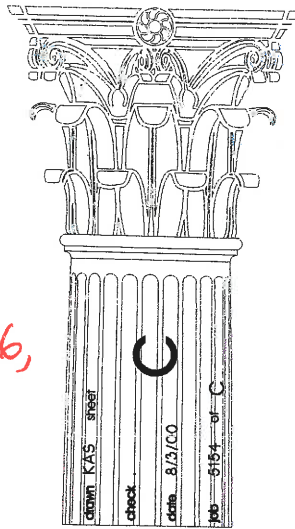


Plans

214 CENTER AVENUE PACHECO, CALIFORNIA



R217-3237, SD17-9466,
DP17-3010



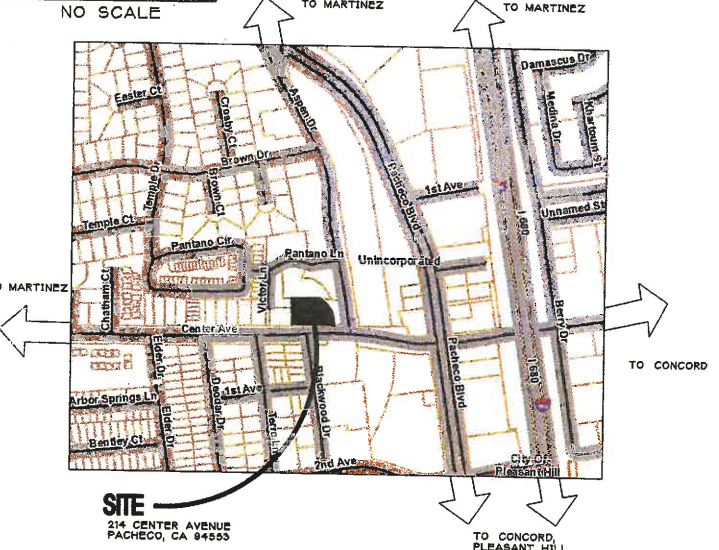
ABBREVIATIONS LIST

AB.	ANCHOR BOLT
ABV.	ABOVE
ADD.	ADDITIONAL
BD.	BOARD
BLDG.	BUILDING
C/OPT.	CARPET
CL.	CELLING
COMP.	COMPOSITE/COMPOSITION
CONC.	CONCRETE
CS/CSMT.	CASHEMENT
DBL.	DOUBLE
DL.	DOUBLE HUNG
DIA.	DIAMETER
DIM.	DIMENSION
D.R.	DOOR
DTL.	DETAIL
DWG.	DRAWINGS
EX.	EXISTING
ELEV.	ELEVATION
EXT.	EXTERIOR
FF.	FINISH FLOOR
FIN.	FINISH
F.G.	FINISH GRADE
FLR.	FLOOR
FR.	FRENCH
FT.	FOOT
FX.	FIXED
GAL.	GALLON
GALV.	GALVANIZED
G.F.I.	GROUND FAULT INTERRUPTER
GM.	GALVANIZED SHEET METAL
GMV.	GALVANIZED SHEET METAL VALLEY
GYP.	GYPSON
H.WOOD.	HARDWOOD
HORIZ.	HORIZONTAL
HST/HT.	HEIGHT
INT.	INTERIOR
JST.	JOIST
MATL.	MATERIAL
MAX.	MAXIMUM
MFR.	MANUFACTURER
MIN.	MINIMUM
MTL.	METAL
NI.	NEW
N.E.C.	NATIONAL ELECTRICAL CODE
N.I.C.	NOT IN CONTRACT
O.C.	ON CENTER
OPT.	OPTIONAL
PD.	PATIO DOOR
PKT.	POCKET
PLYWD.	PLYWOOD
PR.	PAIR
P.T.	PRESSURE TREATED
RM.	ROOM
RS.	ROUGH SAW/RESAWN
S.A.D.	SEE ARCHITECTURAL DRAWINGS
S.F.	SUBFLOOR
S.G.D.	SLIDING GLASS DOOR
SSL.	SINGLE
SH.	SINGLE HUNG
SHG.	SHEATHING
SIM.	SIMILAR
SLDR.	SLIDER
SQ.	SQUARE
S.S.D.	SEE STRUCTURAL DRAWINGS
STR.	STRUCTURAL
T.	THICK
T.O.P.	TOP OF SUBFLOOR
T.O.P.	TOP OF PLATE
TYP.	TYPICAL
U.B.C.	UNIFORM BUILDING CODE
U.M.C.	UNIFORM MECHANICAL CODE
U.P.C.	UNIFORM PLUMBING CODE
U.O.N.	UNLESS OTHERWISE NOTED
V.	VERTICAL
V.P.	VAPOR PROOF
WD.	WOOD
W.D.W.	WINDOW

COVER SHEET NOTES

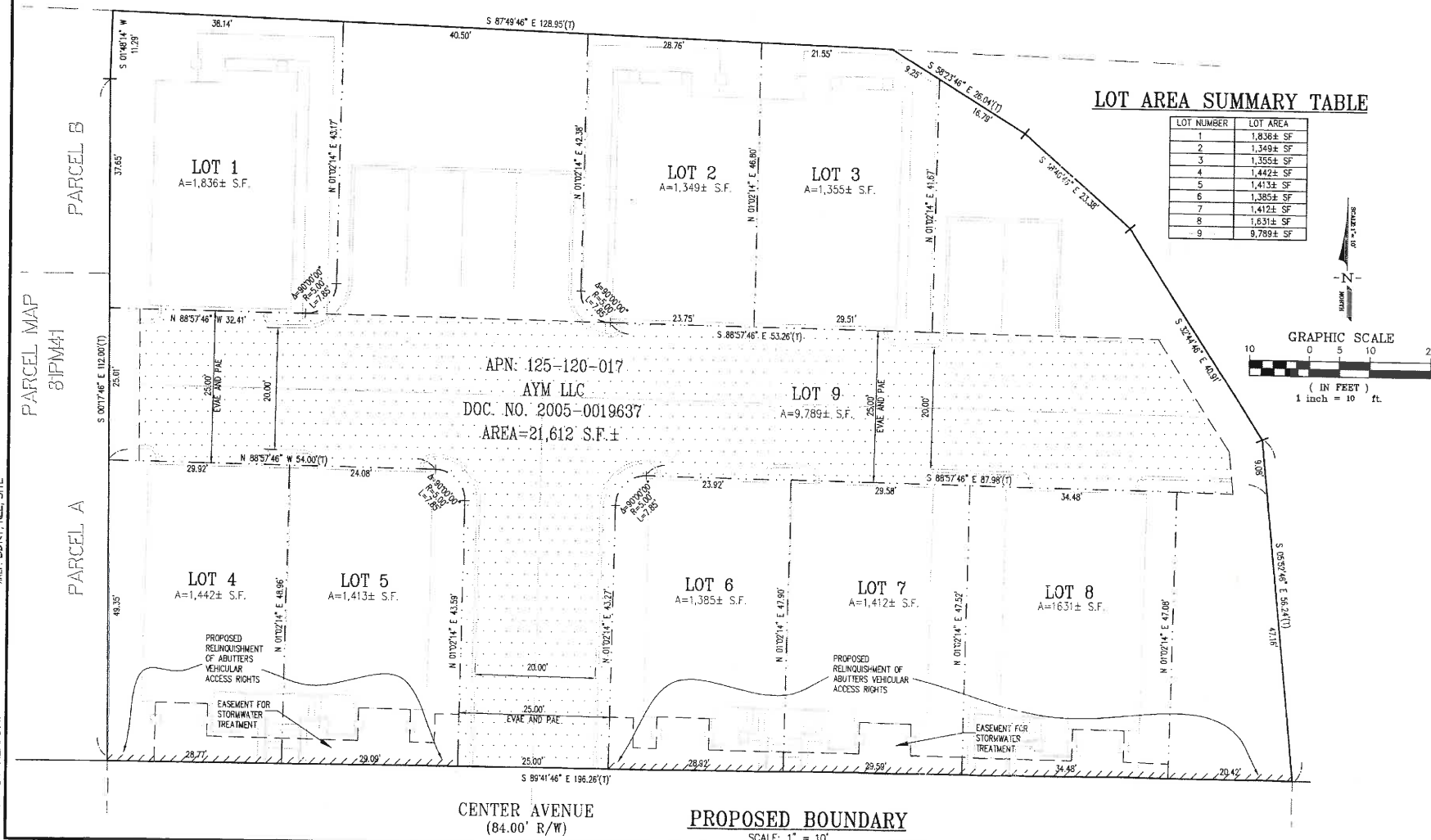
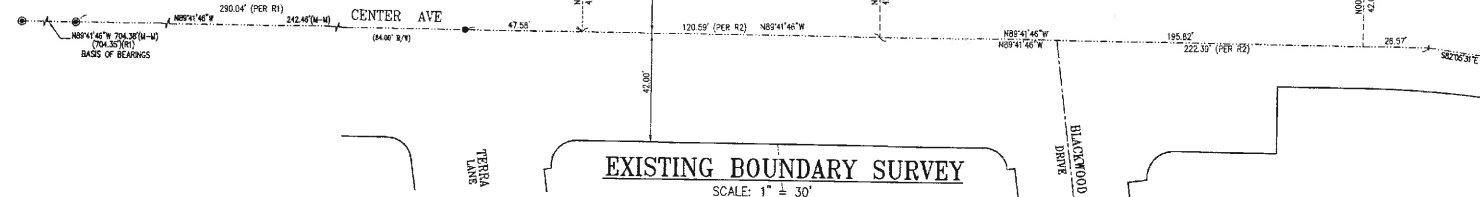
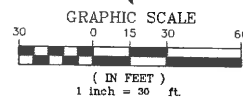
- GENERAL: THESE PLANS ARE A "BUILDER'S SET". ARETE, INC. HAS BEEN CONTRACTED TO PROVIDE A "BUILDER'S SET" w/ THE AGREEMENT THAT AN EXPERIENCED & KNOWLEDGEABLE CONTRACTOR SHALL CONSTRUCT THIS PROJECT. THESE PLANS CONTAIN INFORMATION FOR GENERAL CONSTRUCTION & BUILDING PERMIT PURPOSES ONLY. THEY ARE NOT EXTENSIVELY DETAILED NOR ARE SPECIFICATIONS PROVIDED FOR ITEMS, METHODS &/OR MATERIALS NOT SHOWN. THE MINIMUM REQUIREMENT OF THE CURRENTLY ADOPTED C.S.C. SHALL GOVERN. THESE PLANS HAVE BEEN PRODUCED SOLELY FOR USE OF A KNOWLEDGEABLE & EXPERIENCED CONTRACTOR. ANY OR PART OF ALL SYSTEMS, MATERIALS, CONNECTIONS & DETAILS NOT SPECIFICALLY PROVIDED IN PLANS ARE THE SOLE & COMPLETE RESPONSIBILITY OF THE CONTRACTOR TO PROPERLY VERIFY & INSTALL. CONTRACTOR IS NOT PROVIDE CONTINUOUS OBSERVATION UNLESS IT HAS BEEN SPECIFICALLY CONTRACTED FOR. CONTRACTOR IS SOLELY RESPONSIBLE FOR QUALITY & CONSTRUCTION STANDARDS FOR THIS PROJECT. ARCHITECT PROVIDED NO WARRANTY OR GUARANTEE ON FINAL PROJECT, NOR A DUTY TO ANY PERSON OR ENTITY BEYOND AFOREMENTIONED LIMITED INFORMATION OF THESE CONSTRUCTION DOCUMENTS. THE CLIENT IS DIRECTLY RESPONSIBLE FOR ANY MODIFICATIONS THAT MAY BE ASSOCIATED WITH REVISIONS RESULTING FROM BUILDING CODE CHANGES THAT MAY OCCUR SUBSEQUENT TO GENERATION OF CONSTRUCTION DOCUMENTS.
- WORK PERFORMED SHALL COMPLY IN ALL ASPECTS w/ BUT NOT NECESSARILY LIMITED TO ALL APPLICABLE LOCAL & STATE ORDINANCES, CODES, & REGULATIONS & w/ THE FOLLOWING CODE EDITIONS:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA GREEN CODE
2016 CALIFORNIA FIRE CODE
2016 CONTRA COSTA COUNTY CODE
- IN THE EVENT OF CONFLICTS IN CODE REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. ANY CONFLICT BETWEEN CONSTRUCTION DOCUMENTS & ABOVE CODES & ORDINANCES SHALL BE BROUGHT TO ATTENTION OF ARCHITECT, GENERAL CONTRACTOR & OWNER'S REPRESENTATIVE FOR RESOLUTION BEFORE PROCEEDING w/ WORK.
- CONTRACTOR & SUBCONTRACTORS TO REFER TO ALL SHEETS (DRAWINGS) PRIOR TO COMMENCEMENT OF WORK TO ELIMINATE POSSIBLE FUTURE ERRORS & OMISSIONS. IF, IN THE OPINION OF CONTRACTOR OR ANY SUBCONTRACTOR, INSTRUCTION, DETAIL OR INFORMATION CONTAINED IN THESE DRAWINGS IS A VARIANCE w/ OR DOES NOT COMPLY w/ ANY OF THE REQUIREMENTS ABOVE, THEY SHALL REPORT SAME TO ARCHITECT BEFORE PROCEEDING w/ THAT PHASE OF WORK.
- GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT & COMPLETE SET OF CONSTRUCTION DOCUMENTS ON JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES & SHALL PROVIDE ALL SUBCONTRACTORS w/ CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
- GENERAL CONTRACTOR SHALL COORDINATE WORK w/ THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE ALL SCHEDULES ARE MET & ALL WORK IS DONE IN CONFORMANCE w/ MANUFACTURER'S REQUIREMENTS & TO THE HIGHEST INDUSTRY STANDARDS.
- UNDER NO CIRCUMSTANCES SHALL ANY SHEETS (DRAWINGS, PRINTS, PLANS, ETC.) MARKED "BID DOCUMENTS" BE USED FOR ACTUAL CONSTRUCTION.
- THE SUBCONTRACTORS, AND/OR SUPPLIERS SHALL SUBMIT TO GENERAL CONTRACTOR & OWNER'S REPRESENTATIVE FOR REVIEW & APPROVAL:
-SHOP DRAWINGS FOR ALL FABRICATED ITEMS.
-CUT SHEETS, PRODUCT DATA & MAINTENANCE MANUALS FOR ALL FIXTURES & EQUIPMENT WARRANTY INFORMATION.
- ON-SITE VERIFICATION OF ALL DIMENSIONS & CONDITIONS SHALL BE RESPONSIBILITY OF CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR/ OWNER SHALL VERIFY CONTOURS, SITE CONFIGURATION, PROPERTY LINES, SETBACKS, EASEMENTS, EXTENT OF BUILDING PAD, & ACCURACY OF TOPOGRAPHY PRIOR TO APPROVAL, ACCEPTANCE, & CONSTRUCTION.
- OMISSIONS, IN THE EVENT CERTAIN FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON DRAWINGS, THEIR CONSTRUCTION SHALL BE OF SAME CHARACTER FOR SIMILAR CONDITIONS SHOWN ON DRAWINGS.
- ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN VARIOUS PARTS OF CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO ATTENTION OF ARCHITECT, GENERAL CONTRACTOR & OWNER'S REPRESENTATIVE FOR CLARIFICATION BEFORE PROCEEDING w/ WORK.
- SUBSTITUTIONS, REVISIONS OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL OF ARCHITECT, GENERAL CONTRACTOR & OWNER'S REPRESENTATIVE.
- ALL WORK SHALL BE ERECTED & INSTALLED PLUMB, LEVEL, SQUARE & TRUE & IN PROPER ALIGNMENT & RELATIONSHIP TO WORK OF OTHER TRADES. FINISH WORK SHALL BE FREE OF DEFECTS & DAMAGE. ALL SHOP & FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMEN, & WORKERS SKILLED & EXPERIENCED IN WORK INVOLVED w/ BEST & ACCEPTED PRACTICES OF VARIOUS TRADES. OWNER RESERVES RIGHT TO REJECT ANY MATERIALS OR WORK QUALITY WHICH ARE NOT UP TO THE HIGHEST STANDARD OF TRADES INVOLVED. REJECTED WORK SHALL BE REPAIRED OR REPLACED AS DIRECTED & NO ADDITIONAL COST TO ARCHITECT, GENERAL CONTRACTOR OR OWNER'S REPRESENTATIVE.
- JOB SAFETY: ARCHITECT IS NOT RESPONSIBLE FOR FABRICATION, ERECTION &/OR JOB SAFETY. CONTRACTOR SHALL COMPLY w/ ALL SAFETY REGULATIONS. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DESIGN AND INSTALLATION OF ALL SHORING, BRACING, FORM WORK, ETC. AS REQUIRED FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION OF PROJECT.
- ALL DIMENSIONS WHEN SHOWN IN PLAN ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED (U.O.N.).
- ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF PLYWOOD IN SECTION OR ELEVATION U.O.N.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- VERIFY ALL EQUIPMENT SIZES BEFORE PROCEEDING WITH WORK.
- INSTALL ALL FIXTURES, EQUIPMENT, & MATERIALS PER MANUFACTURER'S RECOMMENDATIONS, MINIMUM, ORDERING OF, OR INSTALLATION OF ANY ITEMS OF WORK.
- VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC. BEFORE ANY CONSTRUCTION, OR PLACED THREE STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON DRAWINGS.
- WINDOW SIZES ARE NOMINAL DIMENSIONS. SEE WINDOWS IN PLAN FOR SIZES. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING SIZES. SEE EXTERIOR ELEVATIONS FOR WINDOW HEAD HT.
- SEE DOORS ON PLANS FOR ALL DOOR SIZES.
- WHERE LOCATIONS OF WINDOWS & DOORS ARE NOT DIMENSIONED, THEY SHALL BE CENTERED ON WALL OR PLACED THREE STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON DRAWINGS.
- THE GENERAL CONTRACTOR SHALL LEAVE PREMISES & ALL AFFECTED AREAS CLEAN & ORDERLY, READY FOR OCCUPANCY.

