY BASED ON SOLAR ORIENTATION
7. PAINTED WOOD & CORRUGATED METAL PORCH ROOF BELOW (SHOWN DASHED ABOVE)
8. NOT USED
9. LOCATION OF SCREENED ELECTRICAL & GAS METERS. SEE BUILDING PLANS A2.0-3 FOR LOCATIONS.
10. REAR PATIO
11. FRONT PATIO
12. 1-HR RATED WALL, WHERE OCCURS. SEE BUILDING PLANS A2.0-A2.3 FOR LOCATIONS
13. NOT USED
14. OMIT WINDOW @ UNITS IN MIDDLE OF BUILDING. SEE BUILDING PLANS FOR LOCATIONS
15. ALL WALL STUDS, FLOOR JOISTS, ROOF FRAMING/RUSSES, & WINDOWS TO BE ON THE 24" FRAMING MODULE, U.O.N.
16. CLOSET SHELF & POLE
17. UPPER CABINET
18. PULL-OUT SHELF FOR RECYCLING STATION
19. EXTENT OF CABINET BELOW
20. TILE FLOORING @ KITCHEN, BATH, & LAUNDRY
21. TILE FLOORING @ ENTRY
22. 8'-0" HIGH CEILING
23. 42" HIGH GAIRD
24. PRE-FAB CONC. PAD FOR AC CONDENSER UNIT. SEE BLDNG. PLANS A2.0-3 FOR LOCATIONS.

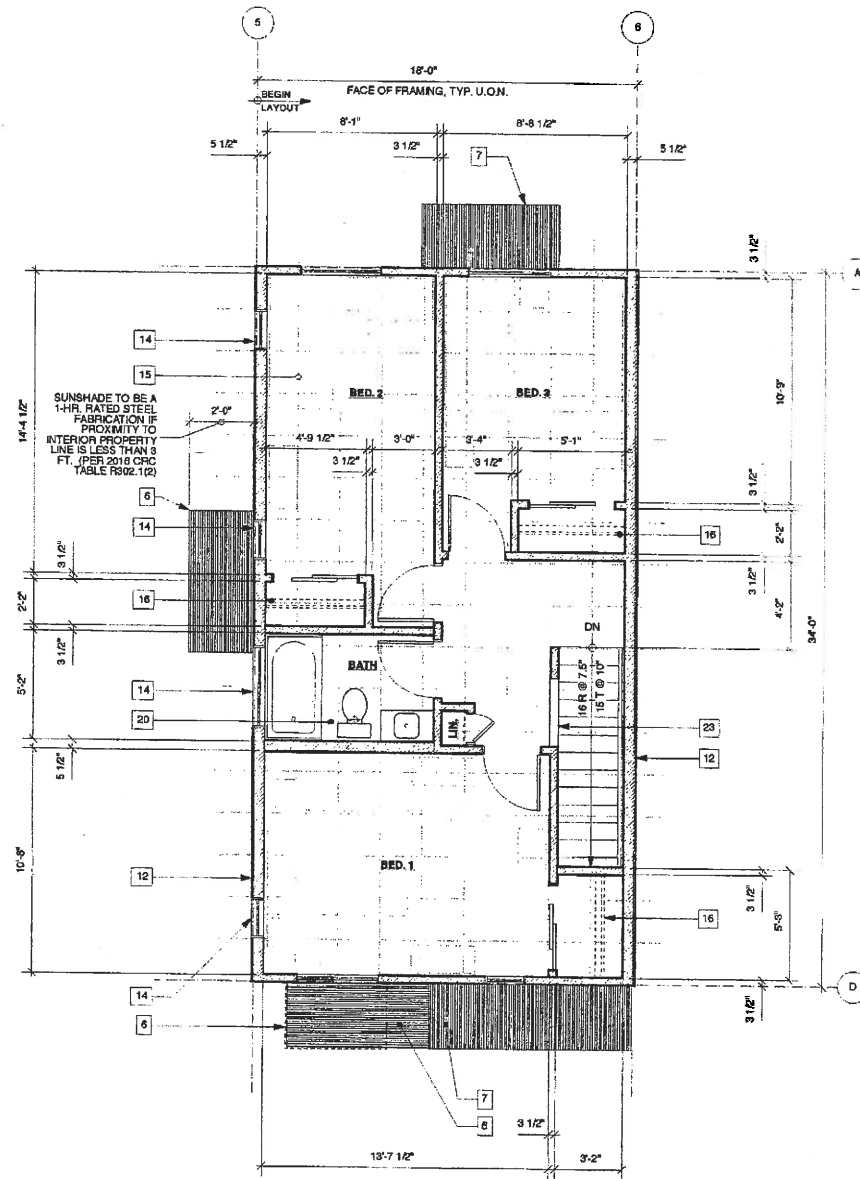
**HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.**
599 PACIFICA AVENUE, RAYPOINT, CA 94556
PACIFICA LANDING

