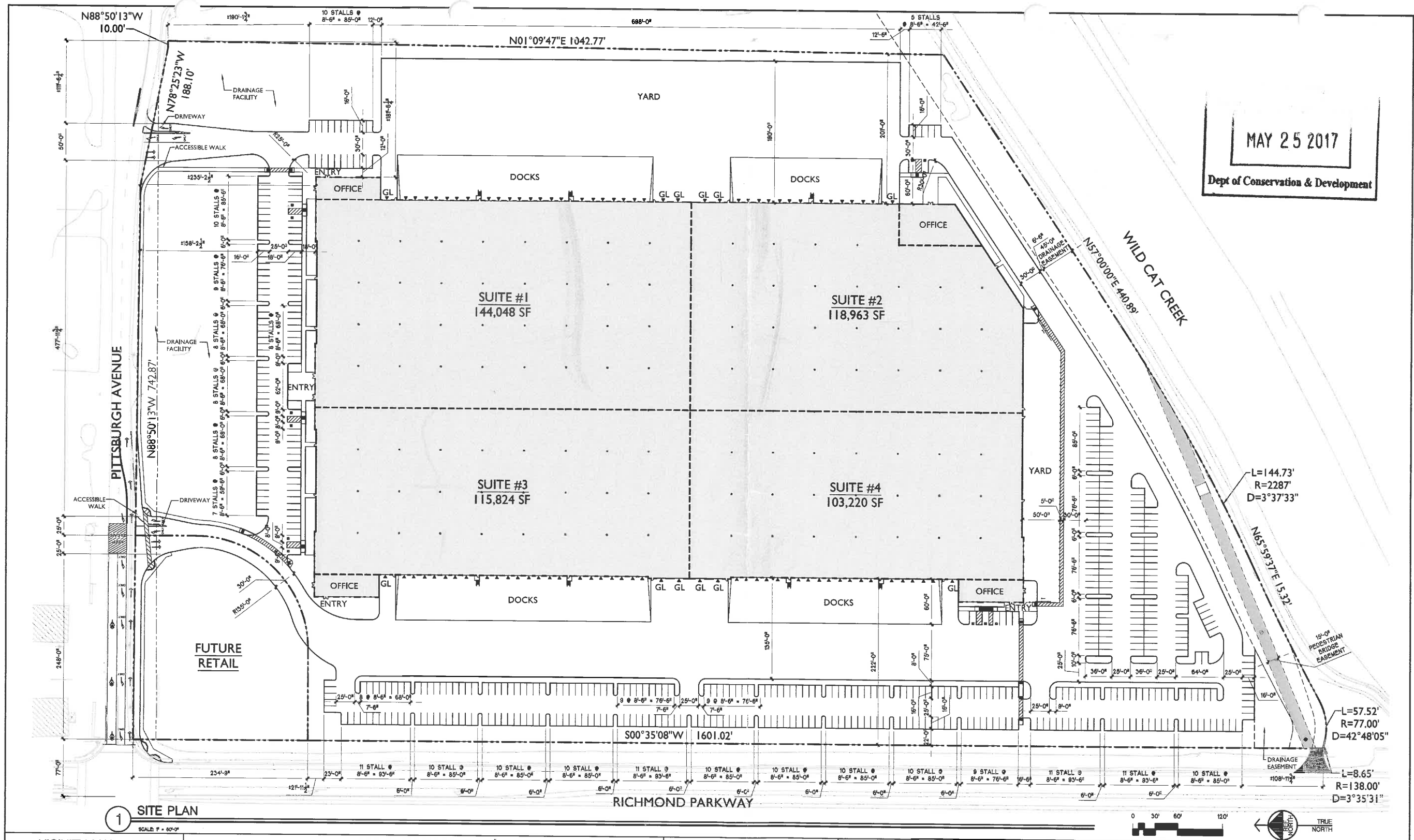




MAY 25 2017
Dept of Conservation & Development

PANATTONI

500 PITTSBURGH AVENUE

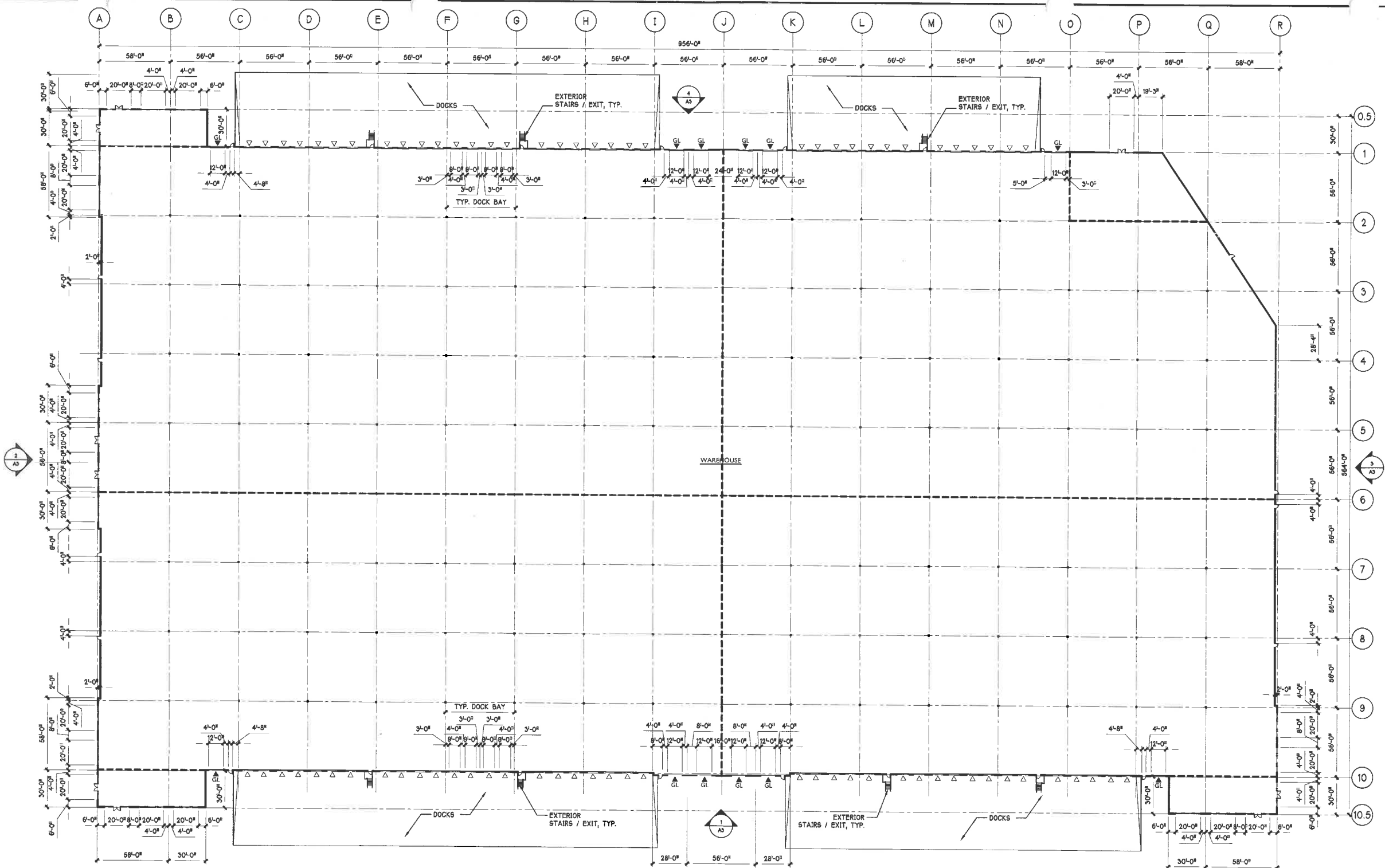
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PLANNING RESUBMITTAL	07/20/15
PLANNING RESUBMITTAL	02/27/17
PLANNING RESUBMITTAL	05/19/17