LOCATION MAP



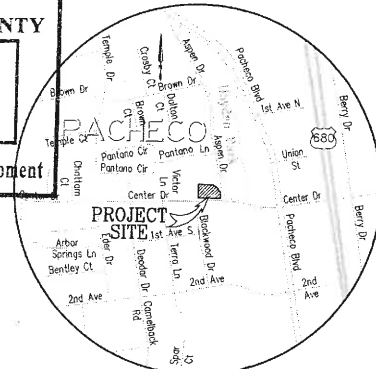
LEGEND

SYMBOLS	DESCRIPTION
---	BOUNDARY - SUBJECT PROPERTY
---	RIGHT OF WAY LINE
---	ADJOINERS PROPERTY LINE
---	PROPOSED LOT LINE
---	PROPOSED EASEMENT LINE
---	PROPOSED RELINQUISHMENT OF ADJUTERS VEHICULAR ACCESS RIGHTS
---	PROPOSED EMERGENCY VEHICLE ACCESS AND PRIVATE ACCESS EASEMENT
●	FOUND MONUMENT AS NOTED
(T)	TOTAL
(162.63')	RECORD INFORMATION
APN	ASSESSOR'S PARCEL NUMBER



LOT NUMBER	LOT AREA
1	1,836± S.F.
2	1,349± S.F.
3	1,355± S.F.
4	1,442± S.F.
5	1,413± S.F.
6	1,385± S.F.
7	1,412± S.F.
8	1,631± S.F.
9	9,789± S.F.

Revised UTM
 RECEIVED
 CONTRA COSTA COUNTY
 JUN 20 2018
 Dept of Conservation & Development
 R217-3237,
 SD17-9466,
 DP17-3010



GENERAL NOTES:

- OWNER: AYM LLC
P.O. BOX 824
ORINDA, CA 94563
- DEVELOPER: ANDY AKAY/MICHAEL K AKAY
CENTER AVENUE, LLC
P.O. BOX 824
ORINDA, CA 94563
- ENGINEER: LUK AND ASSOCIATES
738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA 94547
- ASSESSOR'S PARCEL NO.: 125-120-017
- TOTAL LOT AREA: 0.49 ACRES MORE OR LESS
- ZONING: R-6 SINGLE-FAMILY RESIDENTIAL DISTRICT
- LAND USE: EXISTING: OF - OFFICE
PROPOSED: MM - MULTI-FAMILY RESIDENTIAL - MEDIUM DENSITY
- UTILITIES: STORM: CONTRA COSTA COUNTY
SEWER: CENTRAL CONTRA COSTA SANITARY DISTRICT
WATER: CONTRA COSTA WATER DISTRICT
GAS & ELECTRIC: PACIFIC GAS AND ELECTRIC COMPANY
- FLOOD ZONE: THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE X (NO SHADING), DEFINED AS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP NO. 06013C0277F, MAP EFFECTIVE DATE: JUNE 16, 2009.
- PREMISES IS AS DESCRIBED IN OLD REPUBLIC TITLE COMPANY, PRELIMINARY REPORT TITLE NO. 0132005041-48, DATED AS OF FEBRUARY 11, 2016, AT 7:30 AM, REFERRED TO HEREON AS THE "PTR".
- UNIT DENSITY: 21.37 UNITS/ACRE

LEGAL DESCRIPTION

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE UNINCORPORATED AREA OF THE COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PORTION OF AN IRON PIPE SET ON THE NORTH LINE OF HIGH STREET DISTANT THEREON SOUTH 89° 16' WEST 56.05 FEET FROM ITS INTERSECTION WITH THE WEST LINE OF THE OLD COUNTY ROAD FROM MARTINEZ TO PACHECO, THENCE ALONG SAID NORTH LINE OF HIGH STREET SOUTH 89° 16' WEST 196.25 FEET, THENCE LEAVING SAID LINE NORTH 1° 20' WEST 112 FEET, THENCE NORTH 0° 46' EAST 11.29 FEET, THENCE SOUTH 88° 52' EAST 128.95 FEET, THENCE SOUTH 59° 26' EAST 26.04 FEET, THENCE SOUTH 49° 43' EAST 23.38 FEET, THENCE SOUTH 33° 47' EAST 40.91 FEET, THENCE SOUTH 6° 55' EAST 56.26 FEET TO THE POINT OF BEGINNING.

APN: 125-120-017

BASIS OF BEARINGS

FOUND STANDARD CONTRA COSTA COUNTY STREET MONUMENTS ALONG CENTER AVENUE AS SHOWN ON THAT CERTAIN MAP ENTITLED "SUBDIVISION 5602", FILED JANUARY 15, 1981, IN BOOK 248 OF MAPS, AT PAGES 25 THROUGH 27 INCLUSIVE, IN THE OFFICE OF THE COUNTY RECORDER OF CONTRA COSTA COUNTY, TAKEN AS NORTH 89°41'46" WEST.

BENCHMARK

CONTRA COSTA COUNTY BENCHMARK: BM#3332, FB SL 121 PG 70, BRASS DISC SET IN CONCRETE SIDEWALK, NORTH EAST CORNER OF BRIDGE OVER GRAYSON CREEK ON CENTER AVENUE IN PACHECO, ELEVATION = 17.984 FEET, MEAN SEA LEVEL DATUM.

Luk and Associates

Civil Engineering
 Land Planning
 Land Surveying
 738 Alfred Nobel Drive
 Hercules, CA 94547
 Phone (510) 724-3388
 Fax (510) 724-3383
 Email: aluk@lukassociates.com

Seal:



VESTING TENTATIVE MAP
 SD17-9466
 214 CENTER AVENUE
 PACHECO, CA

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

Title:

Date: JUNE 2018

Scale: AS SHOWN

Drawn By: D.A.D.

Checked By: J.L.

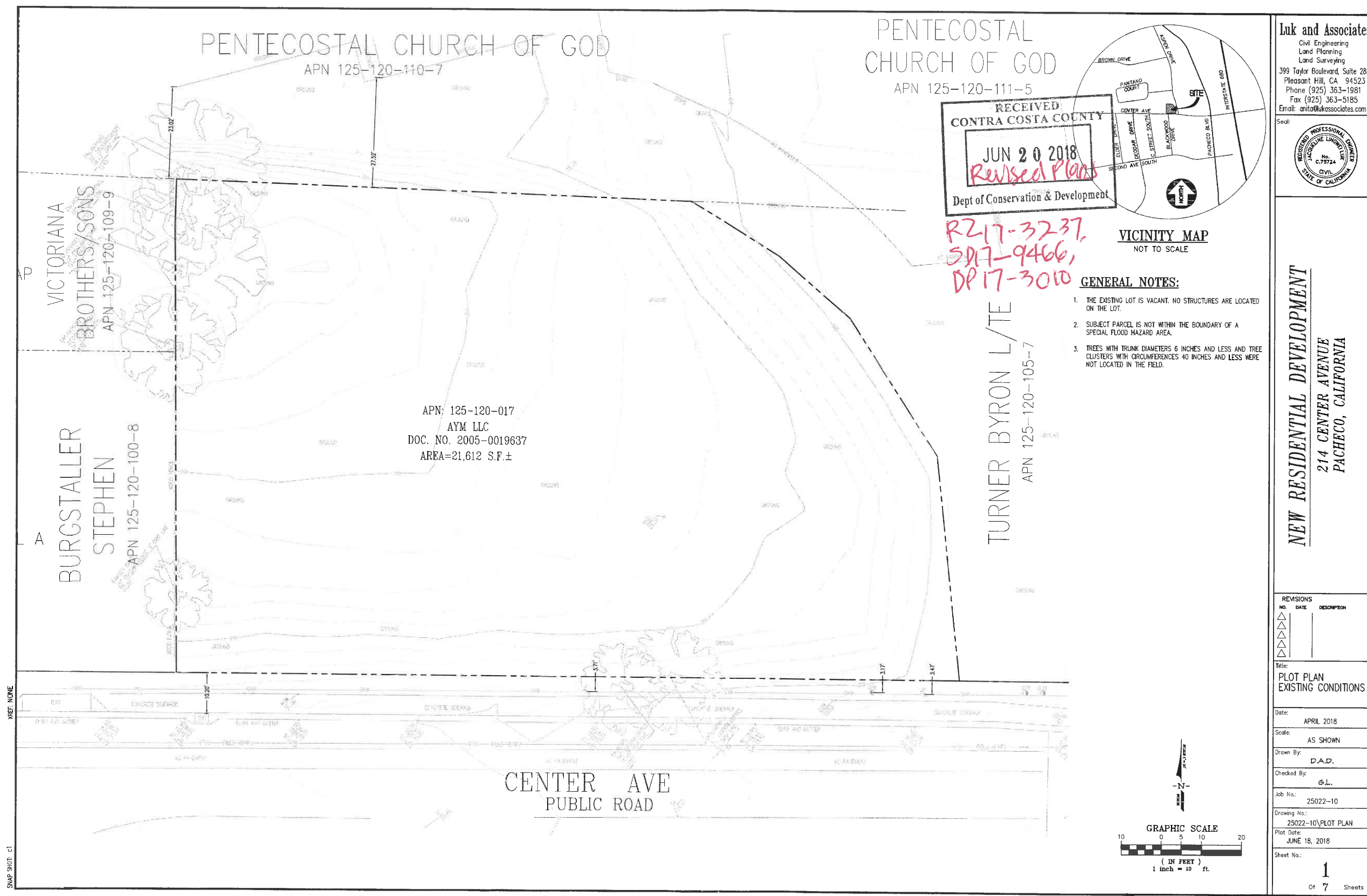
Job No.: 25022-10

Drawing No.: TMAP-25022.dwg

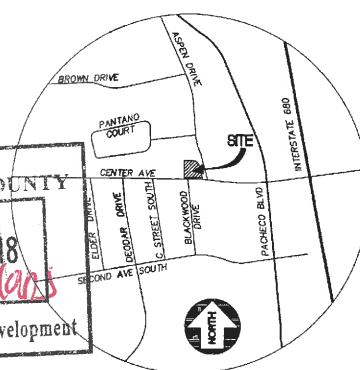
Plot Date: JUNE 18, 2018

Sheet No.: T-1

Of Sheets



RECEIVED
CONTRA COSTA COUNTY
JUN 20 2018
Revised Plans
Dept of Conservation & Development

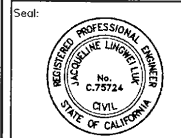


R217-3237,
SD17-9466,
DP17-3010

VICINITY MAP
NOT TO SCALE

- GENERAL NOTES:
1. THE EXISTING LOT IS VACANT. NO STRUCTURES ARE LOCATED ON THE LOT.
 2. SUBJECT PARCEL IS NOT WITHIN THE BOUNDARY OF A SPECIAL FLOOD HAZARD AREA.
 3. TREES WITH TRUNK DIAMETERS 6 INCHES AND LESS AND TREE CLUSTERS WITH CIRCUMFERENCES 40 INCHES AND LESS WERE NOT LOCATED IN THE FIELD.