GHA
GEOFFREY HOLTON
& ASSOCIATES
1743 Alcatraz Avenue
Berkeley, CA 94703
tel: 510.863.9797
fax: 510.863.1807
http://www.ghadesign.net



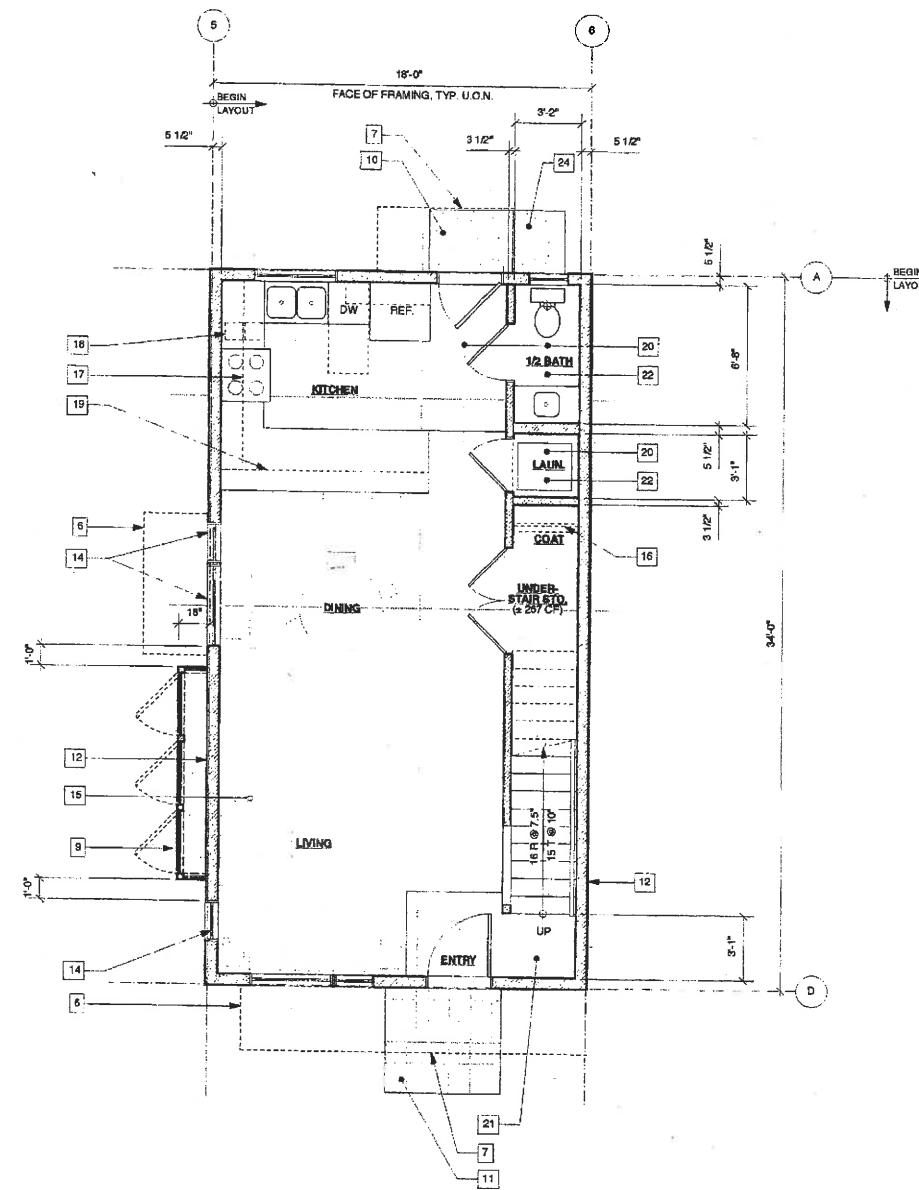
CURRENT
ISSUE DATE
3/13/2018
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SUBMITTAL DATE
12/20/17
REVISIONS