SITE PLAN

VICINITY MAP - NTS	PROJECT DIRECTORY	SHEET INDEX	PROJECT DATA
	CLIENT: PANATTONI DEVELOPMENT CO. 8775 FOLSOM BLVD., STE 200 SACRAMENTO, CA 95826 TEL: (916) 379-1127 FAX: (916) 379-6227 CONTACT: TIM SCHAEGLER ARCHITECT: VITAE ARCHITECTURE 160 SOUTH LINDEN AVE, STE 202 SOUTH SAN FRANCISCO, CA 94080 TEL: (415) 356-6400 FAX: (415) 356-6401 CONTACT: BRENDAN KOON CIVIL: CARTWRIGHT ENGINEERS ENGINEER: 4180 DOUGLAS BLVD., SUITE 200 GRANITE BAY, CA 95746 TEL: (916) 978-4001 CONTACT: ROBERT HEDRICK LANDSCAPE: VISTA PARKS LANDSCAPING, INC. ARCHITECT: 3323 WATT AVE., SUITE 229 SACRAMENTO, CA 95821 TEL: (916) 681-2227 FAX: (916) 681-2228 CONTACT: ERIC DEARING ELECTRICAL: BOSLEY ELECTRIC COMPANY ENGINEER: 935 ARDEN WAY SACRAMENTO, CA 95815 TEL: (916) 568-5180 CONTACT: TIM BOSLEY	ARCHITECTURAL: A1 SITE PLAN A2 FLOOR PLAN A3 EXTERIOR ELEVATIONS A4 ALTA/ACSM LAND TITLE SURVEY CIVIL: C1.0 PRELIMINARY GRADING & DRAINAGE PLAN C1.1 PRELIMINARY GRADING AND DRAINAGE PLAN NOTES LANDSCAPE: LP PRELIMINARY LANDSCAPE PLAN ELECTRICAL: EI.1 SITE PHOTOMETRIC PLAN	JURISDICTION: APN: ZONING: SCOPE: SITE AREA: SITE AREA (FUTURE RETAIL LOT): GROSS BUILDING AREA: FLOOR AREA RATIO (GROSS BUILDING AREA / LOT AREA): CONTRA COSTA COUNTY 408-180-010 & 408-170-072 UNINCORPORATED (P-I PLANNED UNIT) NEW WAREHOUSE 1,214,184 SF (27.87 AC) 58,248 SF (1.34 AC) 482,055 SF 0.40 PARKING ANALYSIS: PARKING REQUIRED -WAREHOUSE (1 STALL / 1,000 SF): 468,996 SF = 469 STALLS REQUIRED -OFFICE (1 STALL / 250 SF): 13,059 SF = 52 STALLS REQUIRED PARKING PROVIDED: 521 STALLS 534 STALLS



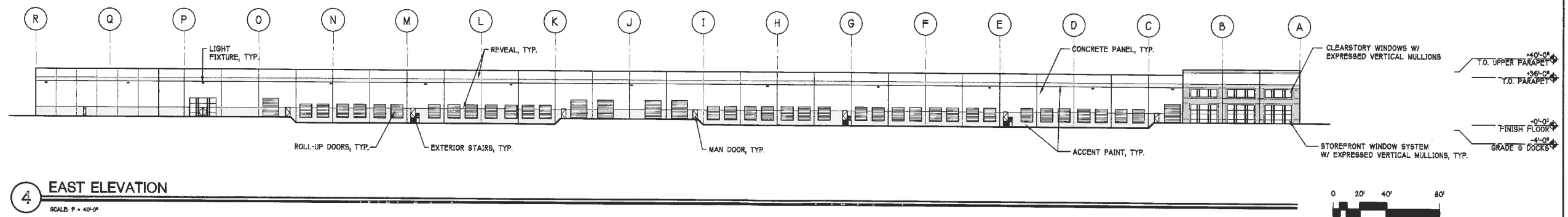
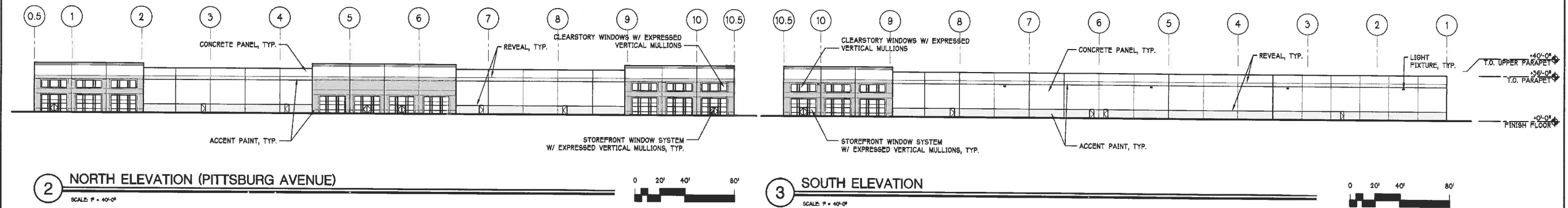
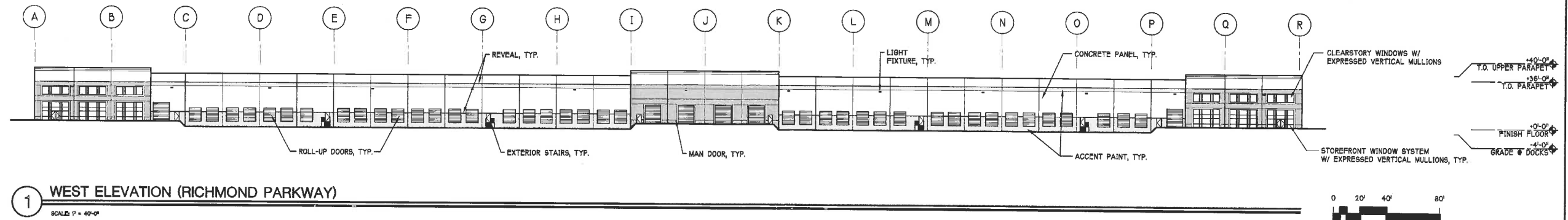
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PLANNING SUBMITTAL	10/15/14
PLANNING RESUBMITTAL	07/20/15
PLANNING RESUBMITTAL	02/07/17
PLANNING RESUBMITTAL	02/19/17



1 FLOOR PLAN
SCALE: 1" = 40'-0"

LEGEND

- CONCRETE TILT-UP PANEL
- MAN DOOR
- WINDOW
- GRADE LEVEL ROLL-UP DOOR
- ROLL-UP DOOR AT LOADING DOCK

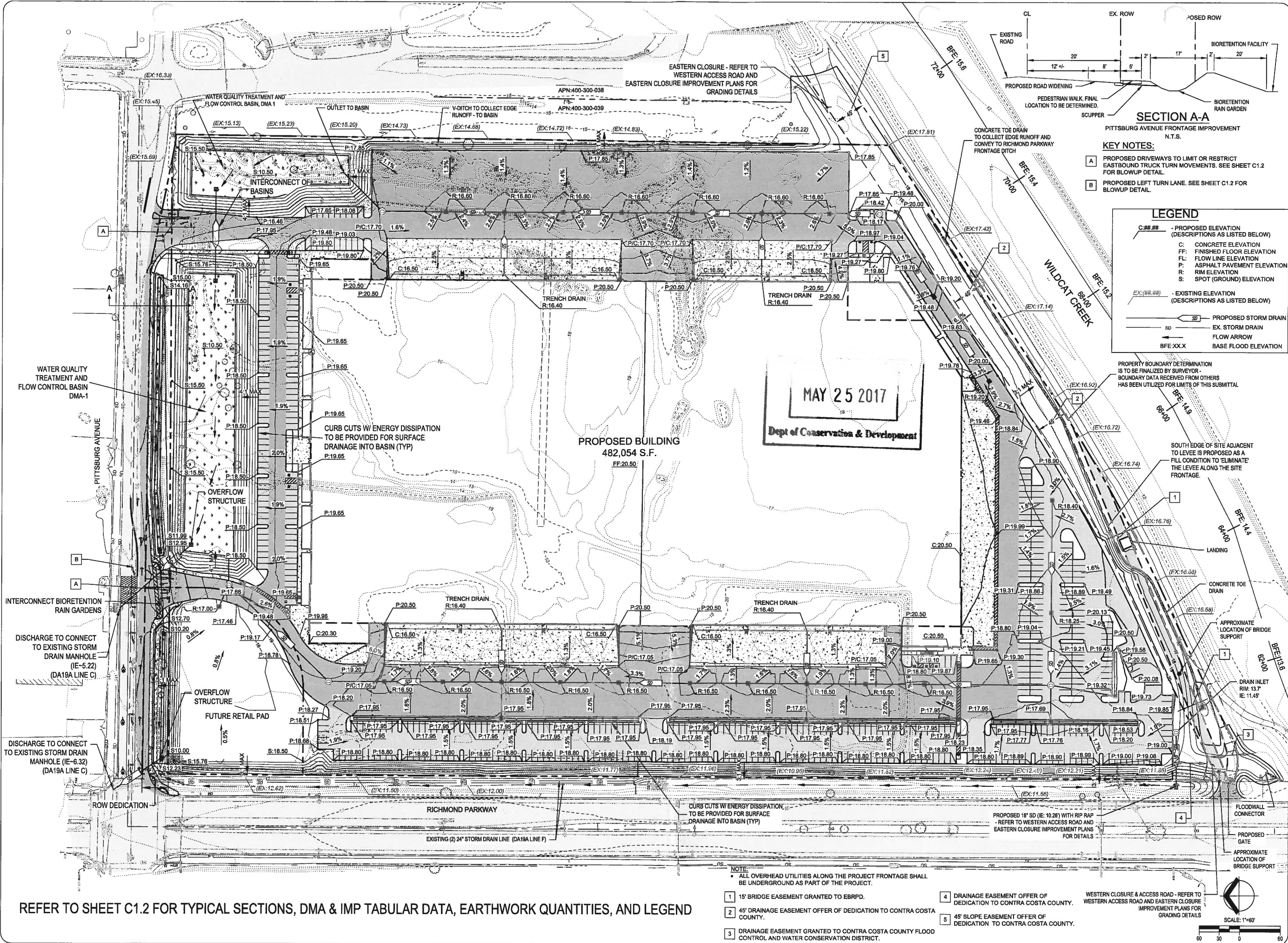


500 PITTSBURG AVENUE

JOB NO.	214130
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PLANNING RESUBMITTAL	07/20/15
PLANNING RESUBMITTAL	02/07/17
PLANNING RESUBMITTAL	02/16/17

EXTERIOR ELEVATIONS

Plot Stamp: 5/18/2017 2:03:33 PM - Wesley Yee
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REFER TO SHEET C1.2 FOR TYPICAL SECTIONS, DMA & IMP TABULAR DATA, EARTHWORK QUANTITIES, AND LEGEND

- NOTE: ALL OVERHEAD UTILITIES ALONG THE PROJECT FRONTAGE SHALL BE UNDERGROUND AS PART OF THE PROJECT.
- 1 15' BRIDGE EASEMENT GRANTED TO EBRPD.
 - 2 45' DRAINAGE EASEMENT OFFER OF DEDICATION TO CONTRA COSTA COUNTY.
 - 3 DRAINAGE EASEMENT GRANTED TO CONTRA COSTA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT.
 - 4 DRAINAGE EASEMENT OFFER OF DEDICATION TO CONTRA COSTA COUNTY.
 - 5 45' SLOPE EASEMENT OFFER OF DEDICATION TO CONTRA COSTA COUNTY.