Luk and Associates
Civil Engineering
Land Planning
Land Surveying
399 Taylor Boulevard, Suite 288
Pleasant Hill, CA 94523
Phone (925) 363-1981
Fax (925) 363-5185
Email: anita@lukassociates.com

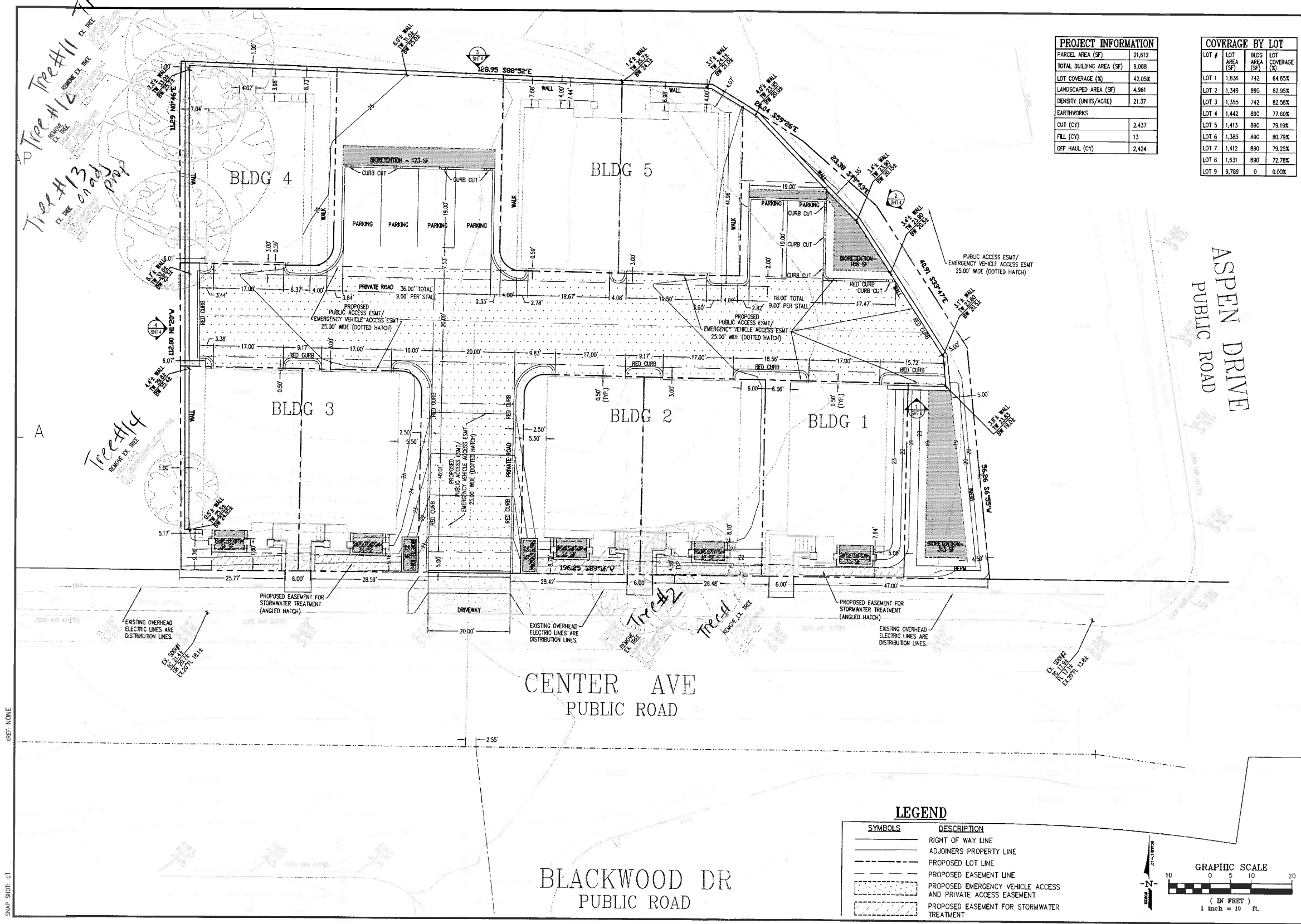


NEW RESIDENTIAL DEVELOPMENT
214 CENTER AVENUE
PACHECO, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		

Title:
PLOT PLAN
EXISTING CONDITIONS

Date:	APRIL 2018
Scale:	AS SHOWN
Drawn By:	D.A.D.
Checked By:	G.L.
Job No.:	25022-10
Drawing No.:	25022-10/PLOT PLAN
Plot Date:	JUNE 18, 2018
Sheet No.:	1
Of	7 Sheets



PROJECT INFORMATION	
PARCEL AREA (SF)	21,612
TOTAL BUILDING AREA (SF)	9,088
LOT COVERAGE (%)	42.05%
LANDSCAPED AREA (SF)	4,961
DENSITY (UNITS/ACRE)	21.37
EARTHWORKS	
CUT (CY)	2,437
FILL (CY)	13
OFF HAUL (CY)	2,424

COVERAGE BY LOT			
LOT #	LOT AREA (SF)	BLDG AREA (SF)	LOT COVERAGE (%)
LOT 1	1,836	742	64.65%
LOT 2	1,349	890	82.95%
LOT 3	1,355	742	82.56%
LOT 4	1,442	890	77.60%
LOT 5	1,413	890	79.19%
LOT 6	1,385	890	80.78%
LOT 7	1,412	890	79.25%
LOT 8	1,631	890	72.78%
LOT 9	9,788	0	0.00%

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NEW RESIDENTIAL DEVELOPMENT
214 CENTER AVENUE
PACHECO, CALIFORNIA

REVISIONS	
NO.	DESCRIPTION
Title: PLOT PLAN SITE PLAN	
Date: APRIL 2018	
Scale: AS SHOWN	
Drawn By: D.A.D.	
Checked By: G.L.	
Job No.: 25022-10	
Drawing No.: 25022-10\ PLOT PLAN	
Plot Date: JUNE 18, 2018	
Sheet No.: 2	
Of 7 Sheets	

LEGEND

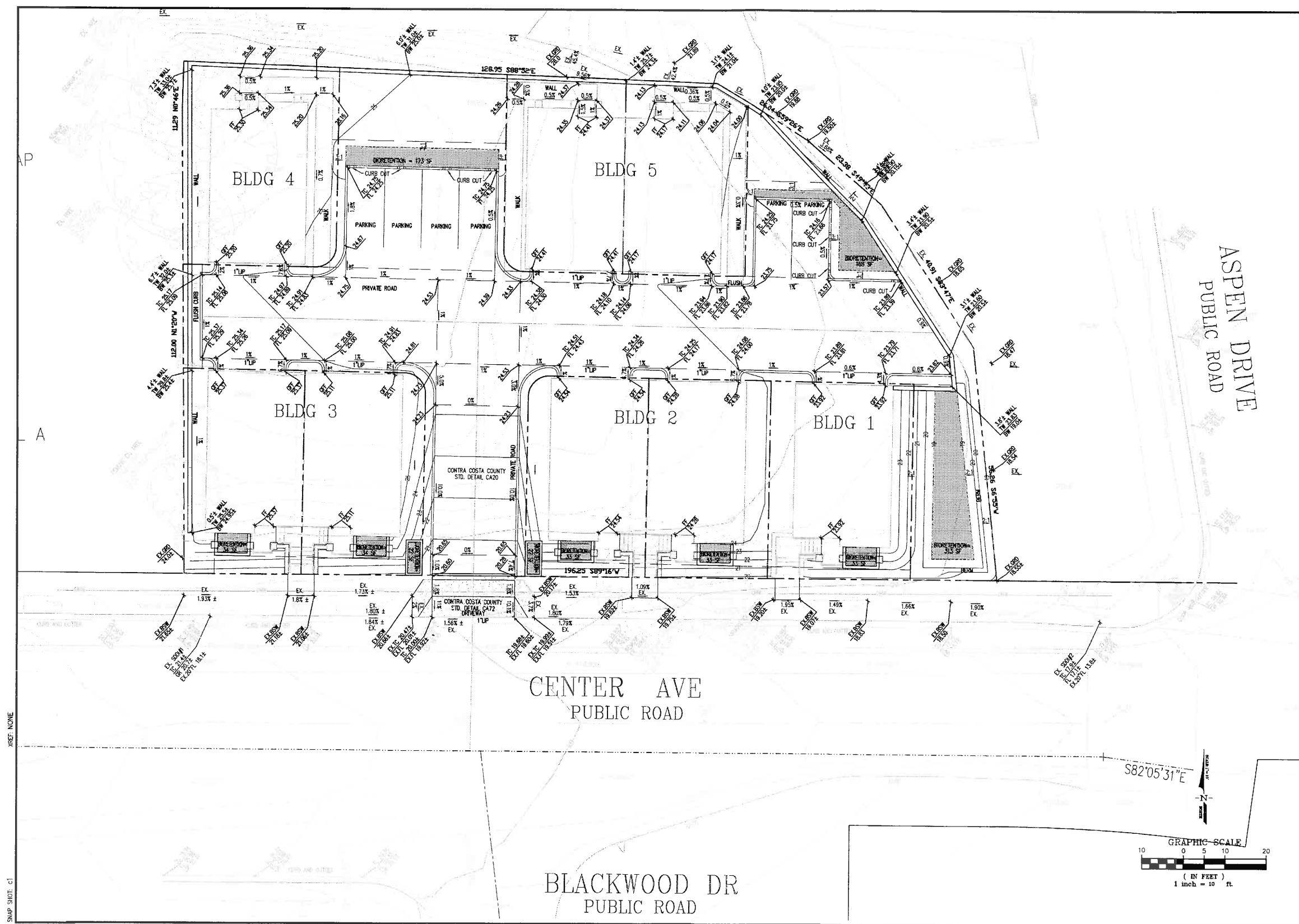
SYMBOLS	DESCRIPTION
—	RIGHT OF WAY LINE
- - -	ADJOINERS PROPERTY LINE
- - -	PROPOSED LOT LINE
- - -	PROPOSED EASEMENT LINE
- - -	PROPOSED EMERGENCY VEHICLE ACCESS AND PRIVATE ACCESS EASEMENT
- - -	PROPOSED EASEMENT FOR STORMWATER TREATMENT

GRAPHIC SCALE

(IN FEET)

1 inch = 10 ft.

REF: NONE
SNAP SHOT: c1



REF: NONE

SNAP SHOT: c1

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Pleasant Hill, CA 94523
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Email: anita@lukassociates.com

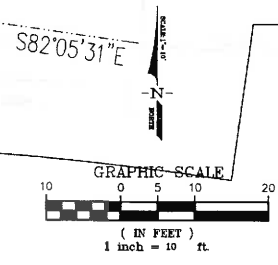


NEW RESIDENTIAL DEVELOPMENT
214 CENTER AVENUE
PACHECO, CALIFORNIA

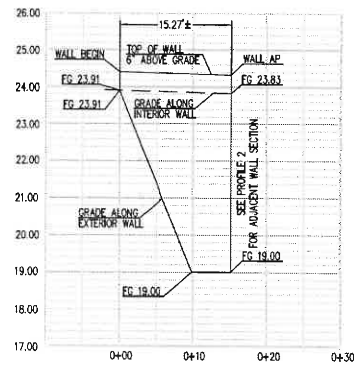
REVISIONS		
NO.	DATE	DESCRIPTION

Title:
**PLOT PLAN
GRADING PLAN**

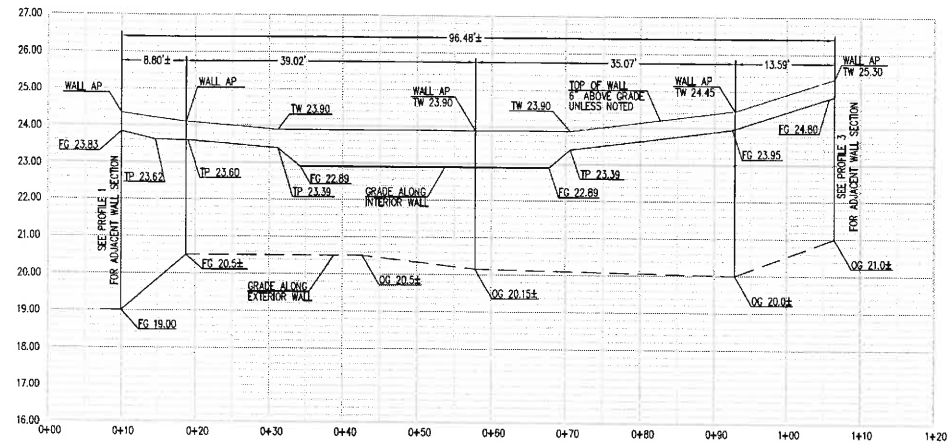
Date: APRIL 2018
Scale: AS SHOWN
Drawn By: D.A.D.
Checked By: S.L.
Job No.: 25022-10
Drawing No.: 25022-10/PLOT PLAN
Plot Date: JUNE 18, 2018
Sheet No.: **3**
Of 7 Sheets



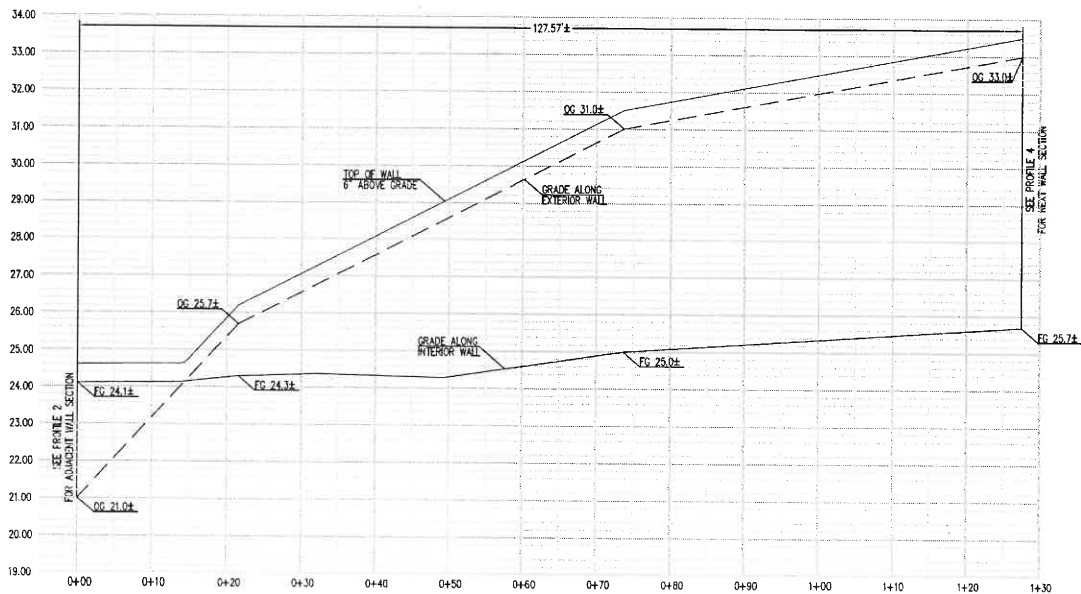
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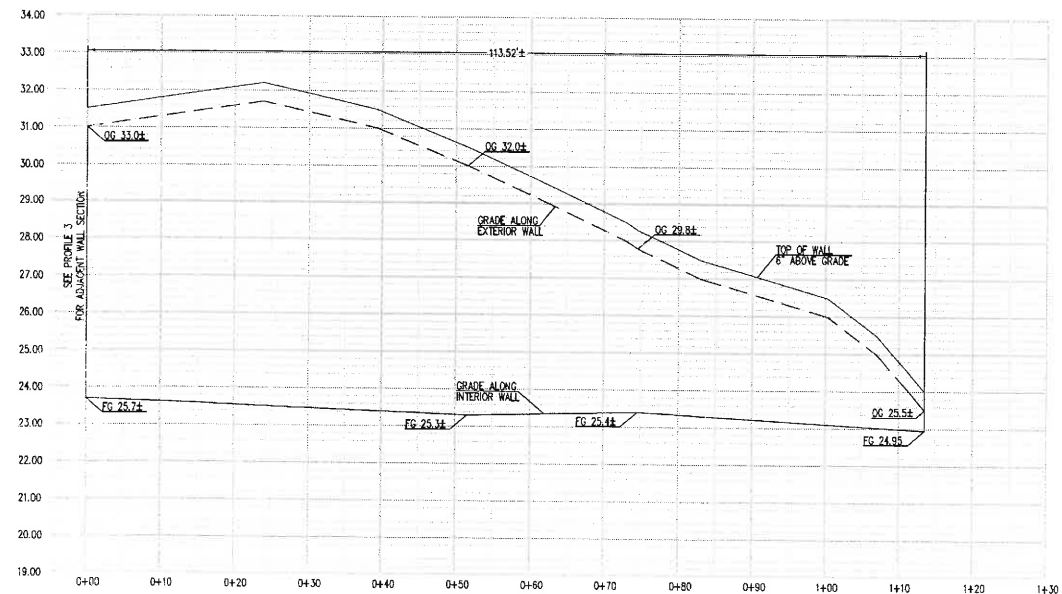
WALL PROFILE 1
HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 2'



WALL PROFILE 2
HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 2'



WALL PROFILE 3
HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 2'



WALL PROFILE 4
HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 2'

GENERAL NOTES:

1. RETAINING WALL MATERIAL SHALL BE CONCRETE MASONRY UNITS (CMU) WITH STONE CLADDING.

Luk and Associates

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Fax (925) 363-5185
Email: anita@lukassociates.com

Seal:



NEW RESIDENTIAL DEVELOPMENT
214 CENTER AVENUE
PACHECO, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		

Title:
**PLOT PLAN
WALL ELEVATIONS**

Date:
APRIL 2018

Scale:
AS SHOWN

Drawn By:
D.A.D.