SHEET NO.
A4.1
2-BEDR. UNIT PLANS



2 2ND FLOOR PLAN - 3 BEDROOM UNIT

SCALE: 1/4" = 1'-0"



1 1ST FLOOR PLAN - 3 BEDROOM UNIT

TOTAL GROSS FLOOR AREA (INCL. STORAGE) = 1,192 S.F.

SCALE: 1/4" = 1'-0"



UNIT PLAN NOTES:

- | | |
|---|--|
| <ul style="list-style-type: none"> 1. 3" Ø ROUND DOWNSPOUT TO INFILTRATION PLANTER, TYP. (U.O.N.). SEE SITE PLAN A1.0 FOR LOCATIONS. SEE LANDSCAPE & CIVIL DRAWINGS FOR DETAILS & CALCULATIONS. 2. METAL SCUPPER (Ø DUPLICATION ONLY) 3. 4" x 6" METAL FASCIA GUTTER (NO OGEE) SLOPE MIN. 1/8" PER FT. 4. CLASS 'A' ASPHALT ROOF SHINGLES (LIFETIME) 5. ROOF CRICKET 6. PAINTED WOOD SUNSHADE BELOW (SHOWN DASHED ABOVE) - LOCATION MAY VARY BASED ON SOLAR ORIENTATION 7. PAINTED WOOD & CORRUGATED METAL PORCH ROOF BELOW (SHOWN DASHED ABOVE) 8. NOT USED 9. LOCATION OF SCREENED ELECTRICAL & GAS METERS. SEE BUILDING PLANS A2.0-3 FOR LOCATIONS. 10. REAR PATIO 11. FRONT PATIO 12. 1-HR RATED WALL, WHERE OCCURS. SEE BUILDING PLANS A2.0-A2.3 FOR LOCATIONS | <ul style="list-style-type: none"> 13. NOT USED 14. OMIT WINDOW @ UNITS IN MIDDLE OF BUILDING. SEE BUILDING PLANS FOR LOCATIONS 15. ALL WALL STUDS, FLOOR JOISTS, ROOF FRAMING/TRUSSES, & WINDOWS TO BE ON THE 24" FRAMING MODULE, U.O.N. 16. CLOSET SHELF & POLE 17. UPPER CABINET 18. PULL-OUT SHELF FOR RECYCLING STATION 19. EXTENT OF CABINET BELOW 20. TILE FLOORING @ KITCHEN, BATH, & LAUNDRY 21. TILE FLOORING @ ENTRY 22. 8'-0" HIGH CEILING 23. 42" HIGH GAURD 24. PRE-FAB CONC. PAD FOR AC CONDENSER UNIT. SEE BLDG. PLANS A2.0-3 FOR LOCATIONS. |
|---|--|

