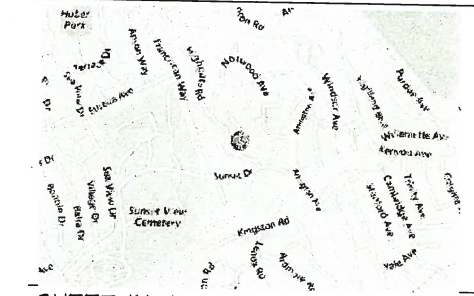




RESIDENCE REMODEL
 7 HIGHGATE COURT - KESINGTON, CA
 APN: 572-18-017016

LOCATION MAP



SHEET INDEX

- ARCHITECTURAL:**
 A0.1 PLOT PLAN & PROJECT DATA
 A0.2 SITE AND DRIVEWAY ENLARGED PLAN
 A1.1 EXISTING / DEMO PLAN
 A1.2 EXISTING / DEMO PLAN
 A2.1 REMODELED FLOOR PLAN
 A2.2 REMODELED FLOOR PLAN
 A2.3 REMODELED ROOF PLAN
 A3.1 EXISTING ELEVATIONS
 A3.2 EXISTING ELEVATIONS
 A3.3 REMODELED ELEVATIONS
 A3.4 REMODELED ELEVATIONS

PROJECT SCOPE OF WORK

1ST FLOOR: MINOR BATHROOM UPDATES AND FINISHES, NEW CLOSETS IN BEDROOMS, UPGRADE HYDRONIC HEATER, REPLACE DECKING AND GUARDRAIL, NEW LIGHTING, SMOKE DETECTORS AND RECEPTACLE CODE UPGRADE.

2ND FLOOR: REMODEL KITCHEN AND MASTER BATHROOM, NEW LAUNDRY ROOM, MINOR WALL REMOVAL, REMOVE (E) POPOUT AT KITCHEN, REPAIR DECKING AND GUARDRAIL, NEW LIGHTING, SMOKE DETECTORS AND RECEPTACLE CODE UPGRADE.

ROOF: NEW ROOF AND INSULATION, NEW SKYLIGHTS AND KITCHEN EXHAUST FAN.

EXTERIOR: REPLACE EXISTING GLAZING AND SLIDING DOORS AND ADD NEW OPERABLE WINDOWS, NEW WALL INSULATION, REPAIR AND REBUILT DECK ON GRADE AT HOT TUB AREA.