Checked By:
G.L.

Job No.:
25022-10

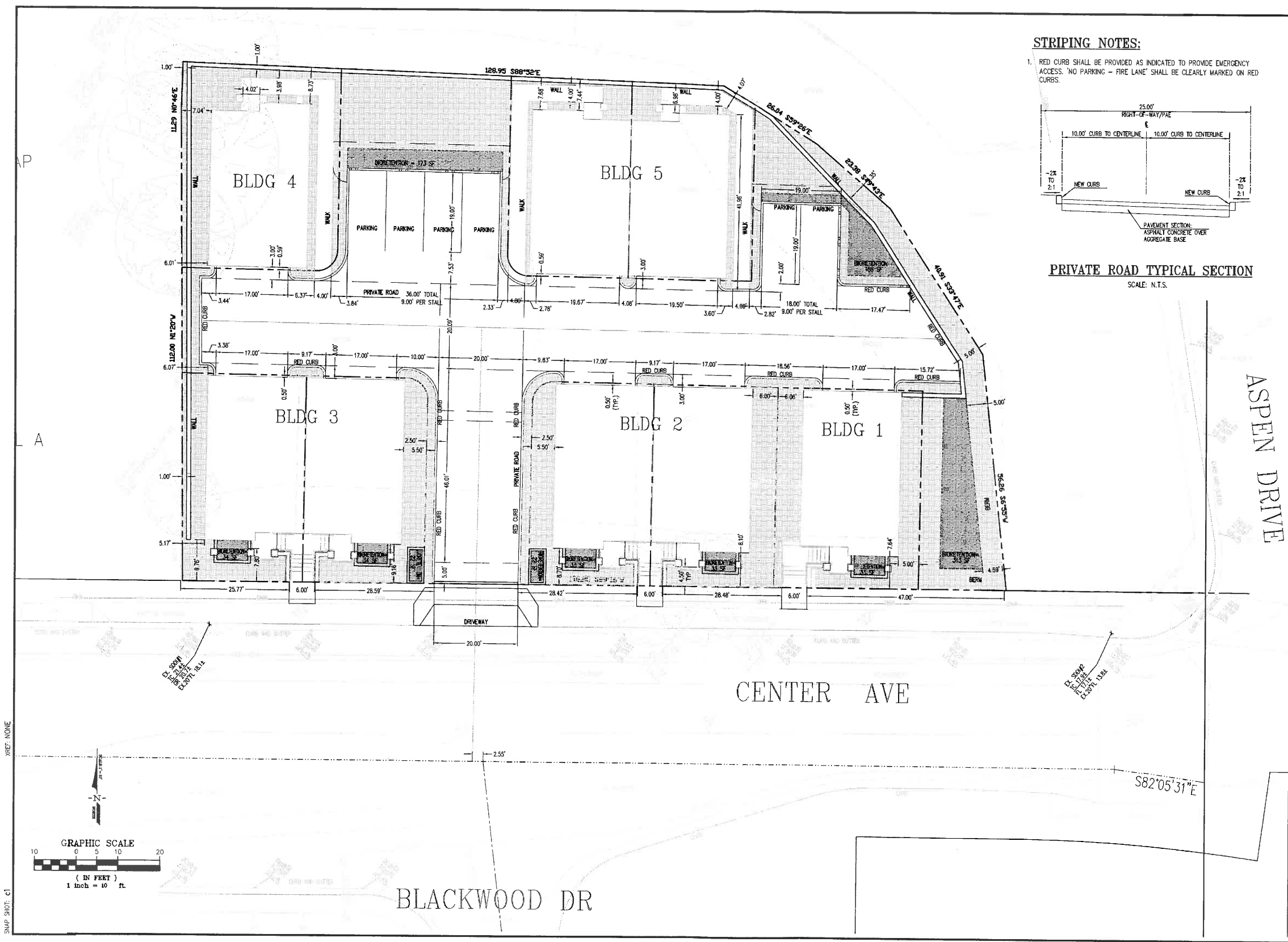
Drawing No.:
25022-10/PLOT PLAN

Plot Date:
JUNE 18, 2018

Sheet No.:

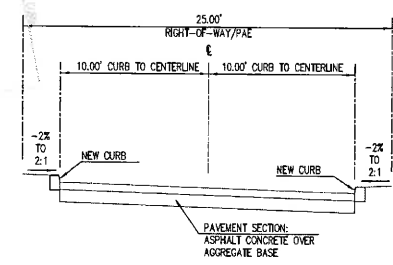
4

Of 7 Sheets



STRIPING NOTES:

1. RED CURB SHALL BE PROVIDED AS INDICATED TO PROVIDE EMERGENCY ACCESS. NO PARKING - FIRE LANE SHALL BE CLEARLY MARKED ON RED CURBS.



PRIVATE ROAD TYPICAL SECTION

SCALE: N.T.S.

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NEW RESIDENTIAL DEVELOPMENT
214 CENTER AVENUE
PACHECO, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
Title:		
PLOT PLAN DIMENSIONAL PLAN		
Date:		
APRIL 2018		
Scale:		
AS SHOWN		
Drawn By:		
D.A.D.		
Checked By:		
G.L.		
Job No.:		
25022-10		
Drawing No.:		
25022-10/PLOT PLAN		
Plot Date:		
JUNE 18, 2018		
Sheet No.:		
6		
Of 7 Sheets		



- This project is regulated by the Municipal Regional Stormwater NPDES Permit, Order No. R2-2015-0049 adopted November 18, 2015. Calculations are based on the Contra Costa Clean Water Program's "Stormwater C3 Guidebook", 7th Edition, May 17, 2017 (guidebook).
- The project total site area (proposed property limits) is 0.496 acres.
- This project proposes to create 16,676 square feet of total new impervious surface (of which 0 square feet is "replaced" existing impervious surface area and 16,676 is new impervious area). The total pre-project impervious surface area is 0 square feet. The total post-project impervious surface area is 16,676 square feet (includes remaining existing impervious surfaces).
- Provision C.3 project requirements include:
 - Entire Site subject to Stormwater Treatment Only.
- Compliance with Flow Control Requirements are met through:
 - Not Required / Treatment Only
- Design Criteria:
 - Mean Annual Precipitation = 16.5" inches per CCOPMD Mean Seasonal Isohyets [Figure B-166]
 - Soil Group D
 - Hydraulic Design Criteria: 0.2 inches per hour rainfall intensity
 - Bioretention Soil Loading Rate: 5 inches per hour
 - Bioretention Soil Mix per Appendix B of the Guidebook
- The Project Site is Delineated into the Drainage Management Areas (DMAs) as shown on this sheet. Data output from the Contra Costa Clean Water Program IMP Sizing Calculator is included on this sheet.

STORM TREATMENT NOTES:

PER CONTRA COSTA COUNTY CLEAN WATER PROGRAM PUBLICATION: "STORMWATER C3 GUIDEBOOK" DATED MAY 17, 2017 (7TH EDITION).

- HYDRO-MODIFICATION & STORM TREATMENT:
 - PER TABLE 1-1 OF THE GUIDEBOOK, THE PROJECT SITE FALLS INTO ROW-4 (CREATES BETWEEN 10,000 SF AND 1-ACRE OF IMPERVIOUS SURFACE AREA FOR THE PROPOSED PRIVATE PROPERTY). THUS THE PROJECT WILL BE REQUIRED TO SUBMIT A STORMWATER CONTROL PLAN AND INCLUDE LID MEASURES CONSISTENT WITH SIZING FACTORS AND CRITERIA FOR "TREATMENT ONLY".
 - AS THE PROJECT PROPOSES LESS THAN 1-ACRE OF IMPERVIOUS SURFACES ON THE SITE, HYDROMODIFICATION (FLOW CONTROL) IS NOT A REQUIREMENT PER THE GUIDEBOOK.
 - THE PROJECT SITE IS DELINEATED INTO THE MANAGEMENT AREAS SHOWN ON THE CHART ON THIS SHEET.
 - FOR GROUP D NATIVE SOIL (CLAYS), THE TREATMENT METHOD IS CHOSEN TO BE BIORETENTION FACILITY.
- A = CONFIGURATION OF AREA
V1 = SURFACE RESERVOIR VOLUME
V2 = SUB-SURFACE RESERVOIR VOLUME
- CRITERIA APPLY TO BIORETENTION FACILITY (FOR TREATMENT AND FLOW CONTROL):
SIZING FACTOR (SF) (BIORETENTION FACILITY) FOR GROUP D SOILS = 0.04 OF IMPERVIOUS AREA
SURFACE RESERVOIR DEPTH = 6 INCHES TYPICAL
SOIL MIX DEPTH = 18 INCHES TYPICAL (5 IN/HR MINIMUM SUSTAINED)
UNDERDRAIN = 4 INCHES PVC PIPE MINIMUM (SOR 35 OR EQUIVALENT)
- FOR SELF-RETAINING AREAS, THE RATIO OF IMPERVIOUS TO PERVIOUS AREA SHALL BE LESS THAN OR EQUAL TO 2:1 (TREATMENT ONLY) OR 1:1 (TREATMENT & FLOW CONTROL). SELF-RETAINING AREAS SHALL CAPTURE AND FLOW CONTROL A 1" PRECIPITATION DEPTH PER COUNTY DESIGN STANDARDS.
 - FOR SELF-TREATING AREAS, THE PERCENTAGE OF IMPERVIOUS AREA MUST BE LESS THAN 5% PER COUNTY DESIGN STANDARDS.

STORM TREATMENT DESIGN (CONTRA COSTA COUNTY)*							
DMA & NAME	TYPE	SIZING	DM AREA (S.F.)	RUNOFF SURFACE	C-FACTOR VALUE	MIN. SIZE (S.F.)	PLANNED SIZE (S.F.)
A1	BIO-RETENTION AREA	4%	426	ROOF	1.0	17	34
				PAVEMENT	1.0		
				LANDSCAPE	0.1		
A2	BIO-RETENTION AREA	4%	421	ROOF	1.0	17	34
				PAVEMENT	1.0		
				LANDSCAPE	0.1		
A3	BIO-RETENTION AREA	4%	424	ROOF	1.0	17	33
				PAVEMENT	1.0		
				LANDSCAPE	0.1		
A4	BIO-RETENTION AREA	4%	419	ROOF	1.0	17	33
				PAVEMENT	1.0		
				LANDSCAPE	0.1		
A5	BIO-RETENTION AREA	4%	416	ROOF	1.0	17	33
				PAVEMENT	1.0		
				LANDSCAPE	0.1		
A6	BIO-RETENTION AREA	4%	1187	ROOF	1.0	169	173
				PAVEMENT	1.0		
				LANDSCAPE	0.1		
A7	BIO-RETENTION AREA	4%	479	ROOF	1.0	145	168
				PAVEMENT	1.0		
				LANDSCAPE	0.1		
A8	BIO-RETENTION AREA	4%	5701	ROOF	1.0	231	313
				PAVEMENT	1.0		
				LANDSCAPE	0.1		
A9	BIO-RETENTION AREA	4%	528	ROOF	1.0	21	22
				PAVEMENT	1.0		
				LANDSCAPE	0.1		
A10	BIO-RETENTION AREA	4%	540	ROOF	1.0	22	22
				PAVEMENT	1.0		
				LANDSCAPE	0.1		
ST1	SELF-TREATING	---	50	HARDSCAPE	1.0	---	---
ST2	SELF-TREATING	---	74	HARDSCAPE	1.0	---	---
			1384	LANDSCAPE	0.1		

Luk and Associates
Civil Engineering
Land Planning
Land Surveying
399 Taylor Boulevard, Suite 288
Pleasant Hill, CA 94523
Phone (925) 363-1981
Fax (925) 363-5185
Email: anita@lukassociates.com



NEW RESIDENTIAL DEVELOPMENT
214 CENTER AVENUE
PACIFIC, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
Title: PLOT PLAN STORMWATER CONTROL PLAN		
Date: APRIL 2018		
Scale: AS SHOWN		
Drawn By: D.A.D.		
Checked By: G.L.		
Job No.: 25022-10		
Drawing No.: 25022-10\ PLOT PLAN		
Plot Date: JUNE 18, 2018		
Sheet No.: 7		
Of 7 Sheets		

Revised landscaping plan

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CONTRA COSTA COUNTY
JUN 20 2018
24" Box
CHINESE PISTACHE
Dept of Conservation & Development

HWA
Landscape Architecture
Site Planning
760 Alameda Drive,
Brentwood, CA 94513
Phone: 925.513.3091
Fax: 925.513.3092



New Residential Development
214 Center Avenue
Pacheco, California

Preliminary Landscape plan

date: 03.16.18
scale: 1"=10'
drawn by: ru
job no: 17.013

revisions:
1) 6.13.18 Revised per County comments
sheet:
L.1
of 2 sheets

Notes

1. All landscape and irrigation shall conform to the standards of the County wide landscape regulations and guidelines and all other Landscape related City and Regional standards.
2. All plant materials have been selected from the following:
 - * WULCOS Project "Water-Use Classification of Landscape Species"
California Department of Water Resources
3. TOTAL LANDSCAPE AREA: 6435sf