HABITAT FOR HUMANITY
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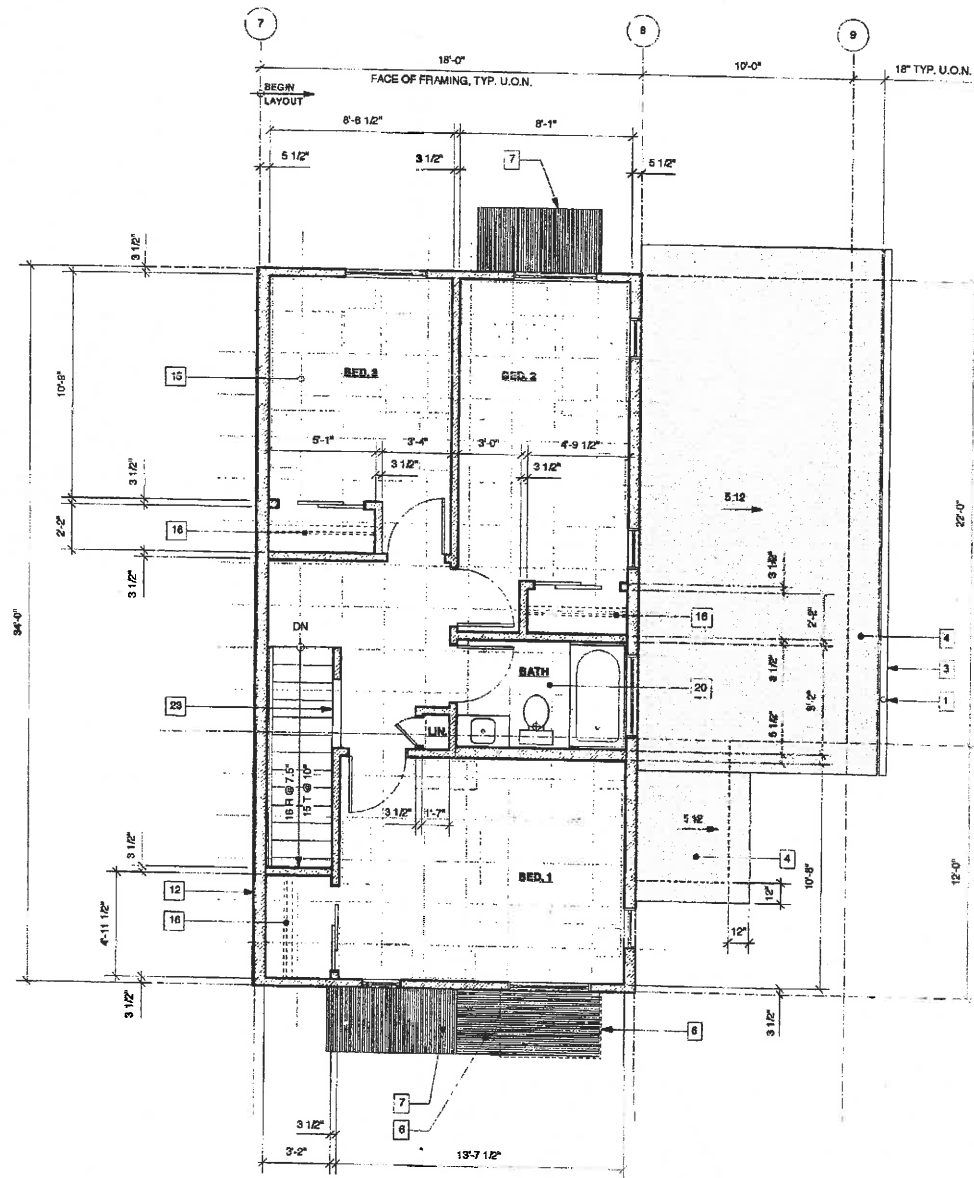