WESTERN CLOSURE & ACCESS ROAD - REFER TO WESTERN ACCESS ROAD AND EASTERN CLOSURE IMPROVEMENT PLANS FOR GRADING DETAILS

SCALE: 1"=80'

PRELIMINARY GRADING & DRAINAGE PLAN
500 PITTSBURG AVENUE
PANATTONI DEVELOPMENT COMPANY
CONTRA COSTA COUNTY, CALIFORNIA

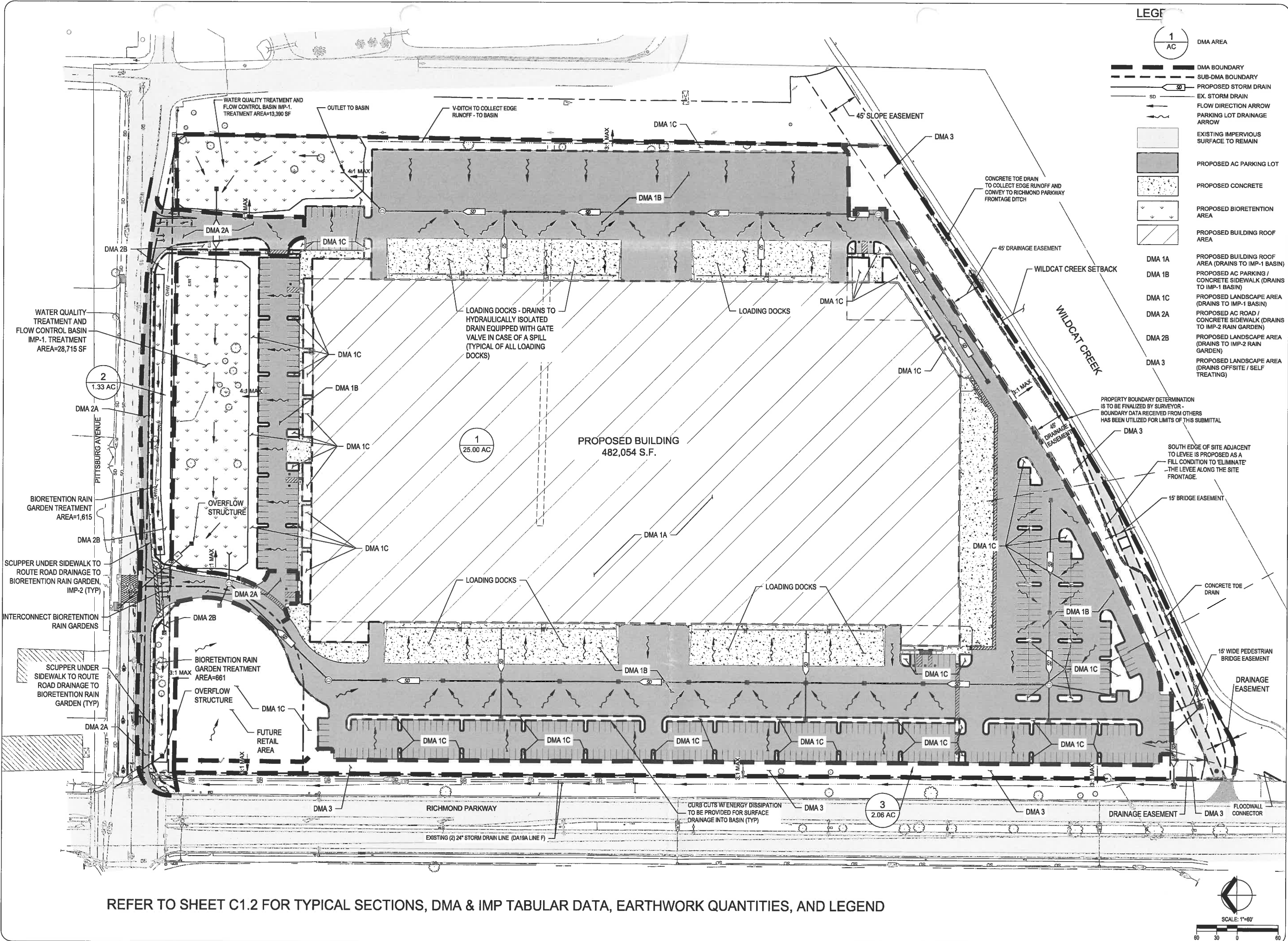


PROJECT NO.: 216088
DATE: 05/19/17
DESIGNED BY: WY/DM
DRAWN BY: WY/DM
CHECKED BY: RH

PRELIMINARY
GRADING & DRAIN
C1.0

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ENGINEERS
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www.cartwrightengineers.com
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Plot Stamp: 5/18/2017 2:09:20 PM - Wesley Yee
File: U216088-500 Pittsburg Ave Industrial CAD, UDI Production Drawings 216088-DD-SWCP.dwg, Tab: SWCP



REFER TO SHEET C1.2 FOR TYPICAL SECTIONS, DMA & IMP TABULAR DATA, EARTHWORK QUANTITIES, AND LEGEND

PRELIMINARY STORMWATER CONTROL PLAN
500 PITTSBURG AVENUE
PANATTONI DEVELOPMENT COMPANY
CONTRA COSTA COUNTY, CALIFORNIA



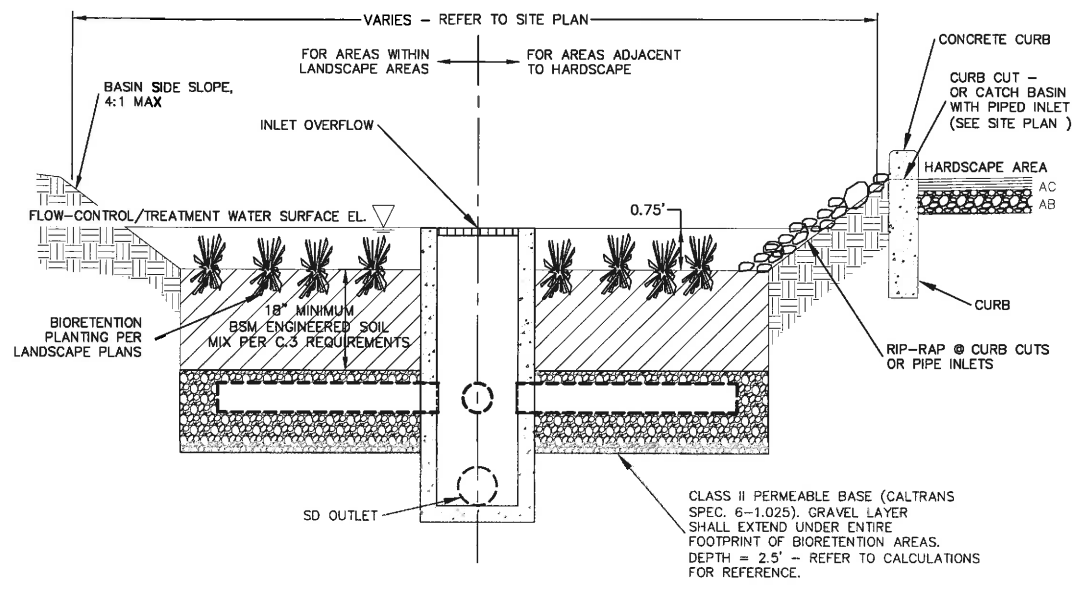
PROJECT NO.: 216088
DATE: 05/19/17
DESIGNED BY: WY/DM
DRAWN BY: WY/DM
CHECKED BY: RH

PRELIMINARY
SWCP
C1.1

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DATE: 05/19/17
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CHECKED BY: RH