Planting Legend

- CANOPY TREE:**
Pistacia chinensis
- SMALL ACCENT TREE:**
Cercis canadensis
Purus c. 'Chanticleer'
- LARGE SHRUB:**
Arbutus unedo
- MEDIUM SHRUB (Selection Options):**
Dietes irridioides
Lavandula spp.
Nandina domestica 'Variety'
Phormium t. 'Bronze Baby'
Pittosporum spp.
Raphiolepis u. 'Minor'
Salvia leucantha
Teucrium fruticans
- SHRUB STANDARD (Selection Options):**
Rosa 'Standard'
Raphiolepis indica
- SUB SHRUB (Selection Options):**
Hemerocallis
Scaevola 'Mauve Clusters'
- GROUND COVER:**
Arctostaphylos e. 'Little Sur'
- Carex divula*

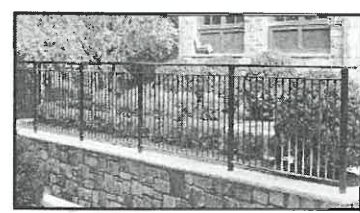
5-Gal
STRAWBERRY TREE

5-Gal
FORTNIGHT LILY
LAVENDER
HEAVENLY BAMBOO
DWARF NEW ZELAND FLAX
PITTOSPORUM
YEDDA HAWTHORN
MEXICAN SAGE
BUSH GERMANDER

15-Gal
ROSE STANDARD
INDIA HAWTHORN

1-Gal
DAY LILY
SCAEVOLA

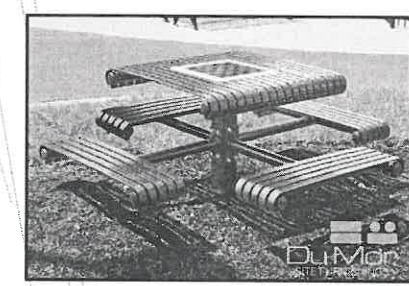
1-Gal or Liners
LITTLE SUR MANZANITA
SEDGE



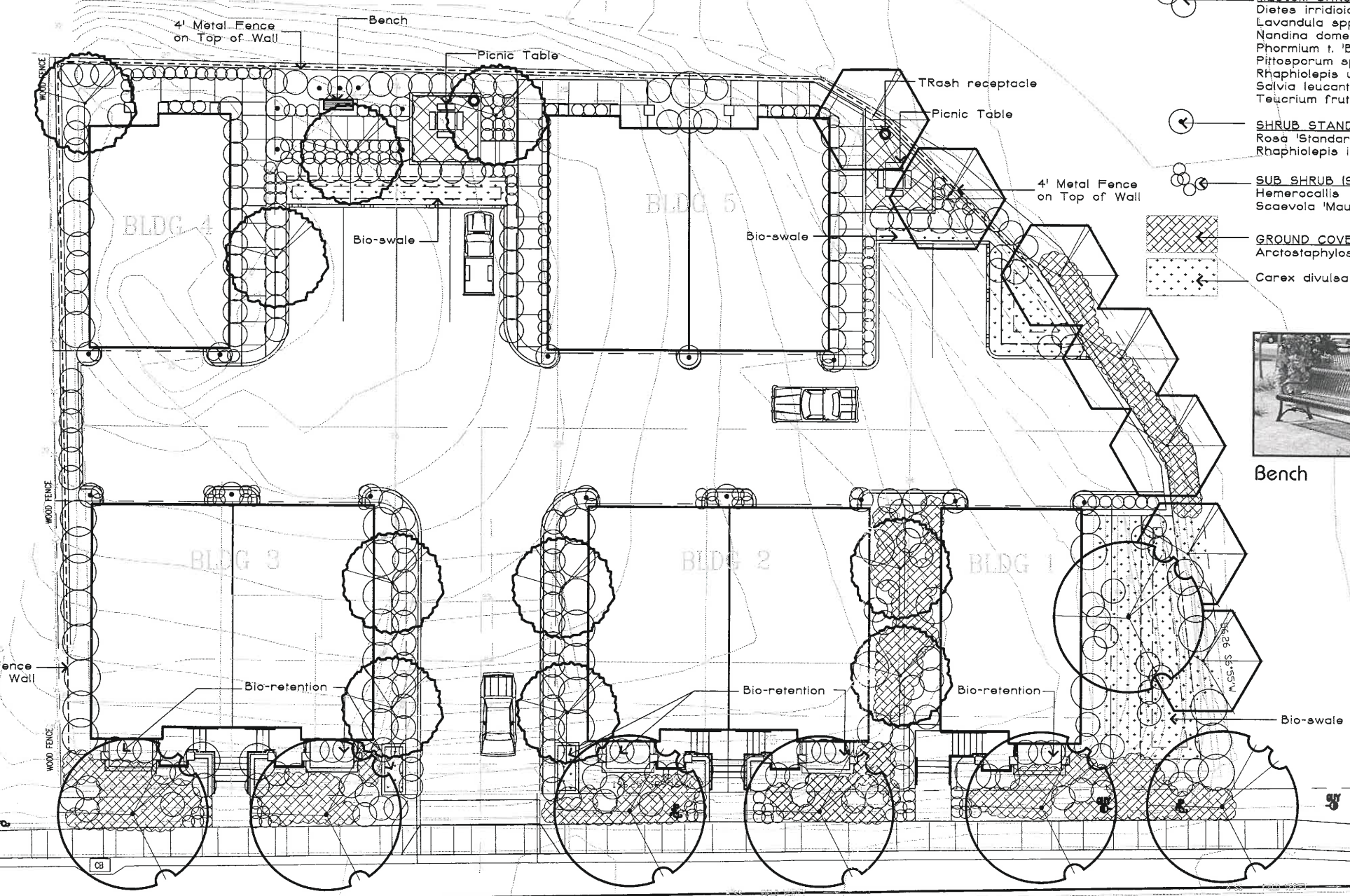
Metal Fence on Wall



Bench



Picnic Table



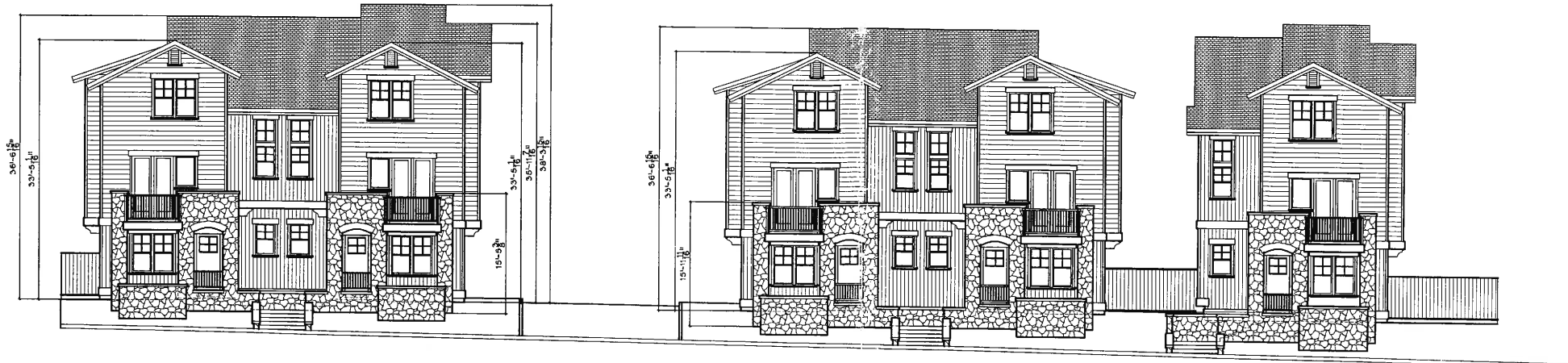
Center Avenue



Revised Sheet A0.1

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JUN 20 2018
Dept of Conservation & Development

R217-3237, SD17-9466,
DP17-3010

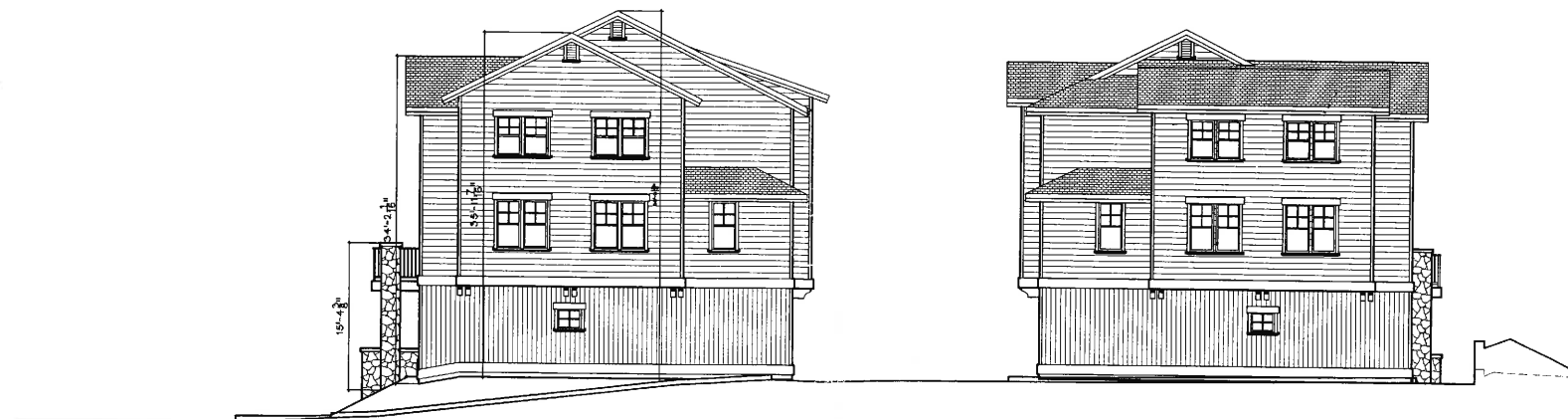


bldg 3

bldg 2

bldg 1

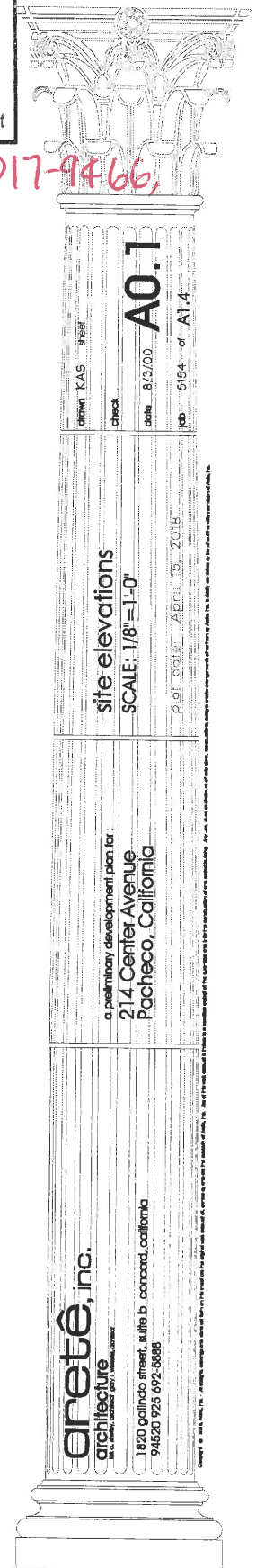
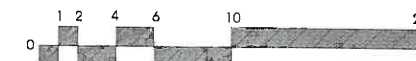
view north from center avenue



bldg 3

bldg 4

view west from private road

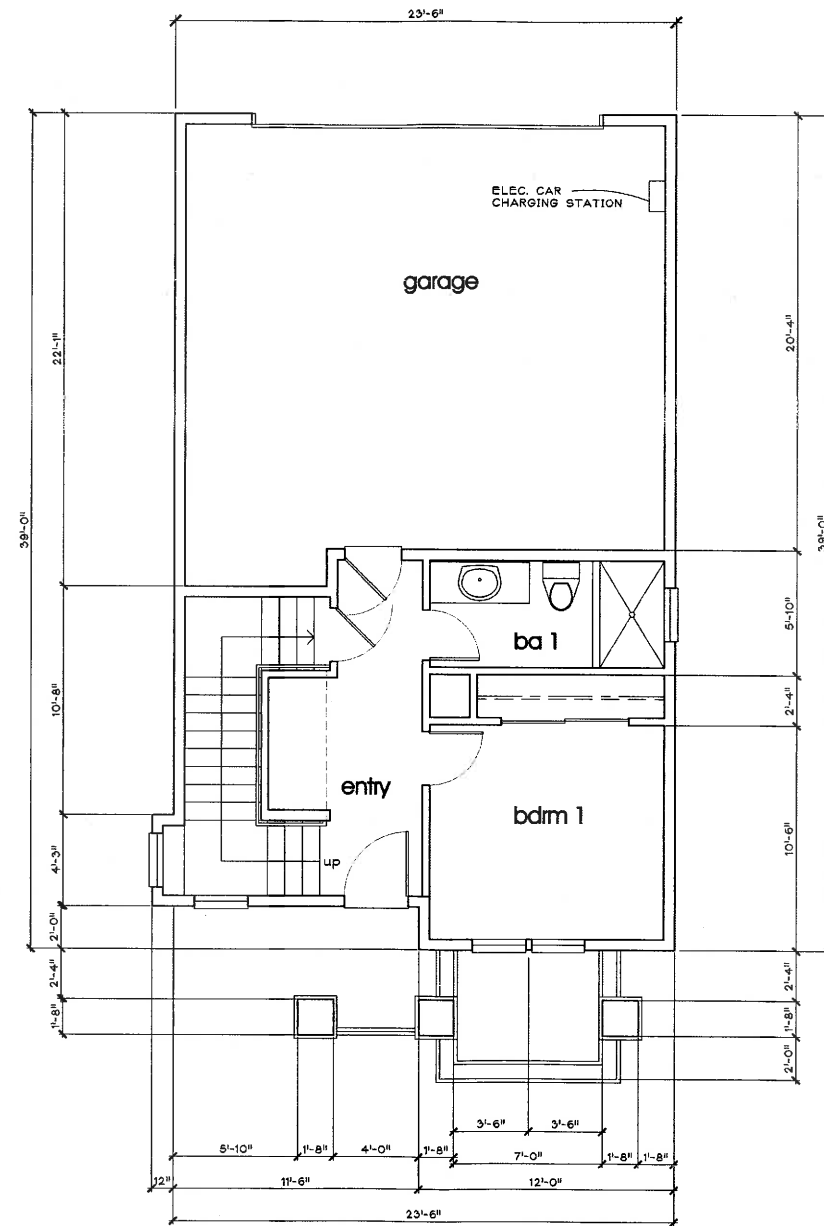


site elevations
SCALE: 1/8"=1'-0"

a preliminary development plan for:
214 Center Avenue
Pacheco, California

areté, inc.
architecture

1820 gallardo street, suite b, concord, california
94520 925 692-8888



architecture
aretê, inc.