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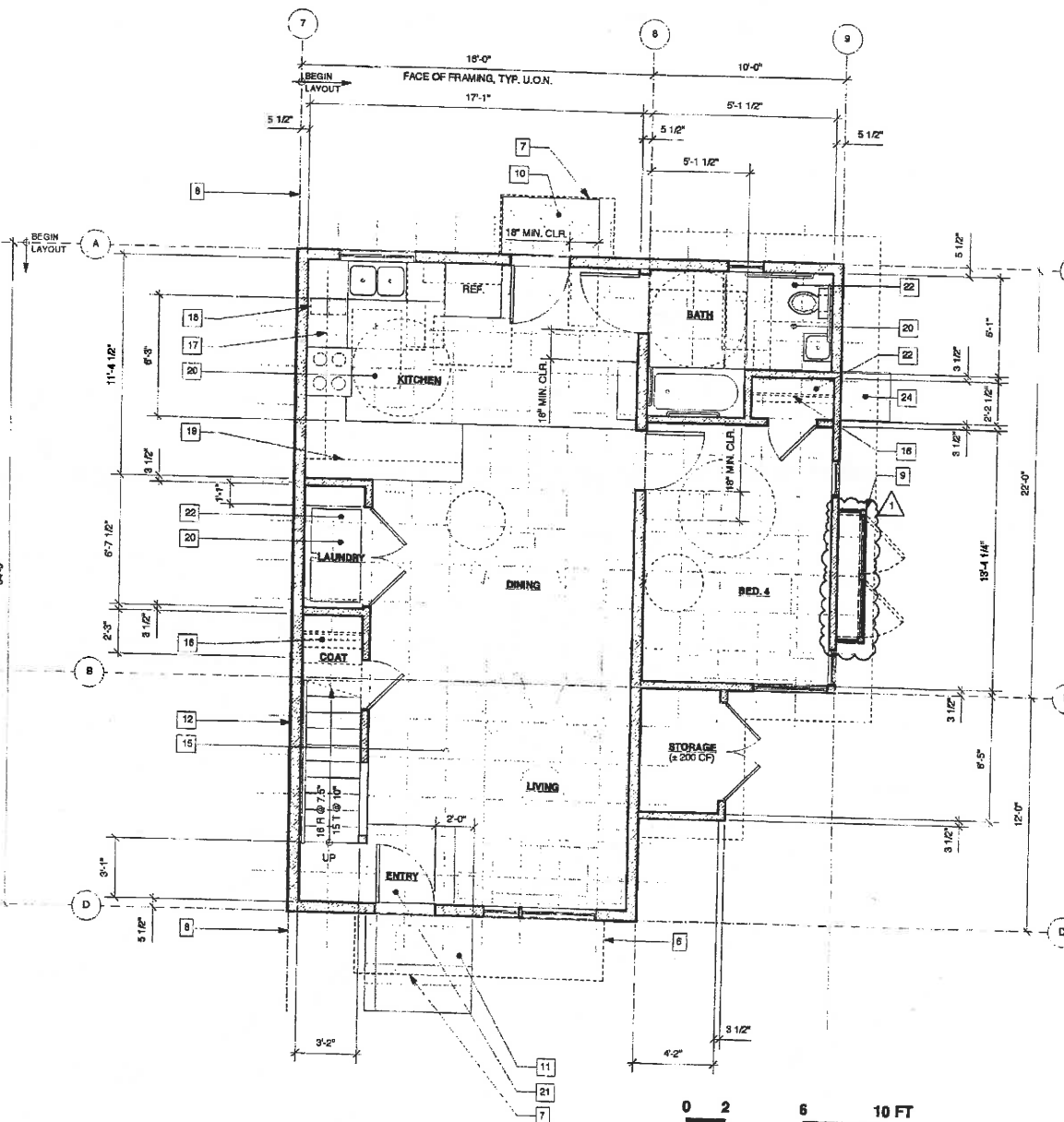
A4.2