WATER QUALITY TREATMENT
BIORETENTION SECTION
NOT TO SCALE

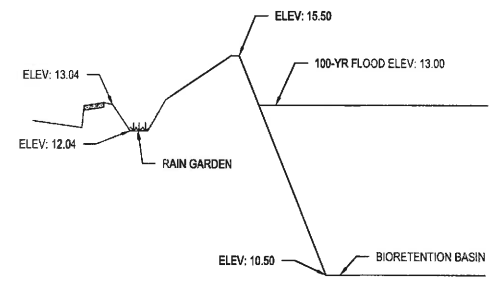
Drainage Management Area 1 (DMA 1)	DMA Area (acres)	DMA Area (SF)	Impervious (SF)	Pervious (SF)	Treatment Method	Preliminary Treatment Area Proposed (SF)	Tributary Area (SF)	Runoff Factor	Factored Area Value (SF)	A1 (required Treatment area), SF
Roof Area	25.00	1,088,844	960,470	128,374	Bioretention Basin	42,105				
Paving (Asph/Conc) Area			482,054				482,054	1.0	482,054	
Landscape/Pervious Area				128,374			128,374	0.1	12,837	
Total	25.00	1,088,844	960,470	128,374		42,105			973,307	38,932

Notes:
DMA Sizing has been calculated using C3 methodology and Criteria for treatment only
IMP sizing factors found in Table 4-10 using bioretention facility, Soil Group C

DMA / IMP TABULATION DATA (REFER TO STORMWATER CONTROL PLAN FOR MORE INFO)

GRADING LEGEND:

- 1' --- EXISTING 1-FT CONTOUR
- 5' --- EXISTING 5-FT CONTOUR
- 1' --- PROPOSED 1-FT CONTOUR
- 5' --- PROPOSED 5-FT CONTOUR
- C:15.00 PROPOSED ELEVATION (DESCRIPTIONS AS LISTED BELOW)
 - C: CONCRETE ELEVATION
 - FF: FINISHED FLOOR ELEVATION
 - FL: FLOW LINE ELEVATION
 - P: ASPHALT PAVEMENT ELEVATION
 - R: RIM ELEVATION
 - S: SPOT (GROUND) ELEVATION
 - SW: SIDEWALK ELEVATION
 - TW: TOP OF WALL ELEVATION
 - BW: BOTTOM OF WALL ELEVATION
- EXISTING ELEVATION (DESCRIPTIONS AS LISTED ABOVE)
- OR - OVERLAND RELEASE
- HEAVY AC SECTION
- PARKING AC SECTION
- CONCRETE SECTION
- BIO-RETENTION AREAS



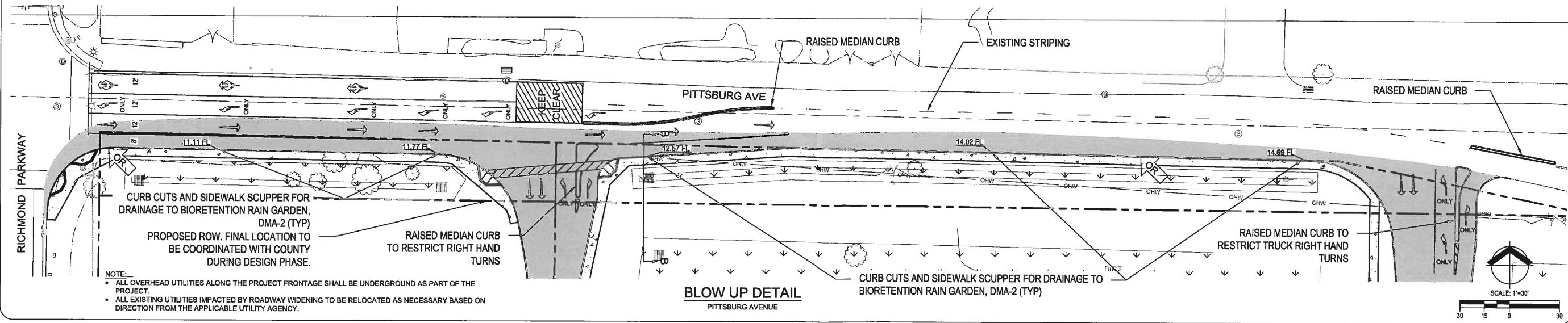
SECTION B-B
RAIN GARDEN & BIORETENTION BASIN SECTION DETAIL
N.T.S.

PRELIMINARY EARTHWORK ANALYSIS

RAW BANK CUT: 37,523 CY
RAW FILL (10% SWELL): 95,565 CY
RAW NET IMPORT: 58,041 CY

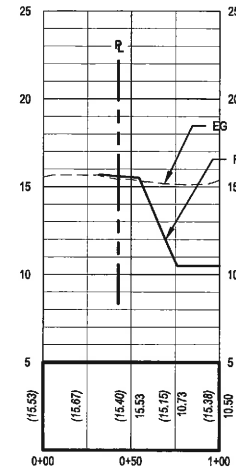
HEAVY DUTY AC SECTION (4" OVER 15.5"=19.5" SECTION, 256,272 SF): 15,423 CY
LIGHT DUTY AC SECTION (3.5" OVER 11"=14.5" SECTION, 147,390 SF): 6,596 CY
CONCRETE DOCK SECTION (12" SECTION, 72,924 SF): 2,700 CY
BUILDING SECTION (ASSUMED 1' OVER ENTIRE STRUCTURE, 482,054 SF): 17,853 CY
BIO RETENTION BASIN SOIL / GRAVEL DRAIN LAYER (4' SECTION, 71,130 SF): 10,537 CY
STRUCTURAL SECTIONS SUB-TOTAL: 53,109 CY

NET IMPORT: 4,932 CY
TRENCH AND FOOTING SPOILS NOT ACCOUNTED YET - WILL RESULT IN BALANCE CONDITION

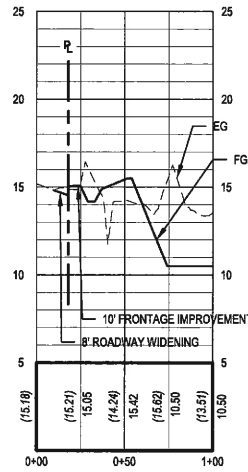


NOTE:
• ALL OVERHEAD UTILITIES ALONG THE PROJECT FRONTAGE SHALL BE UNDERGROUND AS PART OF THE PROJECT.
• ALL EXISTING UTILITIES IMPACTED BY ROADWAY WIDENING TO BE RELOCATED AS NECESSARY BASED ON DIRECTION FROM THE APPLICABLE UTILITY AGENCY.

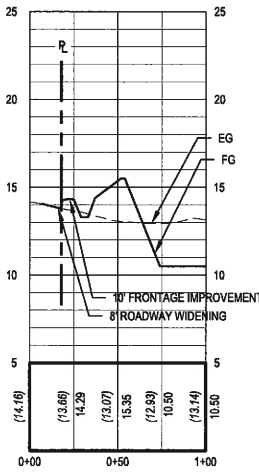
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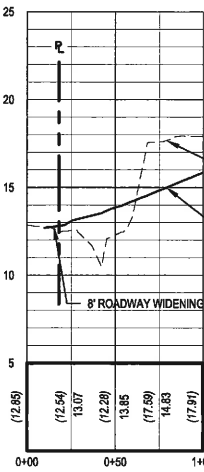
PROFILE 1
SCALE: H: 1" = 50'
V: 1" = 10'



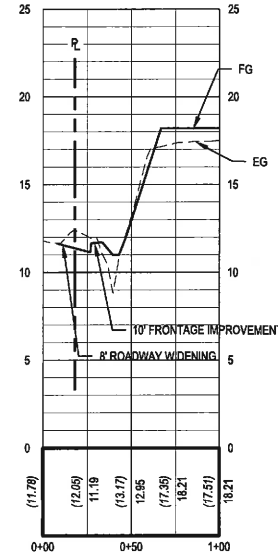
PROFILE 2
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V: 1" = 10'



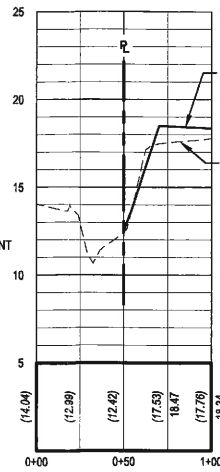
PROFILE 3
SCALE: H: 1" = 50'
V: 1" = 10'



