

Susan Johnson

From: Susan Modavi <susan.modavi@gmail.com>
Sent: Saturday, March 17, 2018 10:57 PM
To: Susan Johnson
Cc: Jeremy Stone
Subject: Ref: Case CDDDP 17-03046

Follow Up Flag: Follow up
Flag Status: Flagged

March 18
Susan Johnson
Ref: case CDDDP 17-03046

Dear Ms. Johnson,

This letter is in response to the proposed improvements at 7 Highgate Ct by Jeremy Stone; Our home, 5 Highgate Ct, is located slightly below and next door of 7 Highgate Ct.

None of the proposed changes desired by Ms. Stone for her home negatively impact our property. In fact, it is our opinion the proposed modifications are improvements to the house at 7 Highgate -- additions that also enhance the overall state of our cul-de-sac. For these reasons, **we provide our complete support for the project at 7 Highgate Ct.**

As a separate issue from changes at Ms. Stone's house, we would also like to inquire about the steps required for putting the wires underground (similar to requests made by our other neighbors). The number of telecommunication wires being hung to the telephone-poles on Highgate Rd are becoming thicker and heavier, posing a storm and earthquake safety hazard .

Sincerely,
Susan Modavi

Susan Johnson

From: Robert Harrison <kensingtonpoet@yahoo.com>
Sent: Saturday, March 17, 2018 4:30 AM
To: Susan Johnson
Subject: Support Letter for Jeremy Stone at 7 Highgate Court, Kensington

March 17, 2018 Dear Ms. Johnson,

We are writing to inform you that Ms. Jeremy Stone's proposed construction and repair project at her new home at 7 Highgate Court has our complete backing and support. In our opinion, it is both laudable and exemplary that she takes it on in such an appropriate and timely manner. Clearly, any upgrade to any home in our unique neighborhood can only be a benefit to us all, and we heartily approve of the project and look forward to its successful completion.

Sincerely,
Robert and Stephanie Harrison
16 Highgate Court
Kensington

Sent from my iPad

March 15, 2018

Via Email: Susan.johnson@dcd.cccounty.us

Susan Johnson
Planner 1
Contra Costa County Department of Conservation and Development

**Re: 7 Highgate Court, Kensington
County File Case #CDDP17-03046**

Dear Ms. Johnson:

I am writing to express my support for the application by Ms. Jeremy Stone for remodeling and upgrading of her property at 7 Highgate Court. My house is at 23 Highgate Court. Based on my familiarity with this property and a careful review of the proposed plans, I have concluded that this building improvement is necessary; its scale and scope is consistent with the neighborhood character; and it does not adversely impact the vistas that all neighbors value and cherish. Furthermore, I appreciated Ms. Stone's great efforts to contact the neighbors, explaining her project and modifying her plans to accommodate their views.

During the past 22 years of my residence at Highgate Court, I have known many of its current and past residents, including the previous owners of 7 Highgate Court, the late Dr. Peter Stryker and his family. For years, it was a neighborhood tradition to gather at the Strykers' house for the 4th of July celebration. During our visits, Dr. Stryker occasionally talked about his house and, since he knew that I was a structural engineer, he consulted me about its structural issues; particularly, the prominent clerestory windows that were incorporated in almost all exterior walls. They made the house appear very bright and open. However, they effectively severed the roof connection to the seismic-resisting walls making it vulnerable to earthquake damage. In my opinion, Ms. Stone's proposed modifications, including voluntary seismic strengthening and energy upgrades are necessary for protecting life-safety and making the building comply with the current standards.

In closing I believe that the proposed improvements are necessary and would benefit the neighborhood. I request that you give a favorable consideration to this application.

Best regards,



Vahid Sattary, SE
23 Highgate Court
Kensington, CA 94707
Cell: (415) 342-2389

Susan Johnson

From: Pamela Drake <pmdrake19@gmail.com>
Sent: Monday, March 12, 2018 4:42 PM
To: Susan Johnson
Cc: Jeremy Stone
Subject: RE: COUNTY FILE@ DP17-3046

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Ms. Johnson,

I am very familiar with Jeremy Stone's home at 17 Highgate Court; and well aware of the needed upgrades and improvements.