3 BEDR. UNIT PLANS



2 2ND FLOOR PLAN - 4 BEDROOM UNIT
A4.3

SCALE: 1/4" = 1'-0"



1 1ST FLOOR PLAN - 4 BEDROOM UNIT (ACCESSIBLE GROUND FLOOR)
A4.3
TOTAL GROSS FLOOR AREA (INCL. STORAGE) = 1,442 S.F.
SCALE: 1/4" = 1'-0"



UNIT PLAN NOTES:

1. 3" Ø ROUND DOWNSPOUT TO INFILTRATION PLANTER, TYP. (U.O.N.) SEE SITE PLAN A1.0 FOR LOCATIONS. SEE LANDSCAPE & CIVIL DRAWINGS FOR DETAILS & CALCULATIONS.
2. METAL SCUPPER (Ø DUPLEX ONLY)
3. 4" x 6" METAL FASCIA GUTTER (NO OGEE) SLOPE MIN. 1/8" PER FT.
4. CLASS 'A' ASPHALT ROOF SHINGLES (LIFETIME)
5. ROOF CRICKET
6. PAINTED WOOD SUNSHADE BELOW (SHOWN DASHED ABOVE) - LOCATION MAY VARY BASED ON SOLAR ORIENTATION
7. PAINTED WOOD & CORRUGATED METAL PORCH ROOF BELOW (SHOWN DASHED ABOVE)
8. NOT USED
9. LOCATION OF SCRIBED ELECTRICAL & GAS METERS. SEE BUILDING PLANS A2.0-3 FOR LOCATIONS.
10. REAR PATIO
11. FRONT PATIO
12. 1-HR RATED WALL WHERE OCCURS. SEE BUILDING PLANS A2.0-A2.3 FOR LOCATIONS
13. NOT USED
14. OMIT WINDOW @ UNITS IN MIDDLE OF BUILDING. SEE BUILDING PLANS FOR LOCATIONS
15. ALL WALL STUDS, FLOOR JOISTS, ROOF FRAMING/TRUSSES, & WINDOWS TO BE ON THE 2nd FRAMING MODULE, U.O.N.
16. CLOSET SHELF & POLE
17. UPPER CABINET
18. PULL-OUT SHELF FOR RECYCLING STATION
19. EXTENT OF CABINET BELOW
20. TILE FLOORING @ KITCHEN, BATH, & LAUNDRY
21. TILE FLOORING @ ENTRY
22. 8'-0" HIGH CEILING
23. 42" HIGH GAIRD
24. PRE-FAB CONC. PAD FOR AC CONDENSER UNIT. SEE BLDG. PLANS A2.0-3 FOR LOCATIONS.