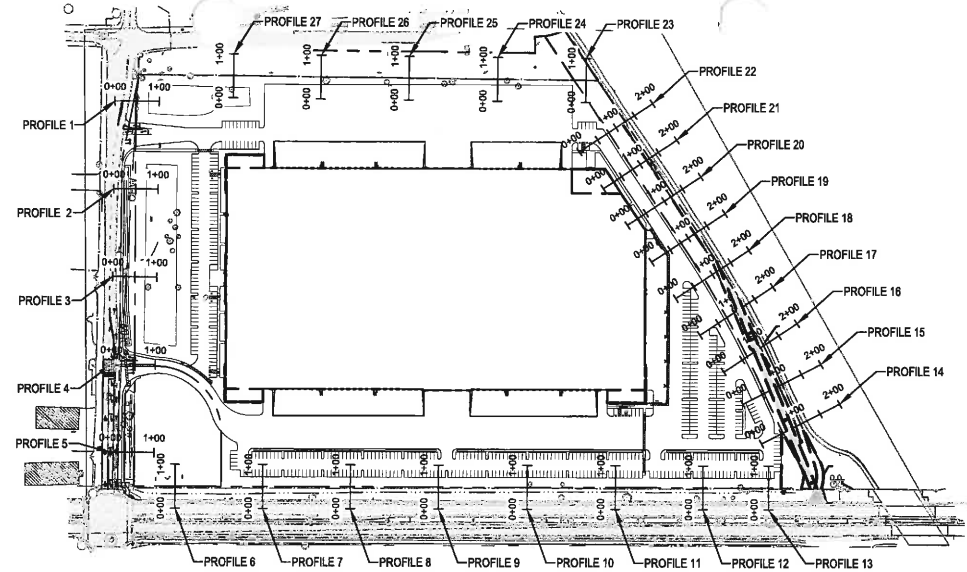
PROFILE 4
SCALE: H: 1" = 50'
V: 1" = 10'



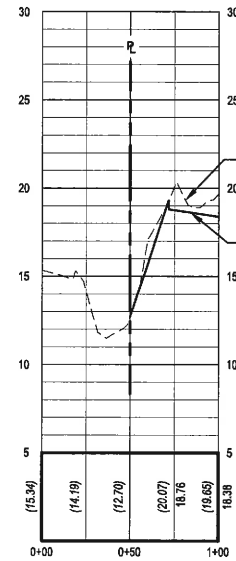
PROFILE 5
SCALE: H: 1" = 50'
V: 1" = 10'



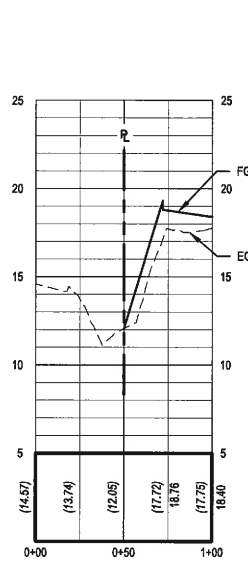
PROFILE 6
SCALE: H: 1" = 50'
V: 1" = 10'



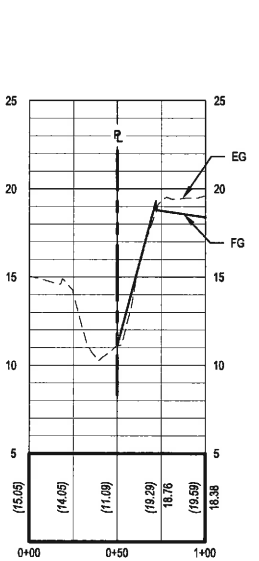
KEY MAP
SCALE: 1" = 200'



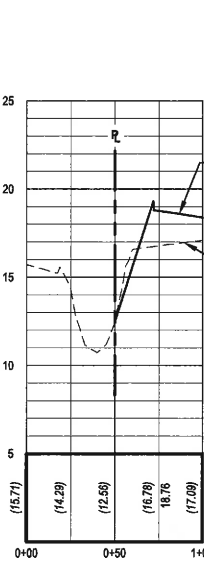
PROFILE 8
SCALE: H: 1" = 50'
V: 1" = 10'



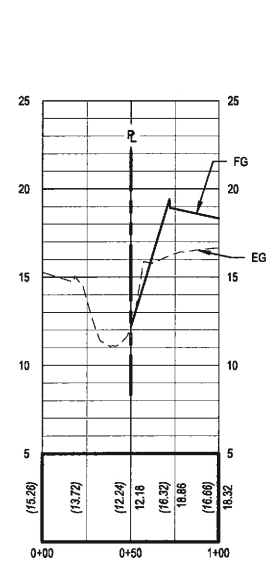
PROFILE 9
SCALE: H: 1" = 50'
V: 1" = 10'



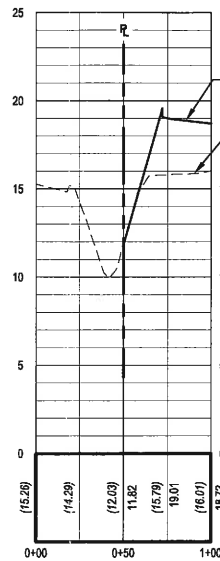
PROFILE 10
SCALE: H: 1" = 50'
V: 1" = 10'



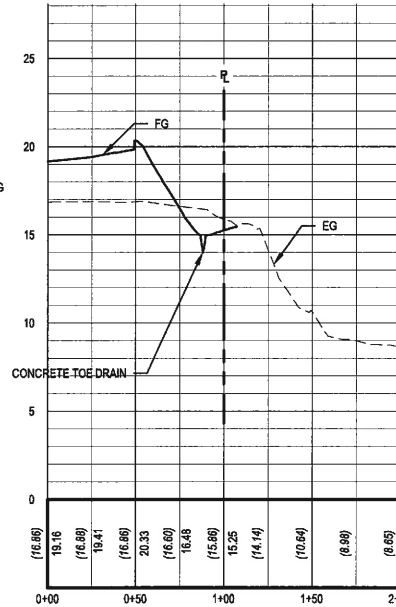
PROFILE 11
SCALE: H: 1" = 50'
V: 1" = 10'



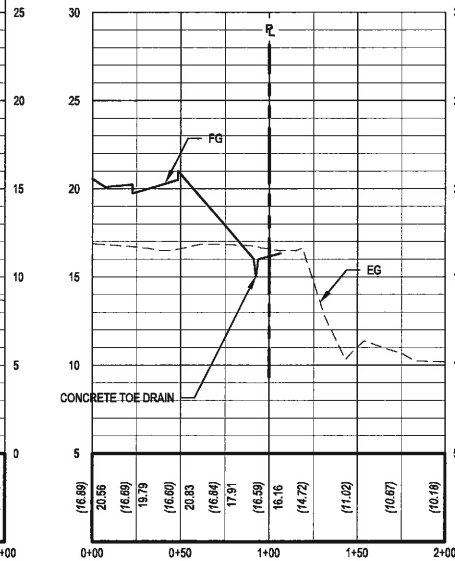
PROFILE 12
SCALE: H: 1" = 50'
V: 1" = 10'



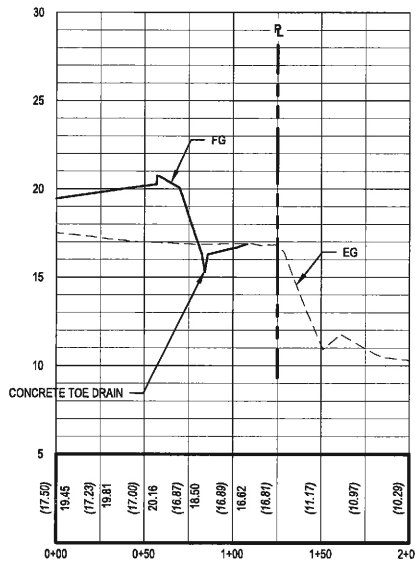
PROFILE 13
SCALE: H: 1" = 50'
V: 1" = 10'



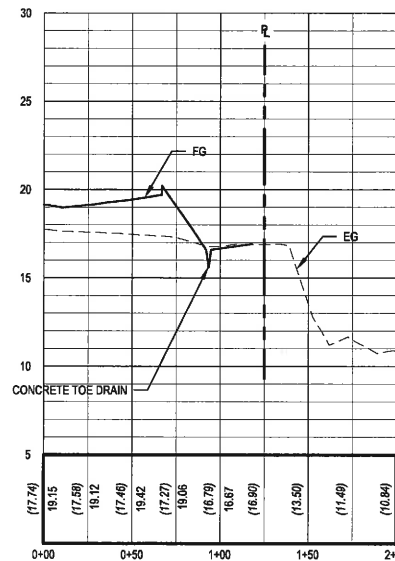
PROFILE 14
SCALE: H: 1" = 50'
V: 1" = 10'



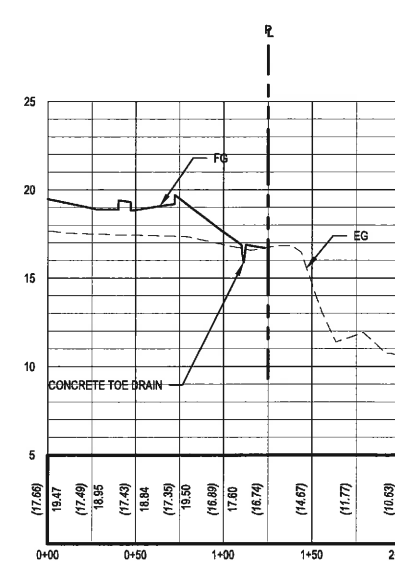
PROFILE 15
SCALE: H: 1" = 50'
V: 1" = 10'