VOLUNTARY STRUCTURAL SEISMIC UPGRADE

PROJECT INFORMATION

APPLICABLE CODES: 2016 CALIFORNIA RESIDENTIAL CODE

OCCUPANCY GROUP: (E) AND (N) R3

CONSTRUCTION TYPE: (E) AND (N) V-B

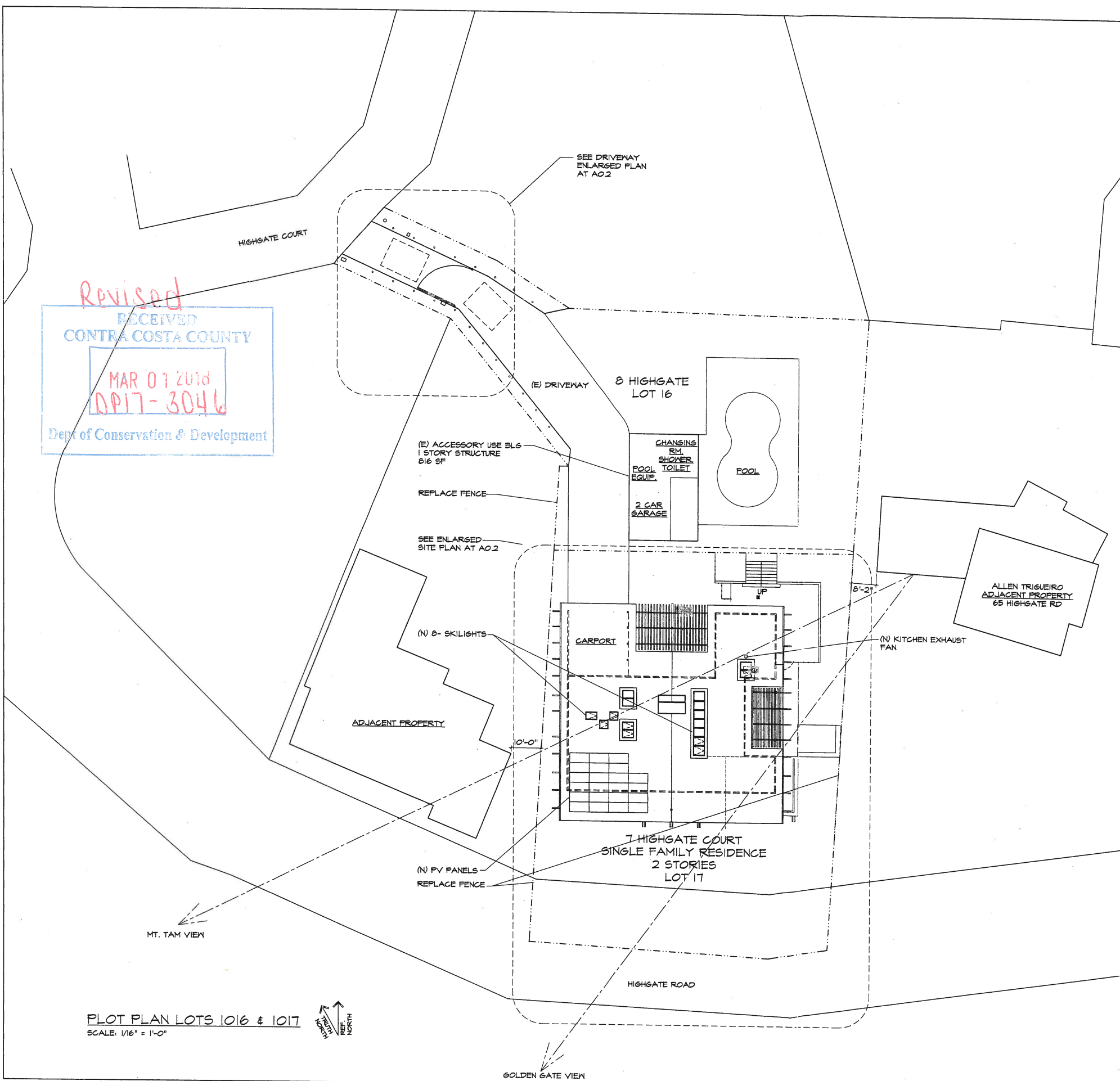
STORIES: (E) AND (N) 2 STORIES

AREA TABLE (SF)				
PARCEL AREA: 10,215 (LOT 16) + 11,203 (LOT 17) = 21,418 SF				
	EXISTING	NEW	PROPOSED	
LOT 16 ACCESSORY USE	816	---	816	
LOT 17 SINGLE FAMILY RESIDENCE	FIRST FLOOR	1212	1212	
	SECOND FLOOR	2851	-8	2843
	TOTAL	4063	-8	4055
	COVERED CARPORT	433	---	433
	COVERED DECKS	843	---	843
COVERED ENTRY COURT	237	---	237	
GROSS FLOOR AREA	5576	-8	6384	
UNCOVERED DECK ON GRADE	152	---	152	
UNCOVERED PATIOS	991	---	991*	
LANDSCAPE AREA	938	---	938	
UNCOVERED POOL AREA	1800	---	1800	

* CONVERT IMPERMEABLE PATIO AREA INTO PERMEABLE

Revised

RECEIVED
 CONTRA COSTA COUNTY
 MAR 07 2018
 DP17-3046
 Dept of Conservation & Development



PLOT PLAN LOTS 1016 & 1017
 SCALE: 1/16" = 1'-0"



ISSUED FOR:

02/15/17	Client Meeting
04/11/17	Client Meeting Revisions
06/08/17	Issue to Frameworks
07/19/17	Client Meeting
08/25/17	Design Review
10/12/17	Bld
10/25/17	Development Plan
11/28/17	Hearing
01/24/18	Interior Remodel Permit
03/01/18	Rev Dev Plan (add lot 16)

SHEET TITLE

Project Data and Plot Plan

JOB #: 21606
 DATE: 10/11/17
 DRAWN BY: DB
 SCALE: AS NOTED

A0.1



RESIDENCE REMODEL
 7 HIGHGATE COURT - KESINGTON, CA
 APN: 572-18-0171016

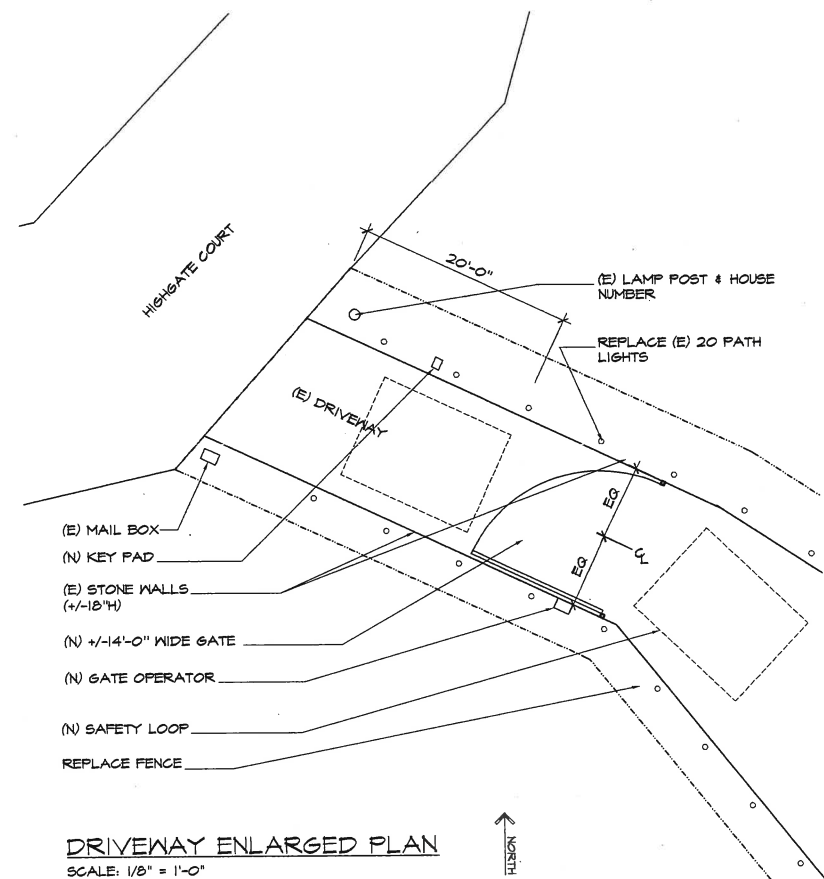
ISSUED FOR:
02/15/17 Client Meeting
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10/25/17 Development Plan