a preliminary development plan for :
214 Center Avenue
Pacheco, California

bldgs 1 & 4
ground floor plan
SCALE: 1/4" = 1'-0"

plot date April 15, 2018

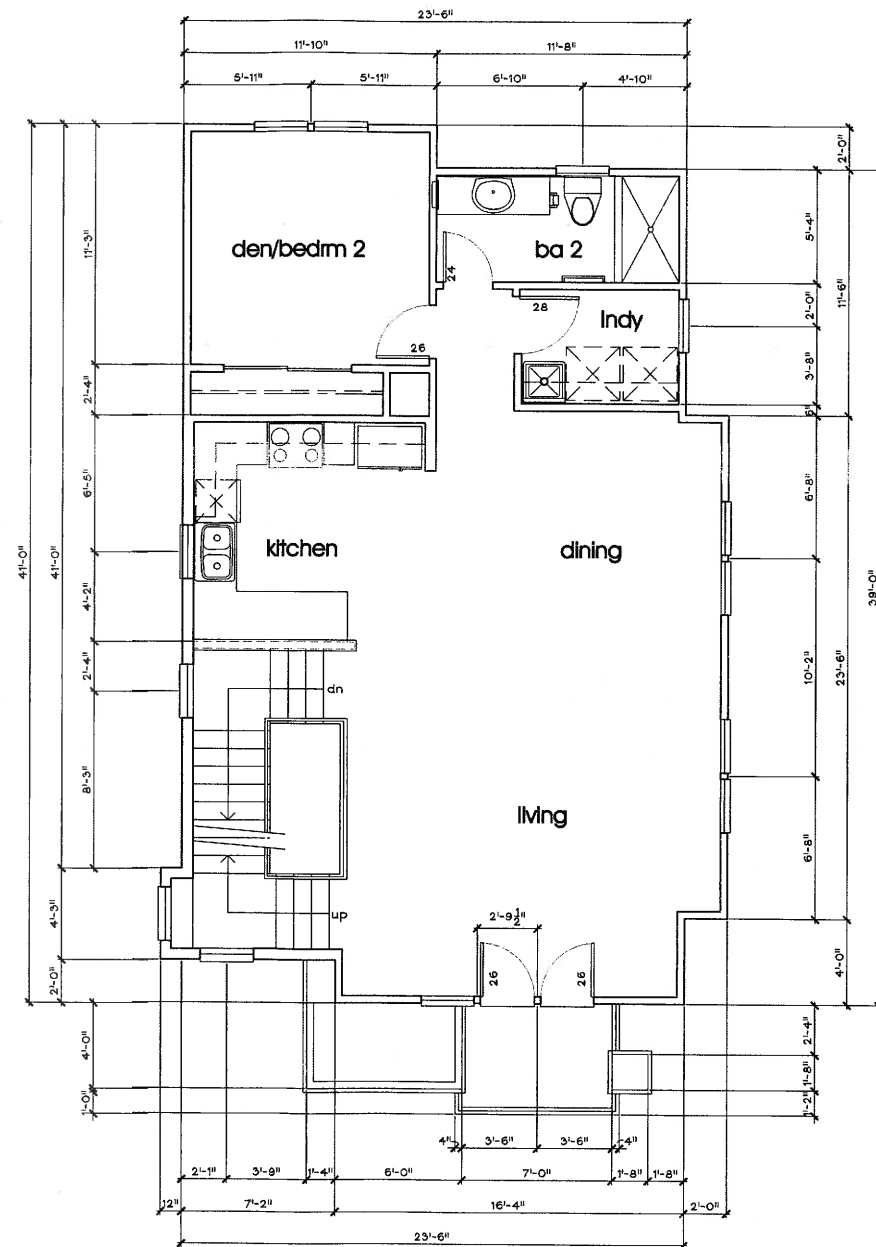
drawn KAS sheet

check

date 8/3/00

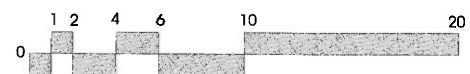
Job 5154 of A1.5

ATI



second floor plan

conditioned space	974 s.f.
deck	39 s.f.



architecture
areté, inc.
We do things, and then say a whole lot about it.

a preliminary development plan for:
214 Center Avenue
Pacheco, California

second floor plan
SCALE: 1/4" = 1'-0"

plot date: April 15, 2018

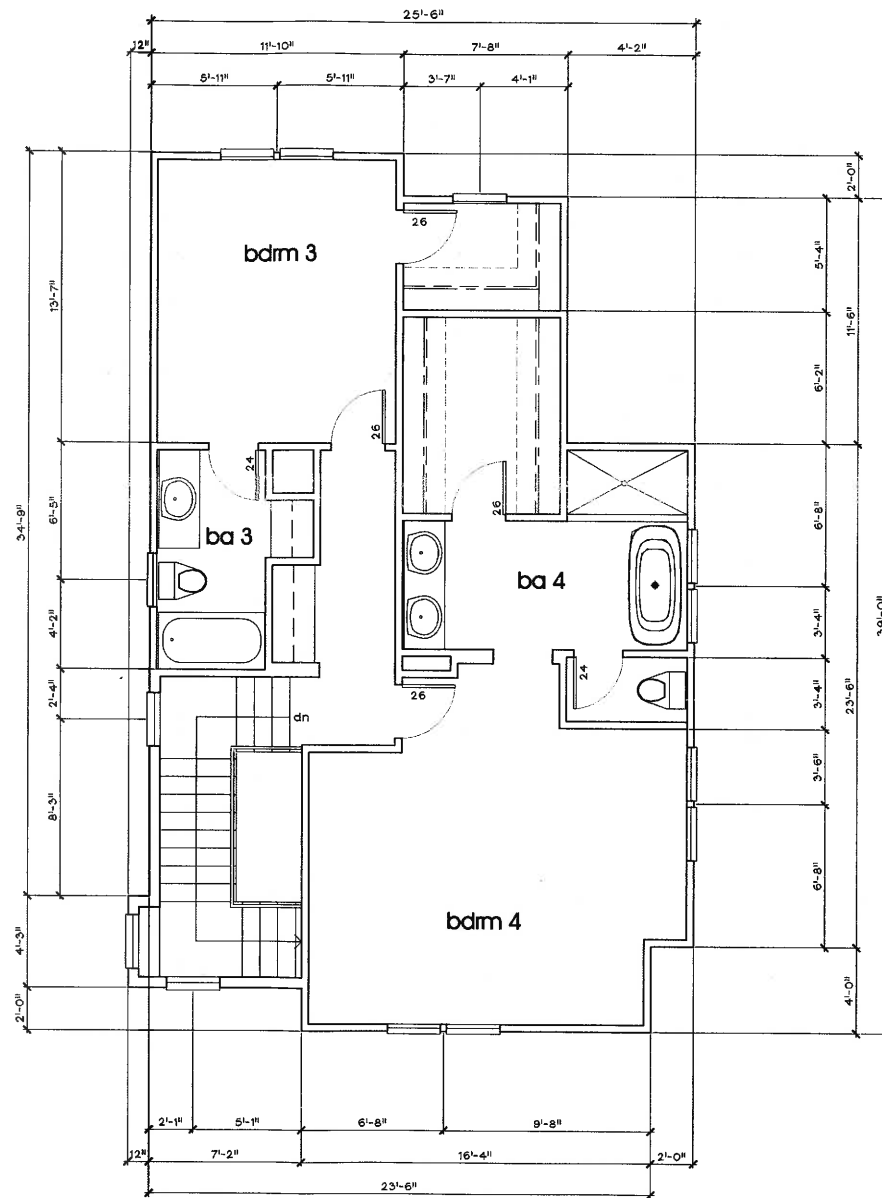
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date 8/3/00

Job 5154 of A1.5

A1.2



architecture
aretê, inc.
let a.m.a. architect.com/writing_center

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94520 925 692-5888

a preliminary development plan for:

**214 Center Avenue
Pacheco, California**

bldgs 1 & 4
third floor plan
SCALE: 1/4" = 1'-0"

blot date: April 15, 2018

drawn KAS sheet

check

date 8/3/00

Job 5154 of A1.5

I hereby certify that the above is a true and correct copy of the original document as it appears in the records of the Department of the Interior, Bureau of Land Management, Washington, D.C. 20240.

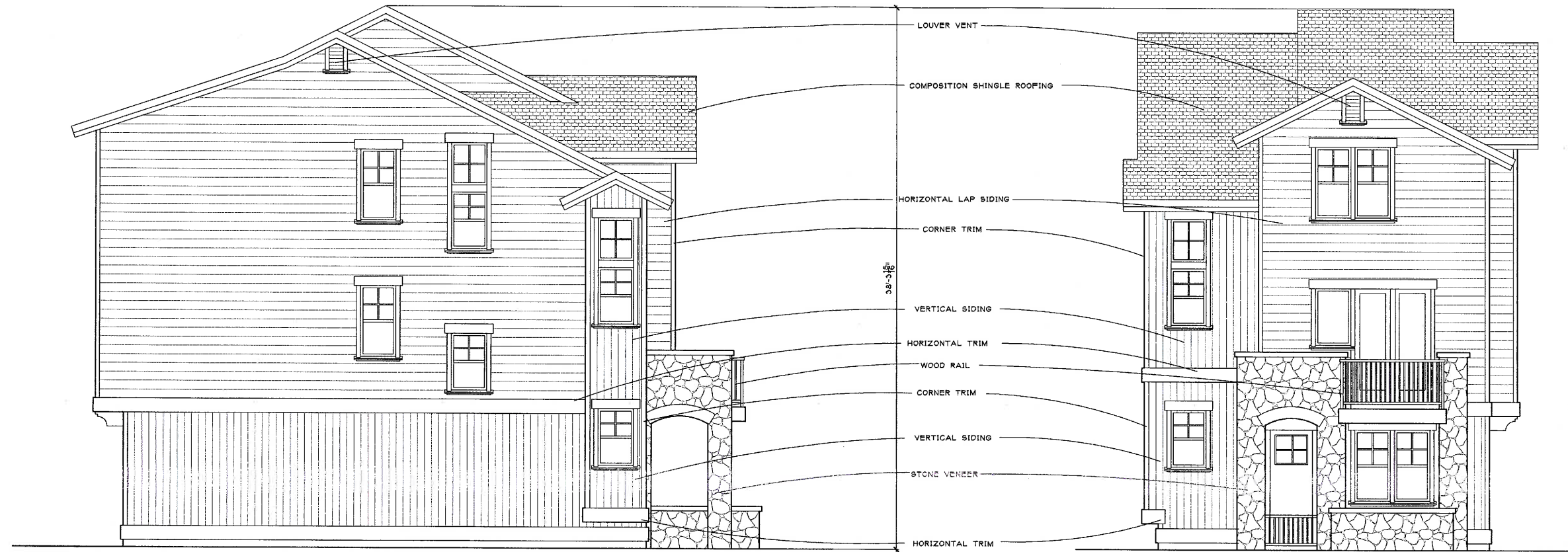
Special Agent in Charge, Bureau of Land Management, Washington, D.C. 20240

Date: _____

Signature: _____

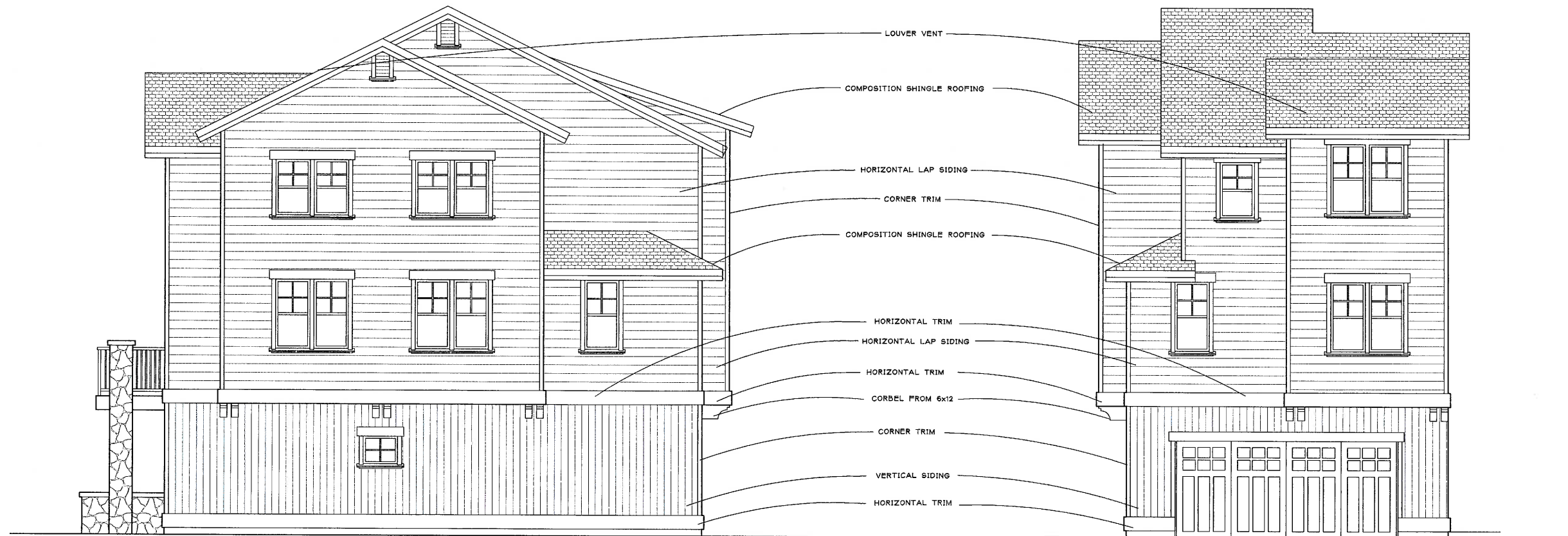
Title: _____

Department of the Interior, Bureau of Land Management, Washington, D.C. 20240



left side elevation (west)

front elevation (south)



right side elevation (east)

rear elevation (north)