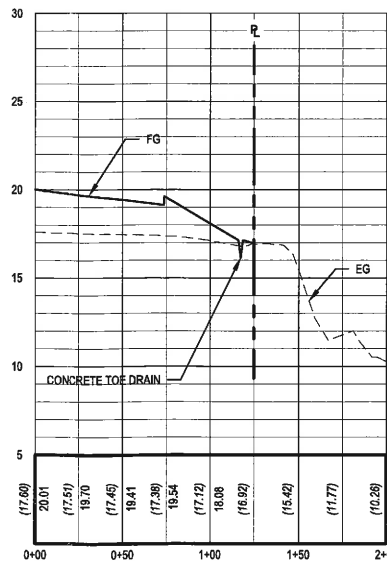
PROFILE 16
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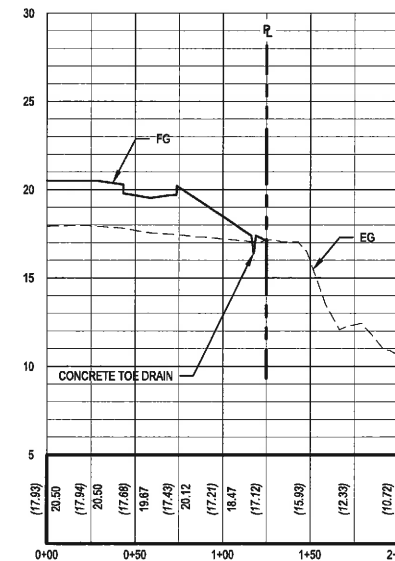
PROFILE 17
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V: 1" = 10'



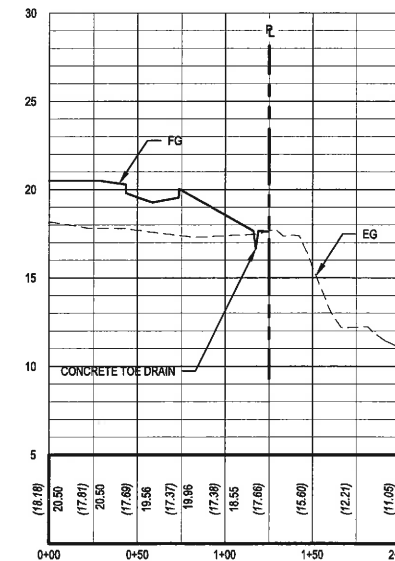
PROFILE 18
SCALE: H: 1" = 50'
V: 1" = 10'



PROFILE 19
SCALE: H: 1" = 50'
V: 1" = 10'



PROFILE 20
SCALE: H: 1" = 50'
V: 1" = 10'



PROFILE 21
SCALE: H: 1" = 50'
V: 1" = 10'

PROFILES

500 PITTSBURG AVENUE
PANATTONI DEVELOPMENT COMPANY
CONTRA COSTA COUNTY, CALIFORNIA

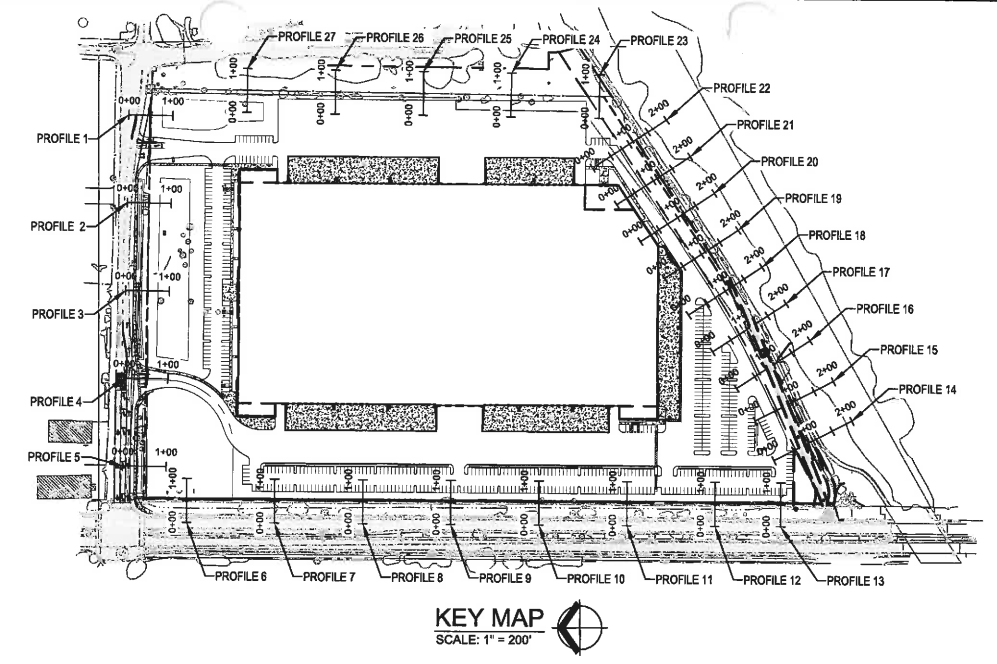
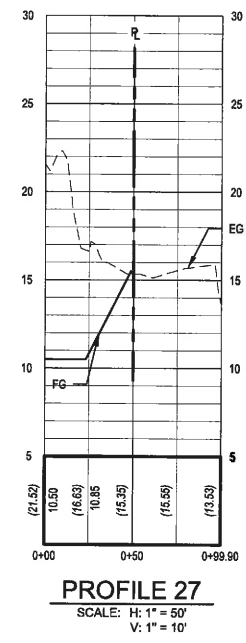
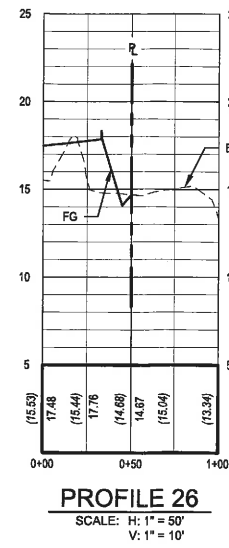
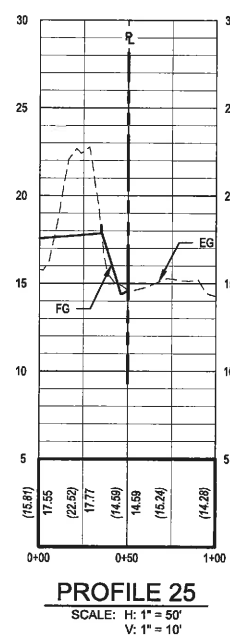
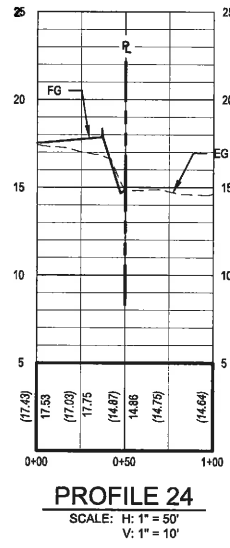
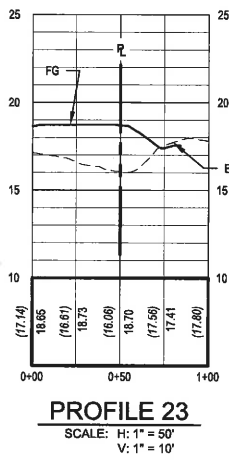
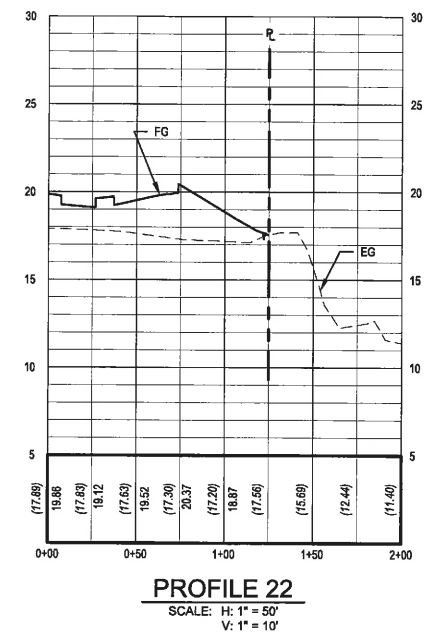