SHEET TITLE

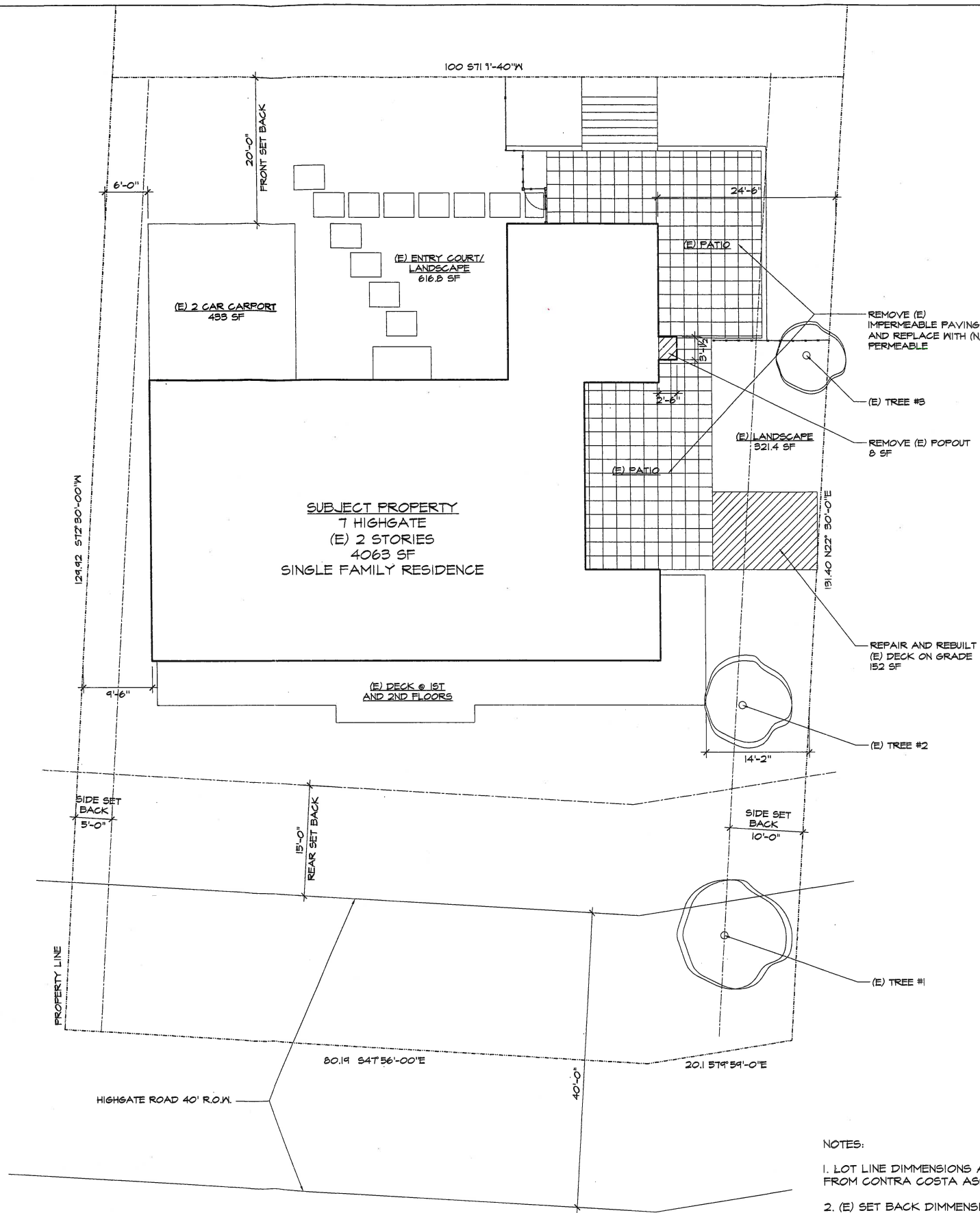
Site and Driveway Enlarged Plan

JOB #:	21606
DATE:	10/11/17
DRAWN BY:	DB
SCALE:	AS NOTED

A0.2



DRIVEWAY ENLARGED PLAN
 SCALE: 1/8" = 1'-0"



REMODELED SITE PLAN
 SCALE: 1/8" = 1'-0"

NOTES:

1. LOT LINE DIMENSIONS AND ORIENTATION DERIVED FROM CONTRA COSTA ASSESSOR'S MAP.
2. (E) SET BACK DIMENSIONS ARE TAKEN FOR (E) FENCES @ PROPERTY LINE, SO ARE APPROXIMATE.
3. (E) TREES 1, 2, 3 ON SITE TO BE PRESERVED WITHOUT ALTERATION.





RESIDENCE REMODEL
 7 HIGHGATE COURT - KESINGTON, CA
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ISSUED FOR:

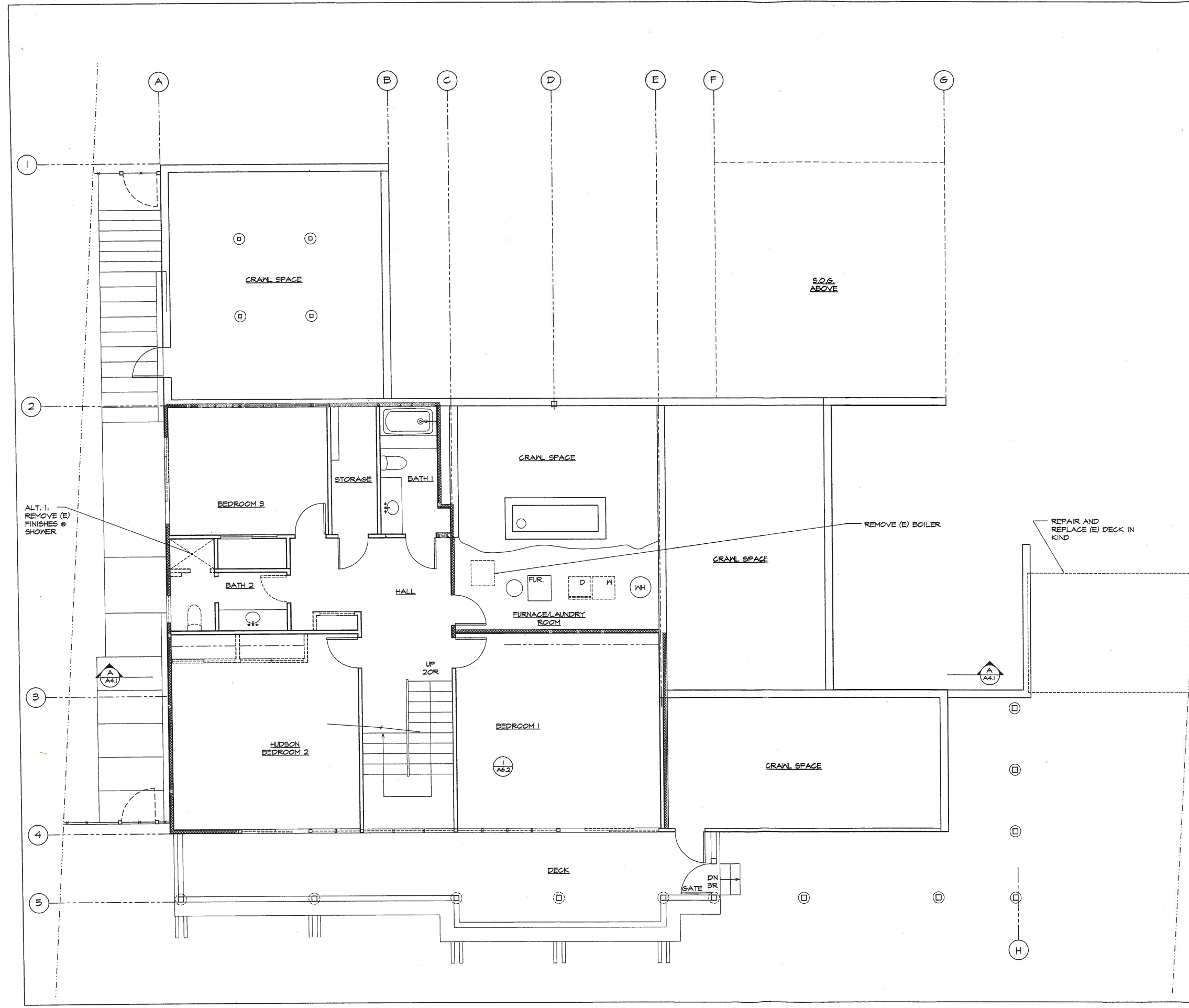
02/15/17	Client Meeting
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08/25/17	Design Review
10/12/17	Bid
10/25/17	Development Plan