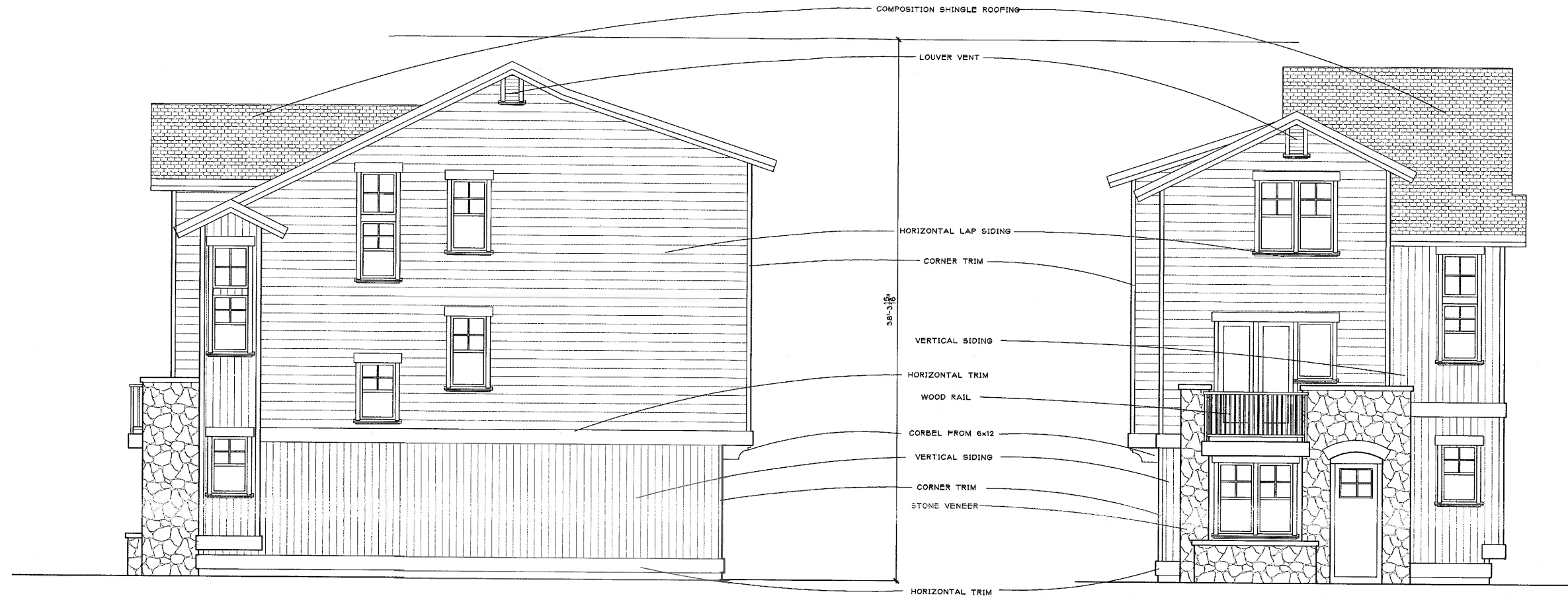
drawn: KAS sheet
 check: A1.4
 date: 8/3/00
 job: 5154 of A1.5

bldg 1
 exterior elevations
 SCALE: 1/4" = 1'-0"
 plot: 6/15/00 April 15, 2018

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 214 Center Avenue
 Pacheco, California

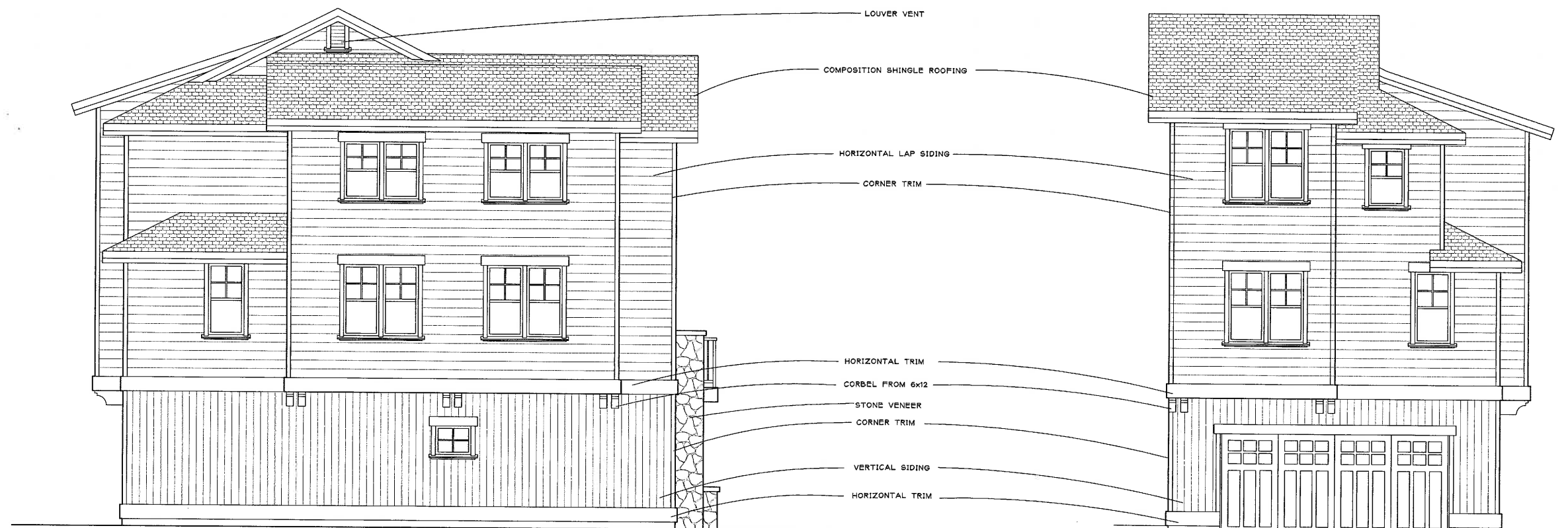
areté, inc.
 1820 Galindo Street, Suite B, Concord, California
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right side elevation (west)

front elevation (north)



left side elevation (east)

rear elevation (south)

down KAS - steel

check

date 8/3/00

job 5154 - of A1.5

A1.5

bldg 4

exterior elevations

SCALE: 1/4"=1'-0"

Plot 9519 - APRIL 15, 2018

a preliminary development plan for:

214 Center Avenue

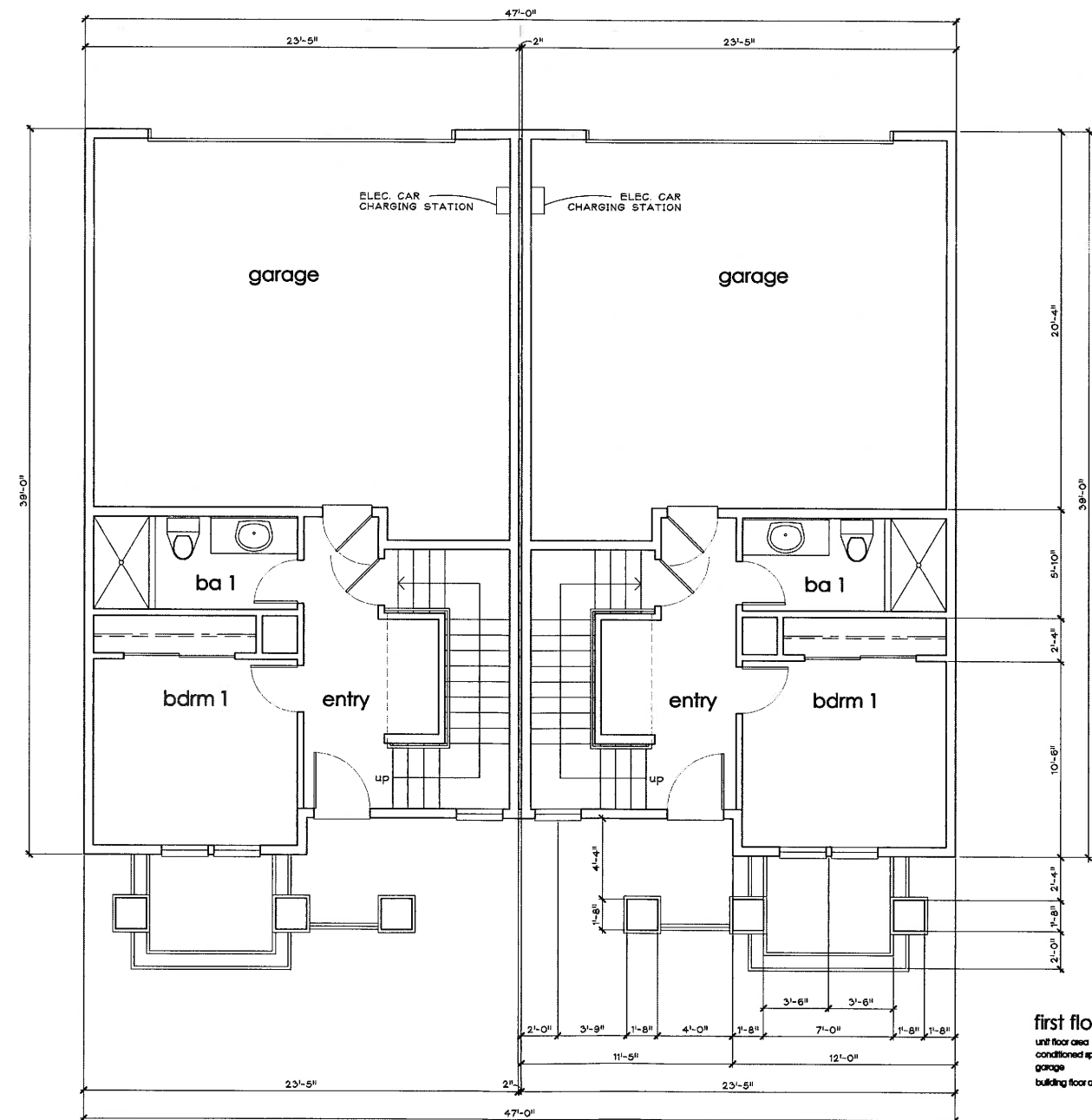
Pacheco, California

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1826 Galindo Street, Suite B - Concord, California

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architecture

a preliminary development plan for:
214 Center Avenue
Pacheco, California

bldgs 2, 3 & 5
ground floor plan
SCALE: 1/4"=1'-0"

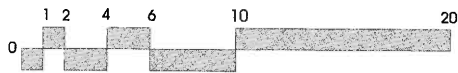
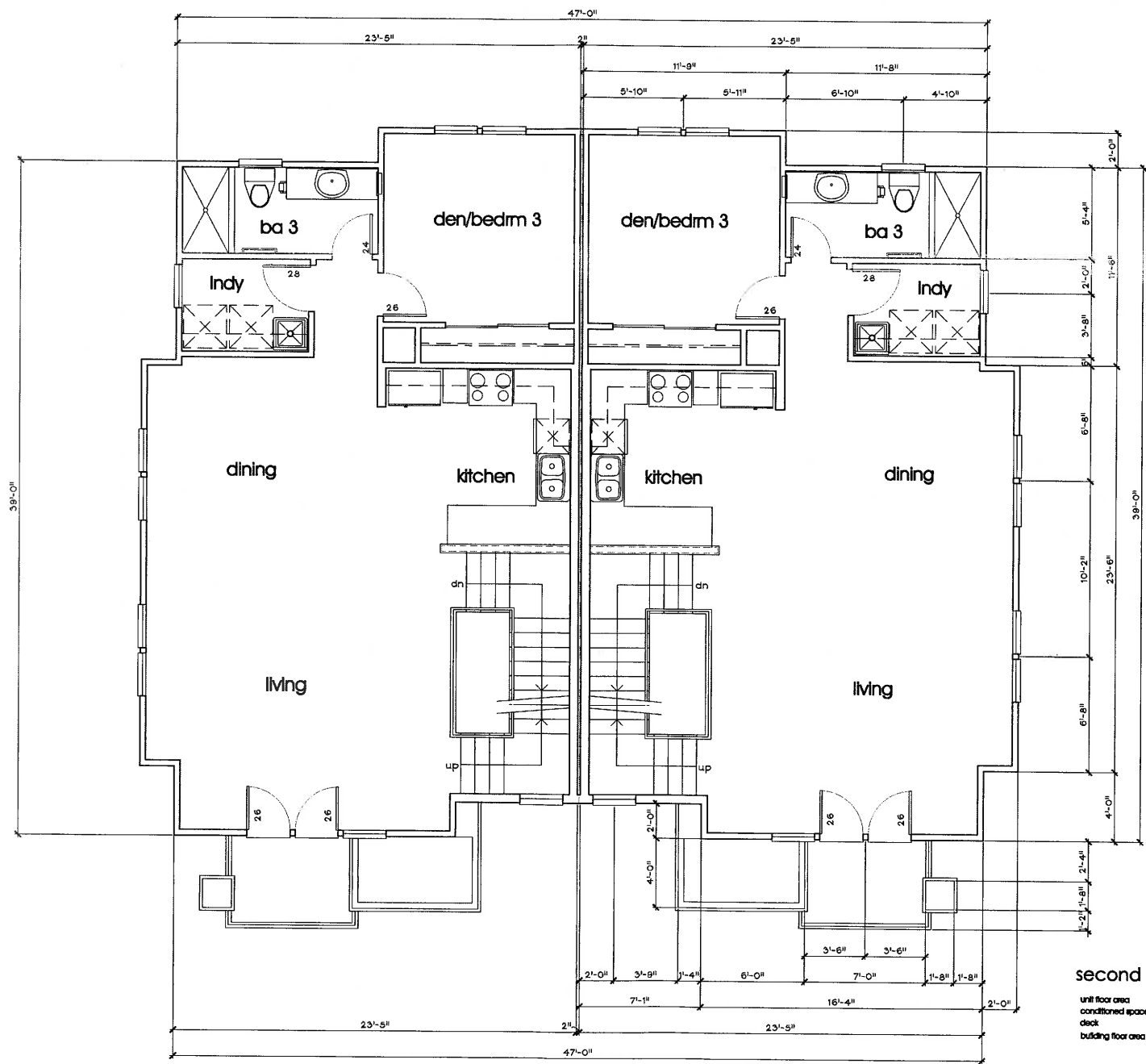
pl of cdf: April 15, 2018

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date 8/3/00

date 8/3/00

Job 5154 of A2.5



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Pacheco, California

bdgs 2, 3 & 5
second floor plan
SCALE: 1/4"=1'-0"

proj. date: April 15, 2018

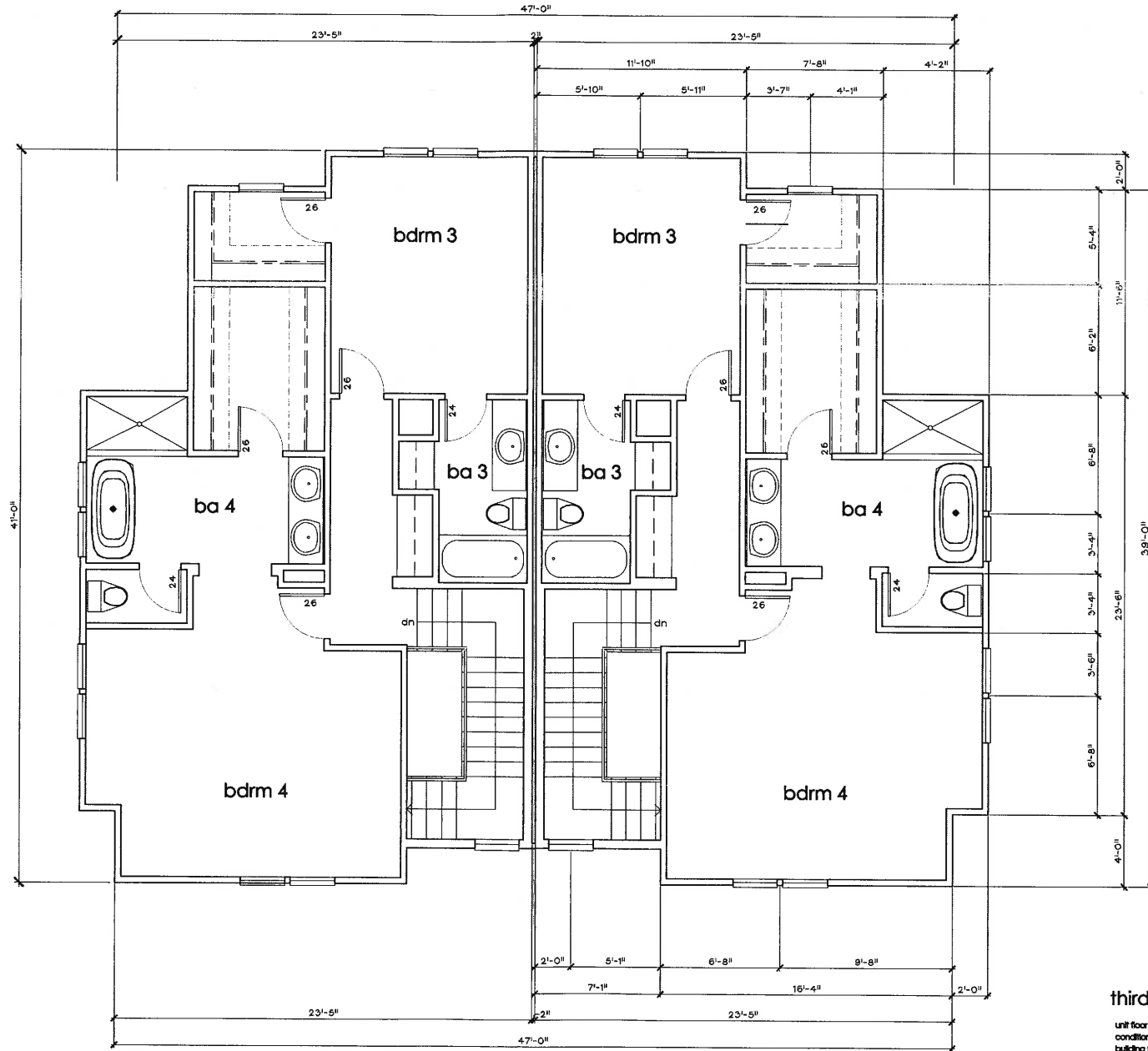
drawn KAS

check

date 8/3/00

job #164 of A2.8

A2.2



third floor plan

unit floor area
conditioned space 823 s.f.
building floor area 1854 s.f.