PROJECT NO.: 216088
DATE: 05/19/17
DESIGNED BY: WYDM
DRAWN BY: WYDM
CHECKED BY: RH

PROFILES
C2.0

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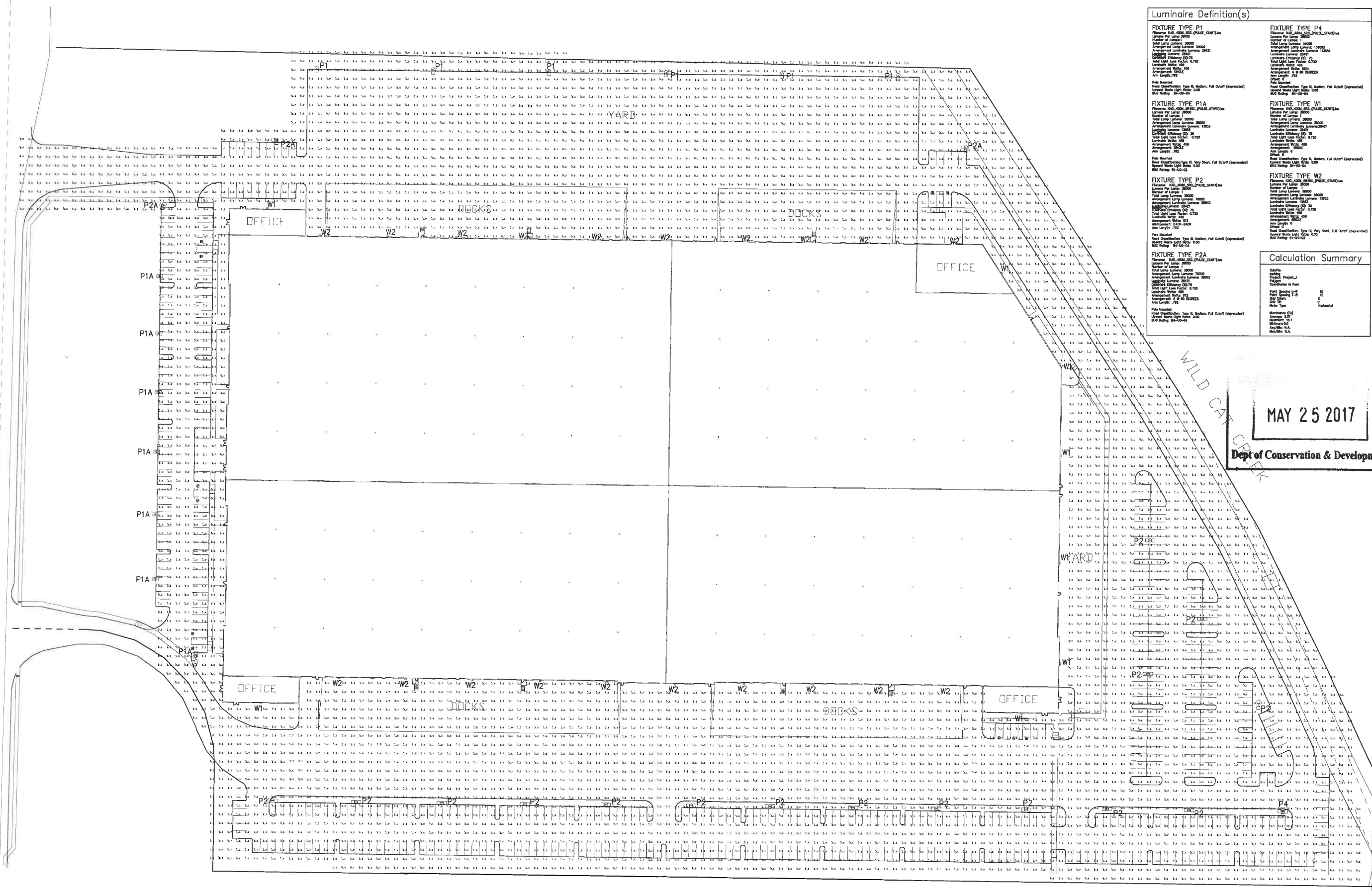
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PROFILES
500 PITTSBURG AVENUE
PANATTONI DEVELOPMENT COMPANY
CONTRA COSTA COUNTY, CALIFORNIA



PROJECT NO.:	216088
DATE:	05/19/17
DESIGNED BY:	WY/DM
DRAWN BY:	WY/DM
CHECKED BY:	RH



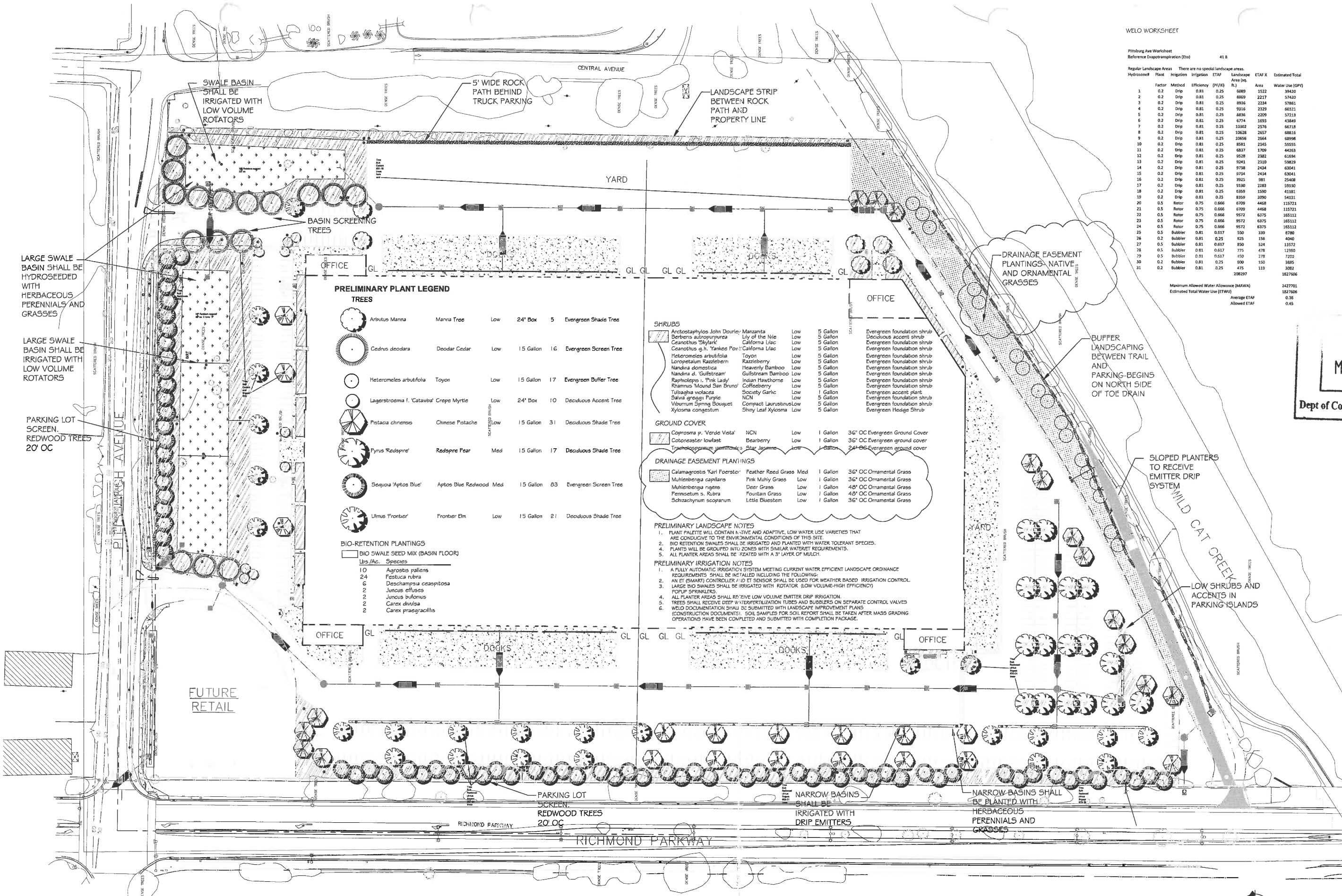
**RICHMOND
WAREHOUSE**

500 PITTSBURG AVENUE
CONTRA COSTA COUNTY, CALIFORNIA

Client	
--------	--

Date 5-19-17	Project No.
Drawn By KAC	Sheet No. E-1.1
Checked By	

SCALE: 1" = 50'-0"



WEL Worksheet

Pittsburg Ave Worksheet

Reference Evapotranspiration (Eto) 41.8

Regular Landscape Areas There are no special landscape areas.

Hydrozone	Plant	Irrigation	ETAF	Landscape Area (sq. ft.)	ETAF X	Estimated Total	
Factor	Method	Efficiency	(P/E)	R	Area	Water Use (GPD)	
1	0.2	Drip	0.81	0.25	6089	1522	39420
2	0.2	Drip	0.81	0.25	8869	2217	57420
3	0.2	Drip	0.81	0.25	8936	2234	57861
4	0.2	Drip	0.81	0.25	9316	2329	60323
5	0.2	Drip	0.81	0.25	8836	2209	57118
6	0.2	Drip	0.81	0.25	6774	1693	43849
7	0.2	Drip	0.81	0.25	10302	2576	66718
8	0.2	Drip	0.81	0.25	10628	2657	68816
9	0.2	Drip	0.81	0.25	10056	2564	65098
10	0.2	Drip	0.81	0.25	8581	2145	55555
11	0.2	Drip	0.81	0.25	6837	1709	44263
12	0.2	Drip	0.81	0.25	9528	2382	61594
13	0.2	Drip	0.81	0.25	9241	2310	59829
14	0.2	Drip	0.81	0.25	9738	2434	63041
15	0.2	Drip	0.81	0.25	9734	2434	63041
16	0.2	Drip	0.81	0.25	3925	981	25408
17	0.2	Drip	0.81	0.25	5130	1283	32833
18	0.2	Drip	0.81	0.25	6359	1590	41181
19	0.2	Drip	0.81	0.25	8359	2090	54131
20	0.5	Rotor	0.75	0.666	6709	1693	43849
21	0.5	Rotor	0.75	0.666	6709	1693	43849
22	0.5	Rotor	0.75	0.666	9572	2382	61594
23	0.5	Rotor	0.75	0.666	9572	2382	61594
24	0.5	Rotor	0.75	0.666	9572	2382	61594
25	0.5	Bubbler	0.81	0.617	550	139	3502
26	0.2	Bubbler	0.81	0.25	625	156	4040
27	0.5	Bubbler	0.81	0.617	850	214	5555
28	0.5	Bubbler	0.81	0.617	775	197	5022
29	0.5	Bubbler	0.81	0.617	450	113	2883
30	0.2	Bubbler	0.81	0.25	600	150	3885
31	0.2	Bubbler	0.81	0.25	475	119	3082
						208297	
						2427701	
						1827606	
						Average ETAF	0.36
						Allowed ETAF	0.45