**HABITAT FOR HUMANITY
EAST BAY / SILICON VALLEY, INC.**

589 PACIFICA AVENUE, BAYPOINT, CA 94565
PACIFICA LANDING



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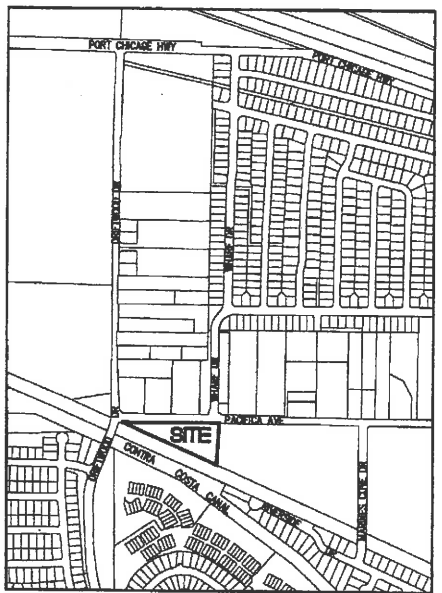
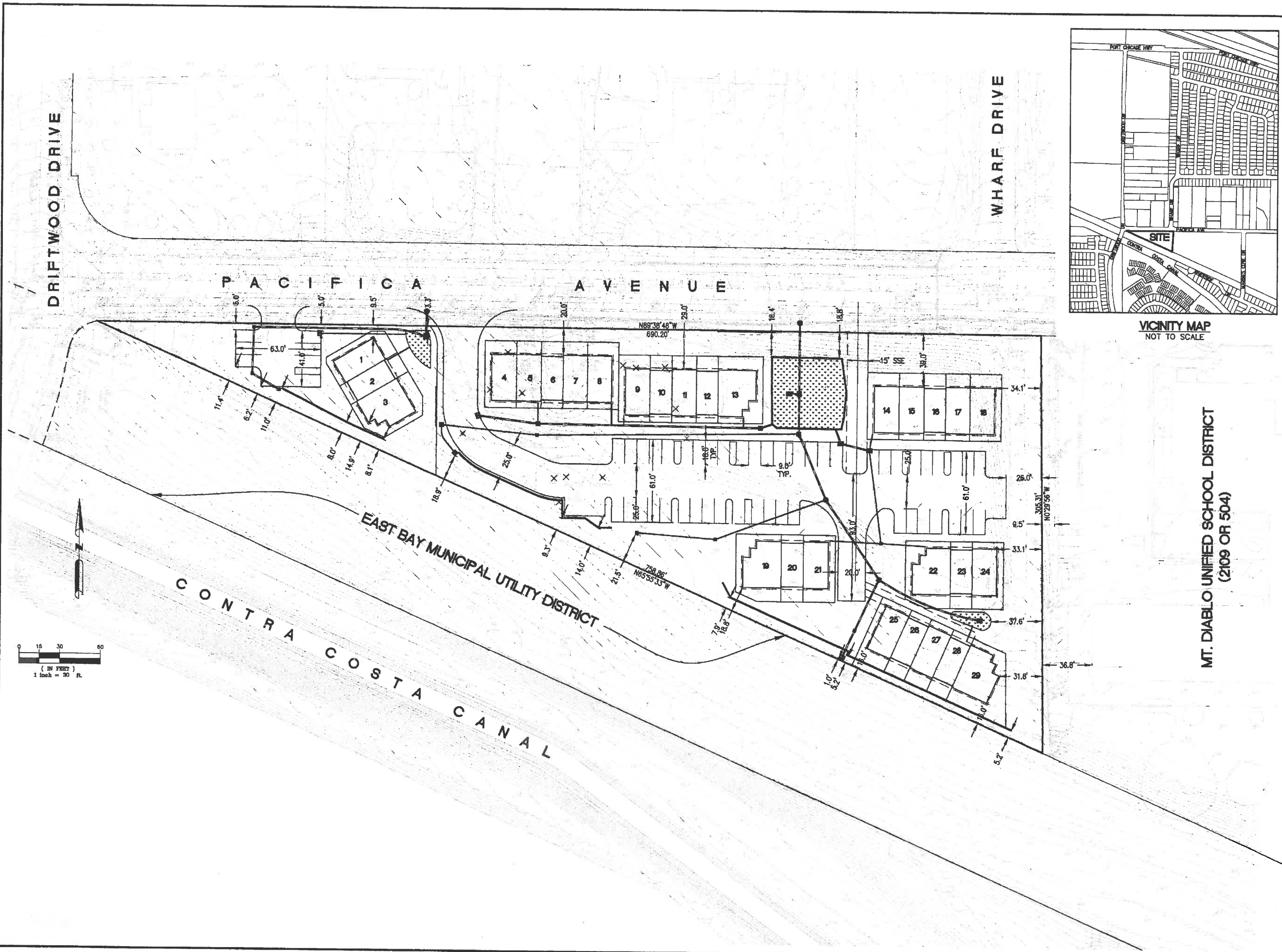


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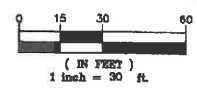
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PLANNING
RESUBMITTAL
3/13/2018

SHEET NO
A4.3
4-BEDR. UNIT PLANS



VICINITY MAP
NOT TO SCALE

MT. DIABLO UNIFIED SCHOOL DISTRICT
(2109 OR 504)



ALIQUOT
Aliquot Associates, Inc.
1390 S. Main St. - Ste. 310
Walnut Creek, CA 94596
Telephone: (925) 478-2200
Fax: (925) 478-2200
Planners
Civil Engineers
Surveyors

No.	BY	DATE	REVISIONS



DEVELOPMENT PLAN
589 PACIFICA AVE
HABITAT FOR HUMANITY
CONTRA COSTA COUNTY
CALIFORNIA

JOB NO. 2009052	SCALE 1"=30'	DATE 3/13/2018	DESIGN VJD	DRAWN MC	APPROVED
DRAWING NUMBER					

DP
1 OF 1