SHEET TITLE

Existing/Demo
 Plans

JOB #:	21606
DATE:	10/11/17
DRAWN BY:	DB
SCALE:	AS NOTED

A1.1



PLAN LEGEND

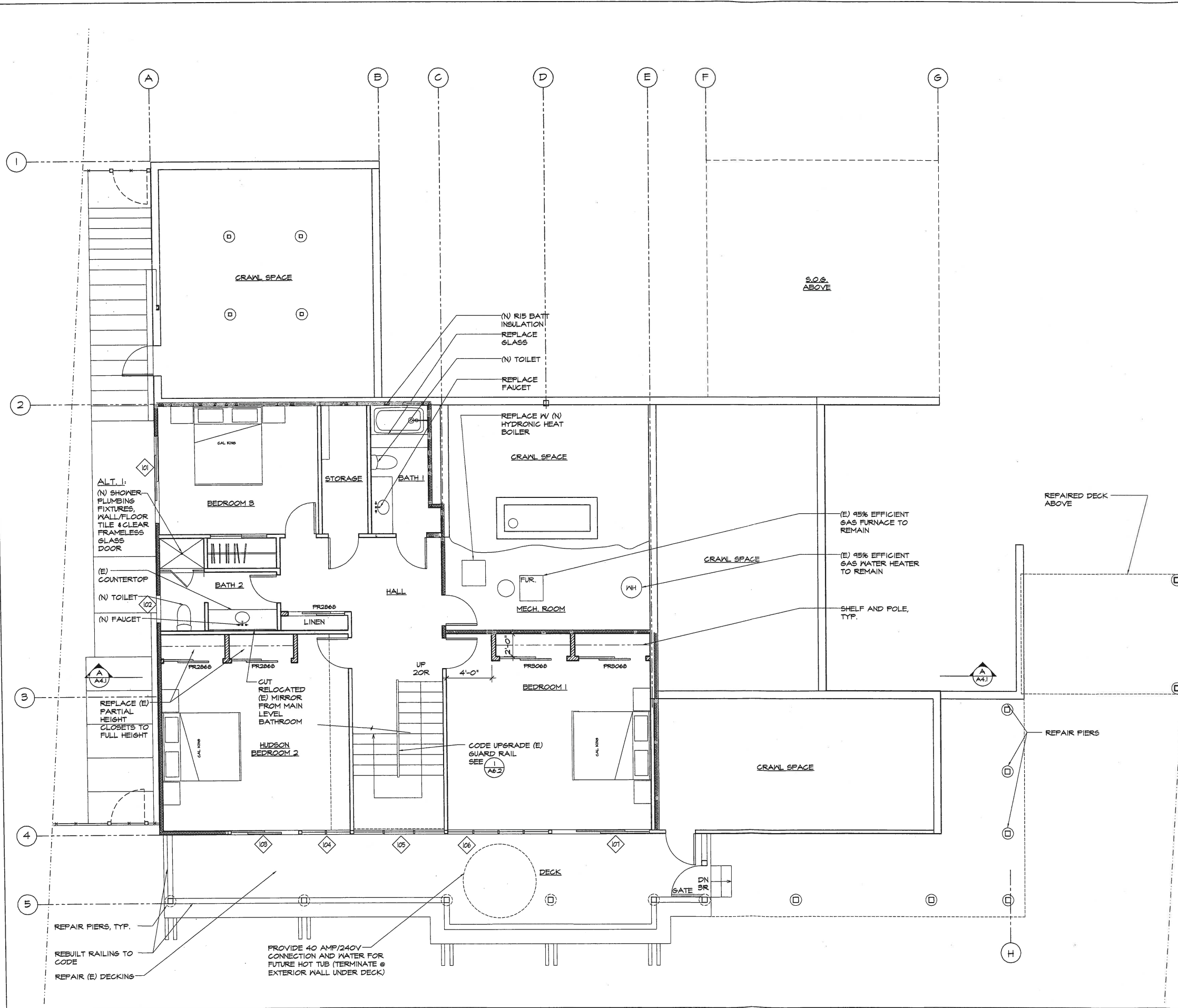
EXISTING WALL TO REMAIN	=====
EXISTING WALL/DOOR/WINDOW TO BE REMOVED	-----

EXISTING/DEMO LOWER LEVEL PLAN
 SCALE 1/4"=1'-0"





RESIDENCE REMODEL
 7 HIGHGATE COURT - KESINGTON, CA
 APN: 572-18-0171016



PLAN LEGEND

EXISTING WALL/DOOR/WINDOW TO BE REMOVED	---
EXISTING WALL TO REMAIN	=====
EXISTING EXTERIOR WALL W/ (N) RIS BATT INSULATION	=====
(N) ONE HOUR RATED WALL, 2X4 @ 16" O.C. (U.O.N) WALL W/ 5/8" FIRE RATED GYP. EACH SIDE AND RIS INSULATION @ EXT. WALLS	=====
(N) 2X4 @ 16" O.C. (U.O.N) WALL W/ 1/2" GYP. OR 1/2" MDF (SEE FINISH SCHEDULE) EACH SIDE AND RIS INSULATION @ EXT. WALLS	=====
(N) CONCRETE BLOCK WALL	=====
DOOR SIZE (8'-0" X 6'-8" H) TYP. DOOR SOLID CORE, FLUSH, PAINT GRADE	3066
WINDOW MARK- SEE WINDOW SCHEDULE A6.1-2	104
INTERIOR ELEVATION REFERENCE SEE SHEETS A6.1-3	2 A6.3