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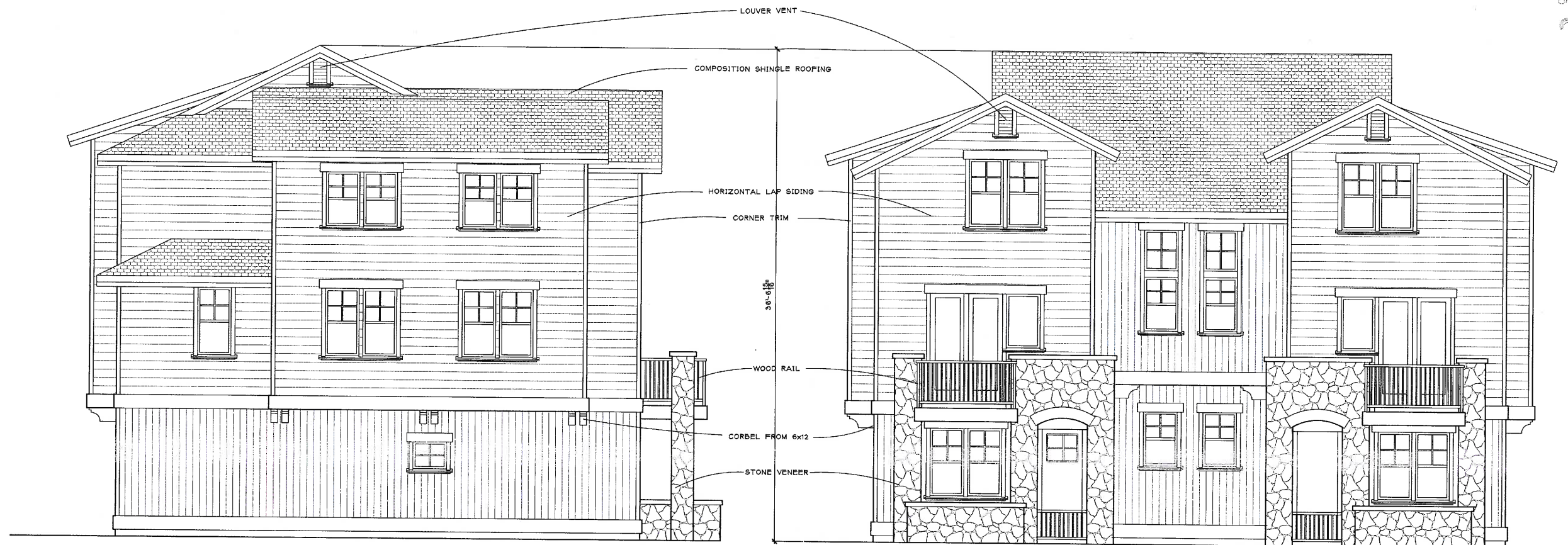
a preliminary development plan for:
214 Center Avenue
Pacheco, California

bdgs 2, 3 & 5
third floor plan
SCALE: 1/4"=1'-0"

plot 013 e April 15, 2018

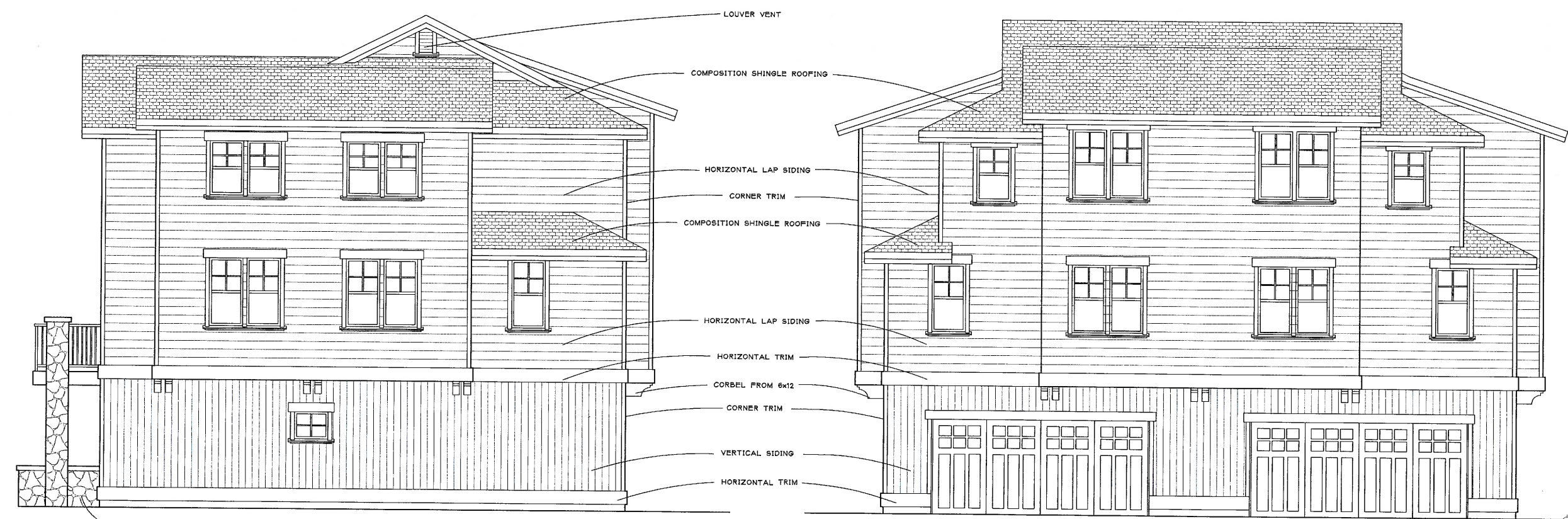
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check		
date	8/3/00	
job	5154	of A2.5

A2.3



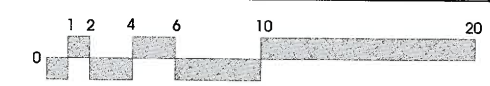
left side elevation

front elevation



right side elevation

rear elevation



drawn K.A.S. sheet

check

date 8/2/00

job #154 of A2.5

bidg. 2 & 5

exterior elevations

SCALE: 1/4" = 1'-0"

plot date April 15, 2018

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214 Center Avenue

Pacheco, California

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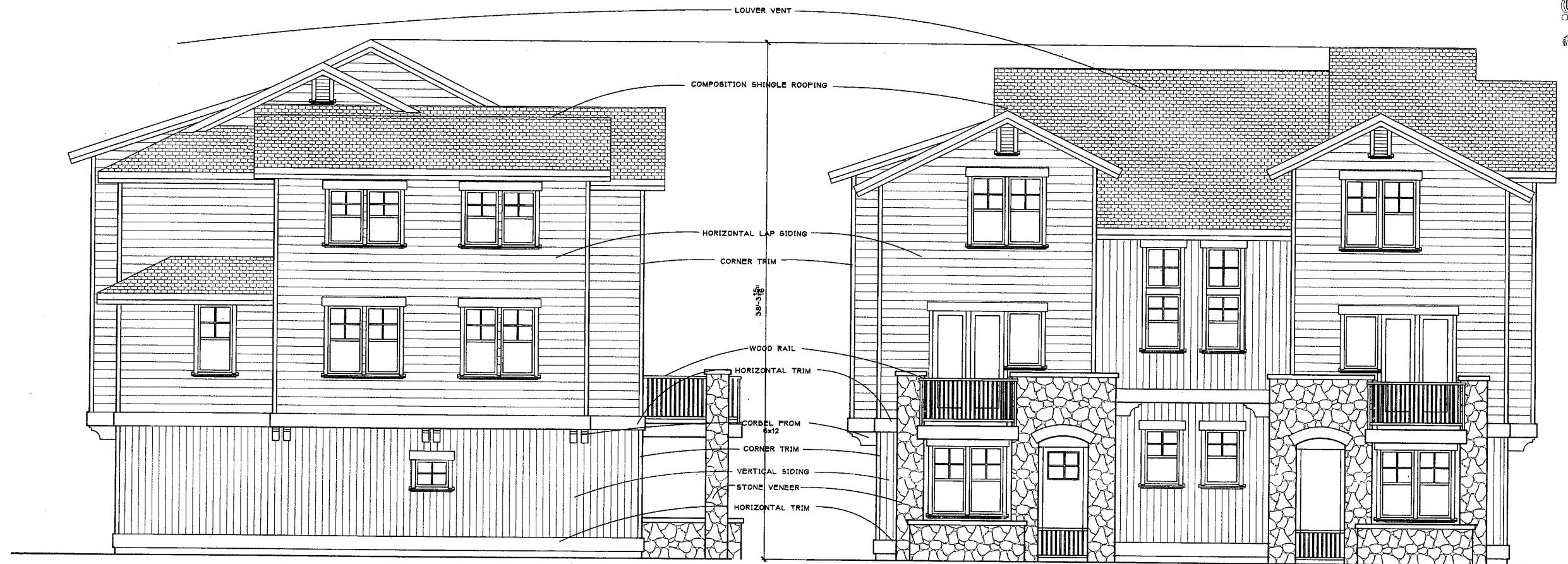
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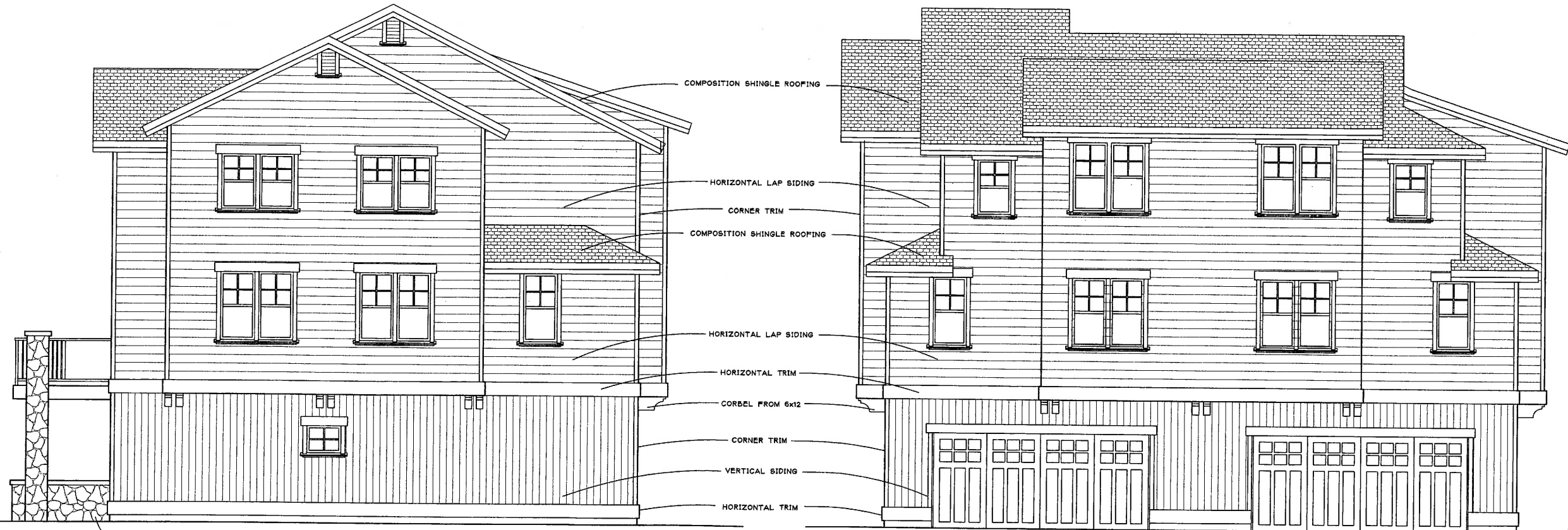
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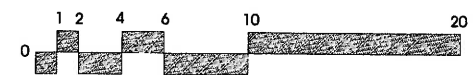
left side elevation

front elevation



right side elevation

rear elevation



bidg 3
 exterior elevations
 SCALE: 1/4" = 1'-0"
 plot date: April 15, 2018
 a residential development plan for:
 214 Center Avenue
 Pacheco, California
 aretè, inc.
 architecture
 1820 galindo street, suite b, concord, california
 94620 925 692-6888
 0 1 2 4 6 10 20
 38'-3 1/2"
 LOUVER VENT
 COMPOSITION SHINGLE ROOFING
 HORIZONTAL LAP SIDING
 CORNER TRIM
 WOOD RAIL
 HORIZONTAL TRIM
 CORBEL FROM 6x12
 CORNER TRIM
 VERTICAL SIDING
 STONE VENEER
 HORIZONTAL TRIM
 COMPOSITION SHINGLE ROOFING
 HORIZONTAL LAP SIDING
 CORNER TRIM
 COMPOSITION SHINGLE ROOFING
 HORIZONTAL LAP SIDING
 HORIZONTAL TRIM
 CORBEL FROM 6x12
 CORNER TRIM
 VERTICAL SIDING
 HORIZONTAL TRIM
 STONE VENEER