I am in favor of any neighbor who wants to improve their home on this court because it benefit us all, and in her case, is necessary.

I wanted to buy the house but the needed upgrades were too overwhelming. There were no improvements nor upgrades after it was built in the 50/60s. I support Ms. Stone's efforts to make it livable.

The proposed plans will not impact my view, nor anyone past #9 ~ trees took over long ago ~ and I am happy to hear she wants to maintain the mid-century style. I grew up in a mid-century in Los Angeles and am very partial to that style. Most new owners tear it down and start over with a 2 level Mac-Mansion. Thank goodness she is not doing that.

Additionally, and apart from my approval for improvements at #17, I would like to ask you what we can do to underground our wires on this court. I have heard the payments can be spread over many years so that it is not a lump sum. The wires are unsightly, ugly and negatively affect the value of our homes! I appreciate your referring this inquiry to the appropriate department.

Sincerely,

Pamela Drake
19 Highgate Court

Susan Johnson

From: Christine Ford <frccford@gmail.com>
Sent: Monday, March 12, 2018 3:03 PM
To: Susan Johnson
Subject: Jeremy Stone re-model at 7 Highgate Ct., Kensington

Follow Up Flag: Follow up
Flag Status: Flagged

On a recent afternoon, Jeremy walked a group of neighbors through her house & her plans for a re-model. She was very well-informed about the technical aspects of the work that needed to be done & knowledgeable about how to do it. She was very thorough about going through all the aesthetic, architectural, & practical details involved in the work. She had obviously given a great deal of thought to the whole process.

We were all reassured that she was not going to change the look & style of this handsome house; & that only, in the very most minimal way, would there be any impact of the roof plan on the views of a neighboring house.

I give this project my whole-hearted approval. I think the neighborhood will be enhanced by it.

Christine C. Ford
28 Highgate Ct.
Kensington

Contra Costa County Planning Department
Martinez California

March 8, 2018

Attention: Ms. Susan Johnson
Ref.: Case# CDDP17-030

Subject: Support of Mrs. Jeremy Stone's request to make improvements of her property located at 7 Highgate Court, Kensington, California.

For 47 years we have been living at Highgate Court 12 across from 7 Highgate Court. During this time we enjoyed a close friendship with Strykers family the previous occupants of the house. We frequently visited them and therefore we are very familiar with the property.

The house at 7 Highgate Court was built over 60 years ago. It had a single owner Dr. Peter Strykers until the summer of 2016. He made no significant improvements on the house since it was built. Obviously building codes significantly changed since the house was built in the 1960s. So it seems very timely that Mrs. Stone wishes to upgrade the house to comply with current building codes such as improving the roof insulation, energy efficiency, seismic reinforcement and the electric system. She has both safety and aesthetic reasons for doing it. In my opinion these upgrades to current codes should be encouraged rather than prevented.


Part of the opposition to upgrading is against placing an 18" high skylight over the roof, because it would restrict the view of Mr. Triguero's house. To comply with the objection Mrs. Stone already conceded to reduce the originally planned 36 inch high skyline to 18 inch heights.

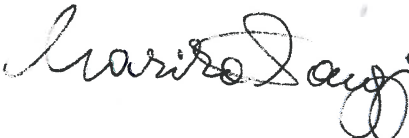
Controversy about obstructing views is a frequent issue in our neighborhood. Usually objections related to keeping unobstructed views toward San Francisco Bay and the Golden Gate Bridge. The issue is usually the growing large trees and in my memory we could resolve such issues amicably in Highgate Court. But I never heard any complaints regarding a small 4 inch additional roof insulation and rooftop skylight would significantly obstruct anybody's view. Moreover, the proposed skylight would be located to N-NW from Mr. Triguero's house; therefore it would not obstruct his view toward the San Francisco Bay and Golden Gate Bridge.