REMODELED LOWER LEVEL
 SCALE 1/4"=1'-0"

ISSUED FOR:

02/15/17	Client Meeting
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10/12/17	Bld
10/25/17	Development Plan

SHEET TITLE

Remodeled Plans

JOB #:	21606
DATE:	10/11/17
DRAWN BY:	DB
SCALE:	AS NOTED

A2.1



RESIDENCE REMODEL
 7 HIGHGATE COURT - KESINGTON, CA
 APN: 572-18-017/016

ISSUED FOR:

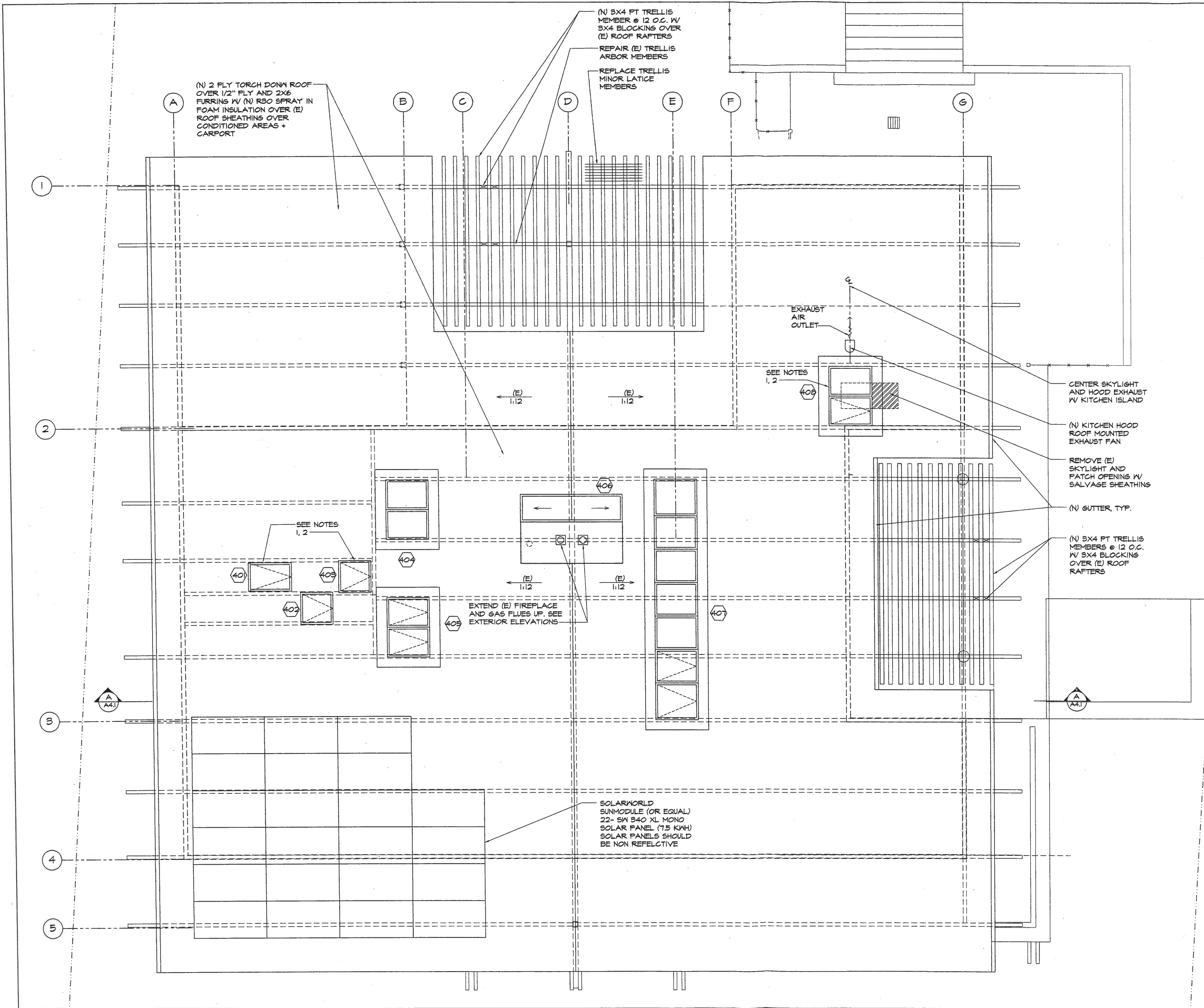
02/15/17	Client Meeting
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07/19/17	Client Meeting
08/25/17	Design Review
10/12/17	Bid
10/25/17	Development Plan

SHEET TITLE

Remodeled Roof Plan

JOB #: 21806
 DATE: 10/11/17
 DRAWN BY: DB
 SCALE: AS NOTED

A2.3



NOTES:

- ALL ROOF TOP PLUMBING VENTS TO BE LOCATED MIN. 10' AWAY AND 5' ABOVE FROM OPERABLE SKYLIGHTS
- ALL ROOF TOP PLUMBING VENTS TO BE LOCATED MIN. 5' AWAY FROM ENVIRONMENTAL VENTS (KITCHEN HOOD, BATHROOM EXHAUST FANS)

PLAN LEGEND

EXISTING WALL/DOOR/WINDOW TO BE REMOVED	-----
EXISTING WALL TO REMAIN	=====
(N) ONE HOUR RATED WALL: 2X4 @ 16" O.C. (U.O.N) WALL W/ 5/8" FIRE RATED GYP. EACH SIDE	
(N) 2X4 @ 16" O.C. (U.O.N) WALL W/ 1/2" GYP. EACH SIDE	
(N) CONCRETE BLOCK WALL	
INTERIOR ELEVATION REFERENCE (SEE SHEET AS.1)	ELEV. 8

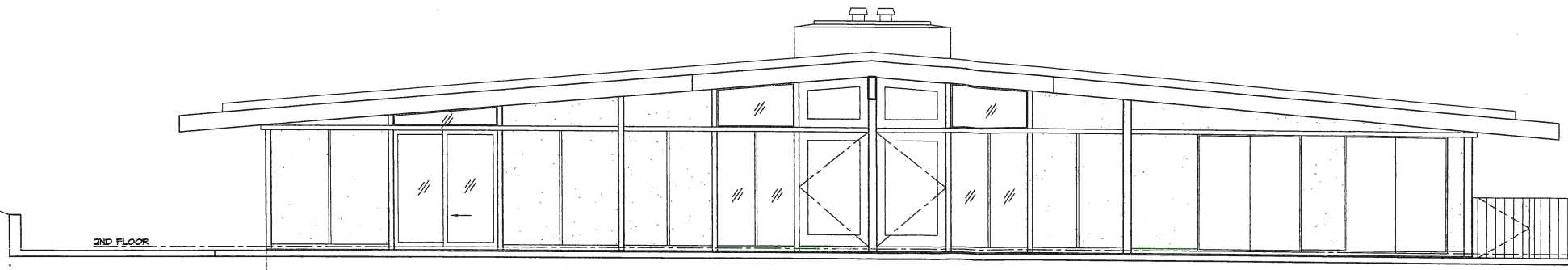
REMODELED ROOF PLAN
 SCALE 1/4"=1'-0"



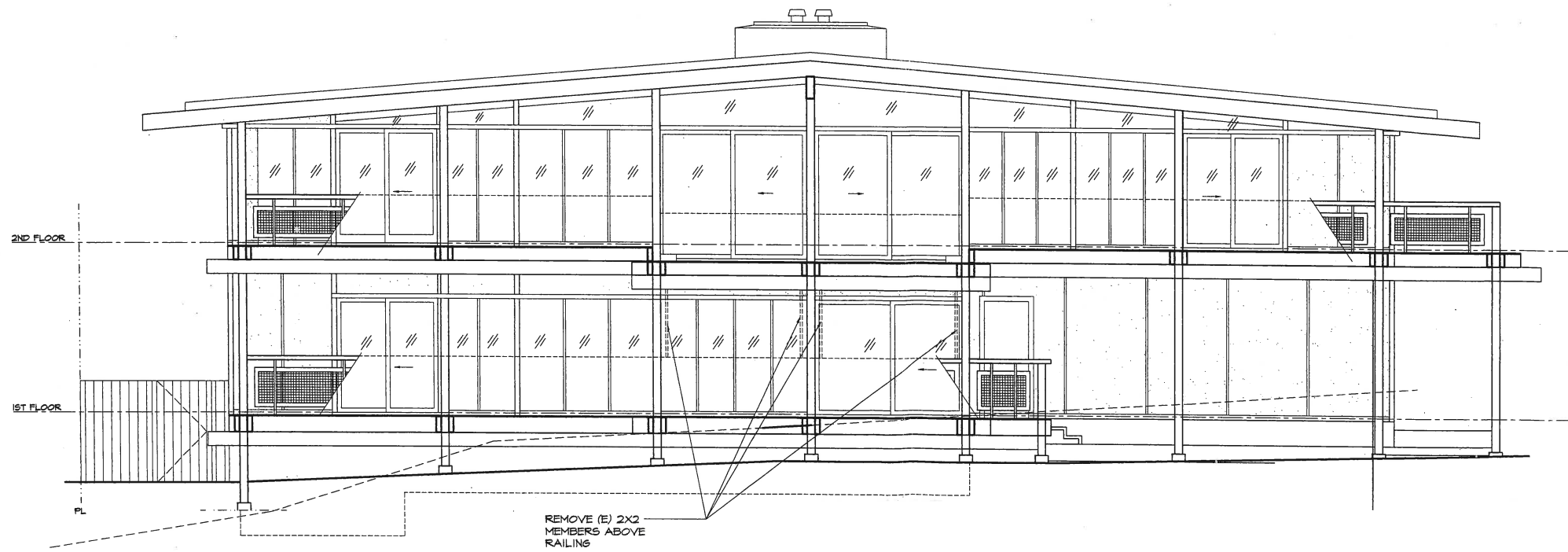
JORAM S. ALTMAN
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 819 Alvarado Street
 San Francisco CA 94114
 415. 282. 2626 tel
 joram@jsaarchitect.com



RESIDENCE REMODEL
 7 HIGHGATE COURT - KESINGTON, CA
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EXISTING NORTH ELEVATION
 SCALE 1/4"=1'-0"



EXISTING SOUTH ELEVATION
 SCALE 1/4"=1'-0"

ISSUED FOR:	
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10/12/17	Bid
10/25/17	Development Plan