We are familiar with the proposed roof plan and skylight of Mrs. Stone's house and it will not have any adverse impact on our view; therefore we have no objection to this construction.

In brief, we recommend approval of Mrs. Jeremy Stone's roof improvement proposal.

Respectfully Submitted


Laszlo and Marika Somogyi



Susan Johnson

From: Jim Haber <jhaber39@yahoo.com>
Sent: Wednesday, March 07, 2018 8:13 AM
To: Susan Johnson
Subject: #CDDP17-03046

Ms. Johnson:

I am sending this email to inform you that I have no objection to Jeremy Stone's application to make modifications to her home on 7 Highgate Court in Kensington. Our family has owned the home at 86 Norwood Ave for 64 years. From the back of our house, facing west, we have a clear view of 7 Highgate Court, and are in view of exterior modifications. Ms. Stone has taken care to make sensible and thoughtful plans that do not negatively impact our view or disturb us. Thanks.

Jim Haber

Sent from my iPad

**MIM CARLSON & ROBERT TREPPA
9 HIGHGATE COURT
KENSINGTON, CA 94707**

March 6, 2018

Susan Johnson
Planner 1
Contra Costa County Planning Department

REF: Case #CDDP17-03046

Dear Ms. Johnson:

We are writing to support Jeremy Stone's proposed improvements to her home at 7 Highgate Court. Our home is directly north and slightly uphill from Jeremy's and our view includes the roof area where she proposes new skylights. We are fortunate to have a panoramic bay view that includes San Francisco and 3 bridges.

We have carefully reviewed the revised roof plans for 7 Highgate Court, and it is our opinion that her improvements will have a very minimal impact on our view and will not detract from it at all. The plans do not appear to increase the size, volume, footprint or height of the home and will only enhance the beauty of it and our neighborhood.

Jeremy's efforts to make improvements to her home without changing the look or style of it are to be applauded. We greatly appreciate her interest in maintaining the beauty of 7 Highgate Court, and also her desire to make very necessary improvements.

We encourage you to approve Jeremy's revised roof plans. Thank you.

Best regards,

A handwritten signature in blue ink that reads "Mim Carlson". The signature is fluid and cursive, with the first name "Mim" and last name "Carlson" clearly legible.

Mim Carlson
Robert Treppa
9 Highgate Court
510-409-8446
mimcarlson@comcast.net

Andreas Kuehlmann
Angela Hasty-Kuehlmann
25 Highgate Court
Kensington, CA 94707
Phone: 510-526-5567

November 26, 2017

To the Kensington Design Review Board:

This letter is in support of the application of Ms. Jeremy Stone to approve the construction project to repair and upgrade her property at 7 Highgate Court which she purchased recently.

We moved to 25 Highgate Court in 2009, attracted by the beautiful views and quiet environment. We especially cherish the peaceful and supportive neighborhood and the strong support we provide to each other. We knew the previous owners of 7 Highgate Court, Gondica and Peter Strykers, individually and through multiple neighborhood gatherings. They owned a beautiful house, but it had visibly deteriorated over the past years. It requires a significant amount of work for repair and upgrade, not only to preserve the value of the property, but also the value of the entire neighborhood. Jeremy Stone purchased the house with the full understanding of the needed repairs and upgrades and is strongly committed to make the necessary investments.

Many of us in the Kensington hills are fortunate to enjoy a magnificent view and in most cases, have actually purchased our houses for that reason. Therefore, obstruction of views is a highly sensitive topic that requires all of us to work together and find the right compromises. It is our understanding that Jeremy Stone made multiple modifications to her plan to accommodate the wishes of her neighbors and we hope that it settles all disputes to approve the project.

Sincerely,

Handwritten signatures of Andreas Kuehlmann and Angela Hasty-Kuehlmann. The signature of Andreas Kuehlmann is on the left, and the signature of Angela Hasty-Kuehlmann is on the right, followed by a horizontal line.

Andreas Kuehlmann and Angela Hasty-Kuehlmann