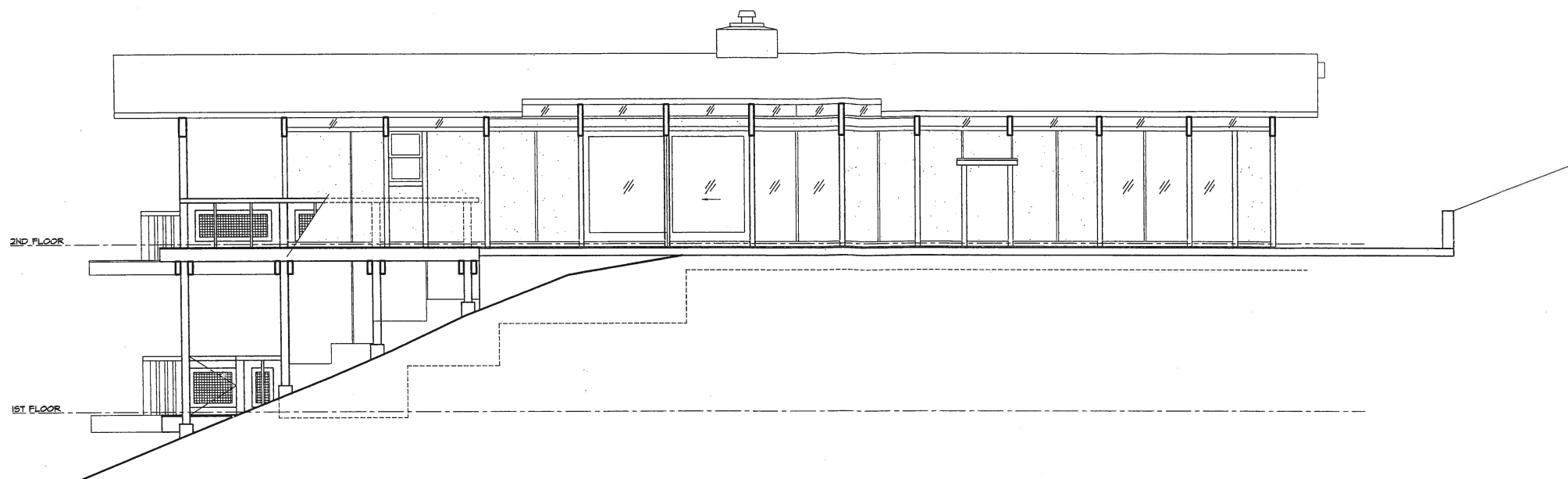
SHEET TITLE

Existing Elevations

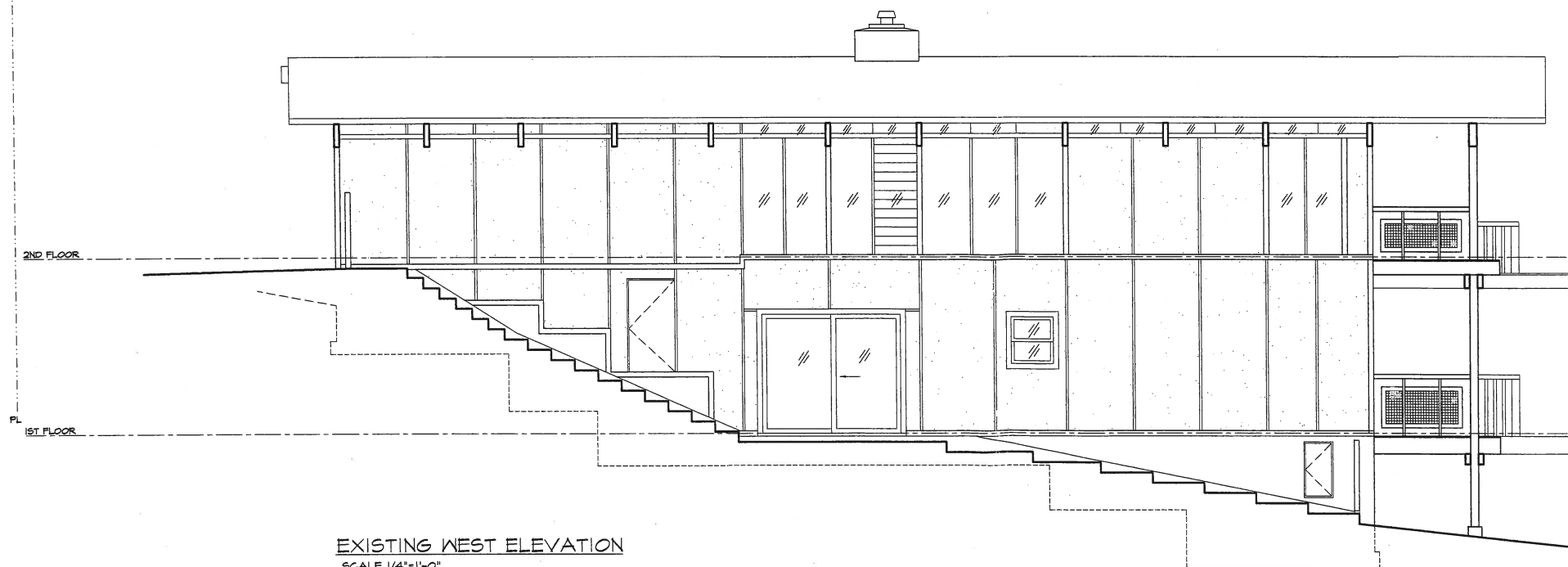
JOB #: 21606
 DATE: 10/11/17
 DRAWN BY: DB
 SCALE: AS NOTED

A3.1

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 415. 282. 2626 tel
 joram@jsaarchitect.com



EXISTING EAST ELEVATION
 SCALE 1/4"=1'-0"



EXISTING WEST ELEVATION
 SCALE 1/4"=1'-0"

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SHEET TITLE

Existing Elevations

JOB #: 21606
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 DRAWN BY: DB
 SCALE: AS NOTED

A3.2



RESIDENCE REMODEL
 7 HIGHGATE COURT - KESINGTON, CA
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ISSUED FOR:

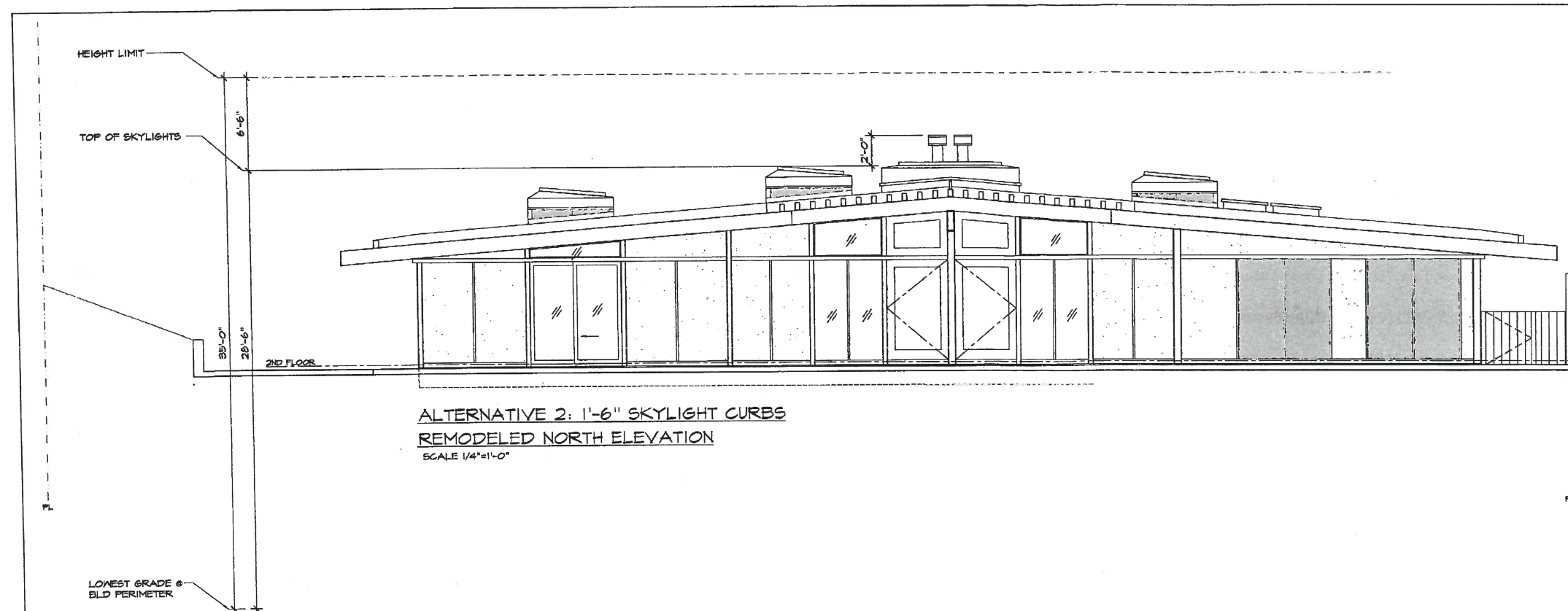
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SHEET TITLE

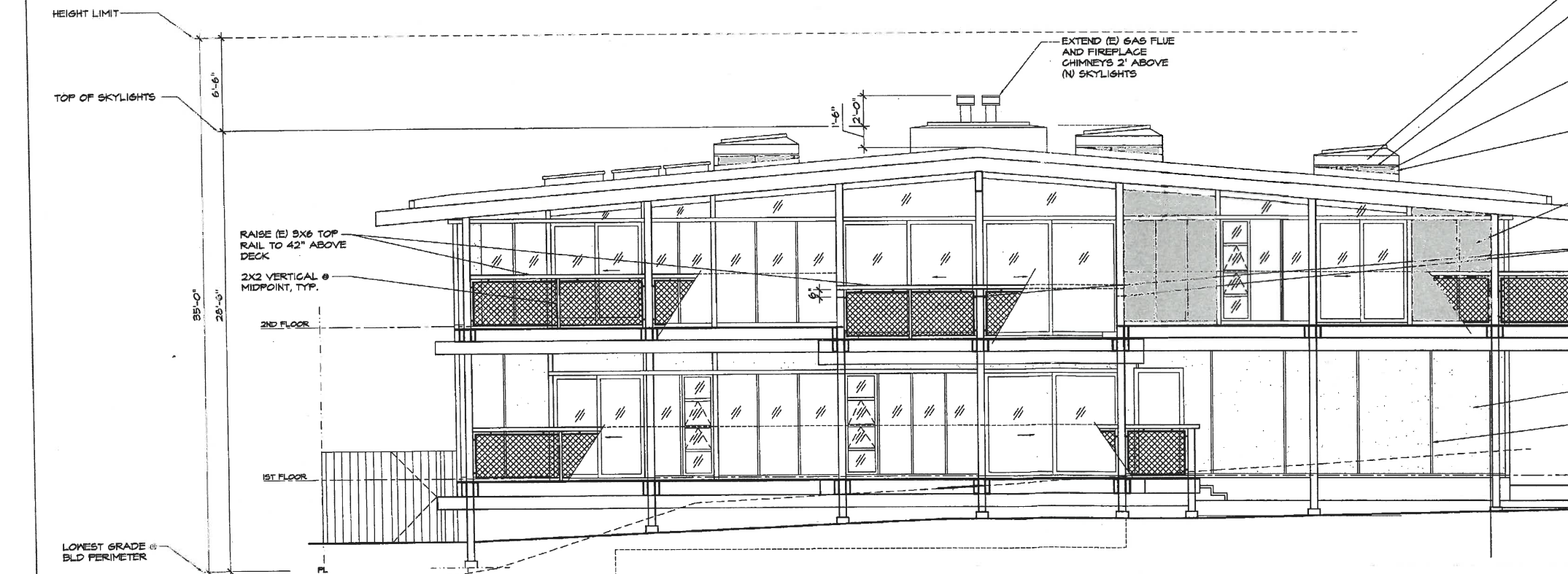
Remodeled
 Elevations

JOB #:	21806
DATE:	10/11/17
DRAWN BY:	DB
SCALE:	AS NOTED

A3.3



ALTERNATIVE 2: 1'-6" SKYLIGHT CURBS
 REMODELED NORTH ELEVATION
 SCALE 1/4"=1'-0"



ALTERNATIVE 2: 1'-6" SKYLIGHT CURBS
 REMODELED SOUTH ELEVATION
 SCALE 1/4"=1'-0"

- PAINTED ALUMINUM SKYLIGHT FRAMES (L1GTH GRAY TO MATCH (N) ROOFING COLOR)
- 1X2 JOINT TRIM, PAINTED (L1GTH GRAY TO MATCH (N) ROOFING COLOR)
- PAINTED (L1GTH GRAY TO MATCH (N) ROOFING COLOR) HARDIE BOARD SIDING @ (N) SKYLIGHT CURB WALL (INDICATED W/ SHADING)
- 1X4 CORNER TRIM, PAINTED (L1GTH GRAY TO MATCH (N) ROOFING COLOR)
- (N) WALL PANELS, PAINTED HARDIE PANELS
- RAISE (E) 6X6 TOP RAIL TO 42" ABOVE DECK
- EXTEND 6X6 POST 6" (1 LOCATIONS TOTAL)
- (N) STAINLESS STEEL/NOVEN WIRE MESH FRAME PANELS, TYP.
- (E) TRANSITE PANELS - POWER WASH, TYP.
- (E) TRIM - REFINISH, TYP.

- RAISE (E) 6X6 TOP RAIL TO 42" ABOVE DECK
- 2X2 VERTICAL @ MIDPOINT, TYP.

EXTEND (E) GAS FLUE AND FIREPLACE CHIMNEYS 2' ABOVE (N) SKYLIGHTS

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SHEET TITLE

Remodeled Elevations

JOB #: 21606
 DATE: 10/11/17
 DRAWN BY: DB
 SCALE: AS NOTED

A3.4