Maximum Allowed Water Allowance (MAWA) 2427701

Estimated Total Water Use (ETWU) 1827606

VISTA PARKS
LANDSCAPING INC.
DESIGN BUILD

3323 Watt Ave #229, Sacramento, CA 95821
Ph. (916) 681-2227 FAX (916) 681-2228

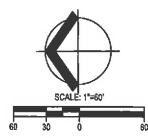


MAY 25 2017

Dept of Conservation & Development

PRELIMINARY LANDSCAPE PLAN
500 PITTSBURG AVENUE
PANATTONI DEVELOPMENT COMPANY
CONTRA COSTA COUNTY, CALIFORNIA

Scale 1"=60'
Job Number VP15-12-1
Date 03-01-2017
Drawn EJD
Checked EJD
Sheet

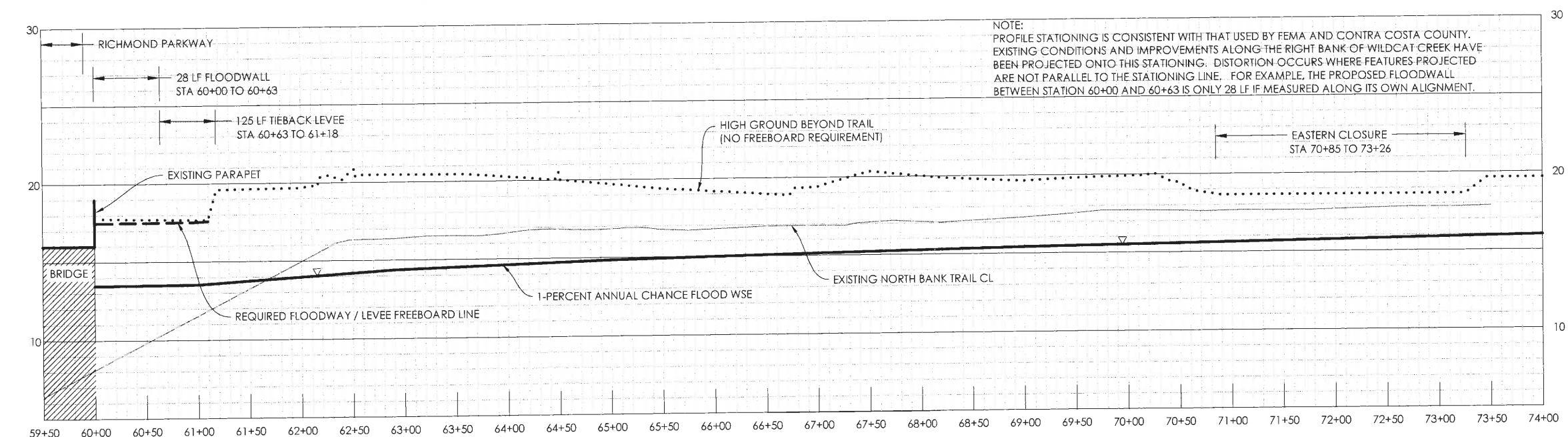
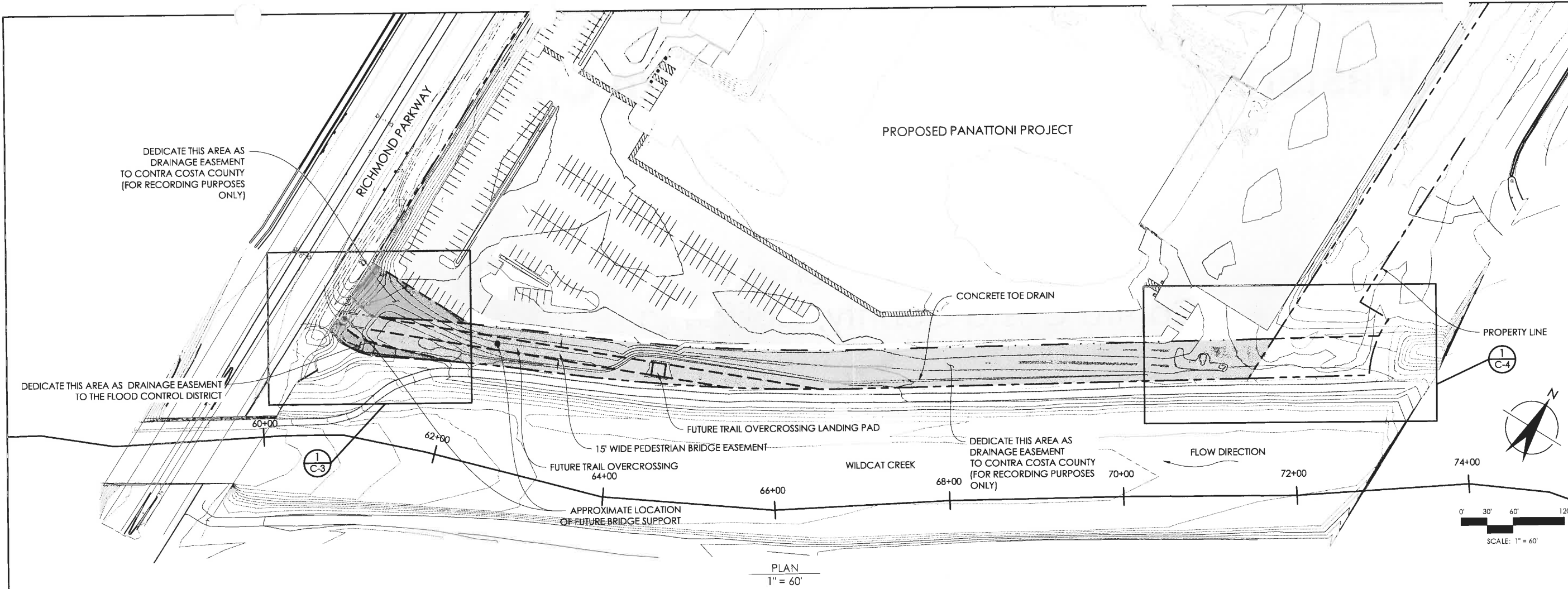


LP

For
500 Pittsburg Avenue
Contra Costa County, California

Dept of Conservation & Development





NOTE:
TREES WITHIN LIMITS OF GRADING SHOWN ON SHEET C-3 WILL NEED TO BE REMOVED. PROTECT IN PLACE AND COMPACT AROUND TREES WITHIN EASTERN CLOSURE GRADING LIMIT SHOWN ON SHEET C-4.

Balance Hydrologics, Inc.
800 Bancroft Way - Suite 101
Berkeley, CA 94710
tel (510) 704-1000 fax (510) 704-1001
www.balancehydro.com

DESIGNED BY	DRAWN BY	CHECKED BY	IN CHARGE	DATE
A. NAZAROV	D. JENSEN	E. BALMAN	E. BALMAN	20170517

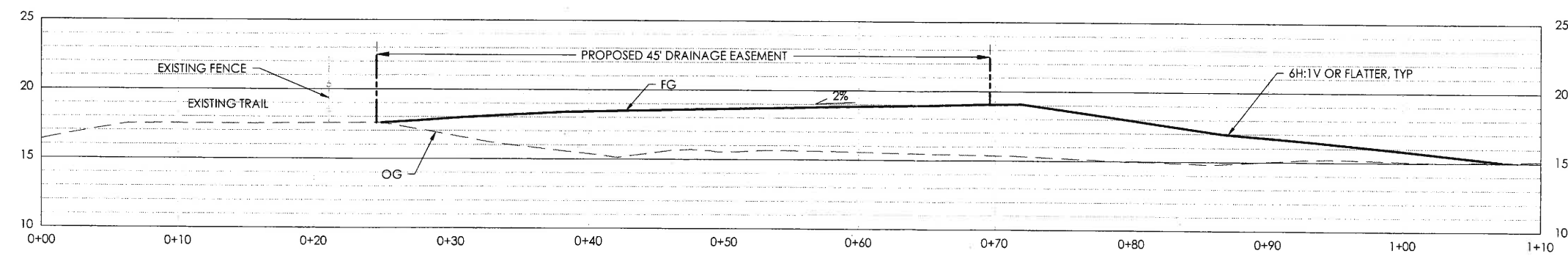
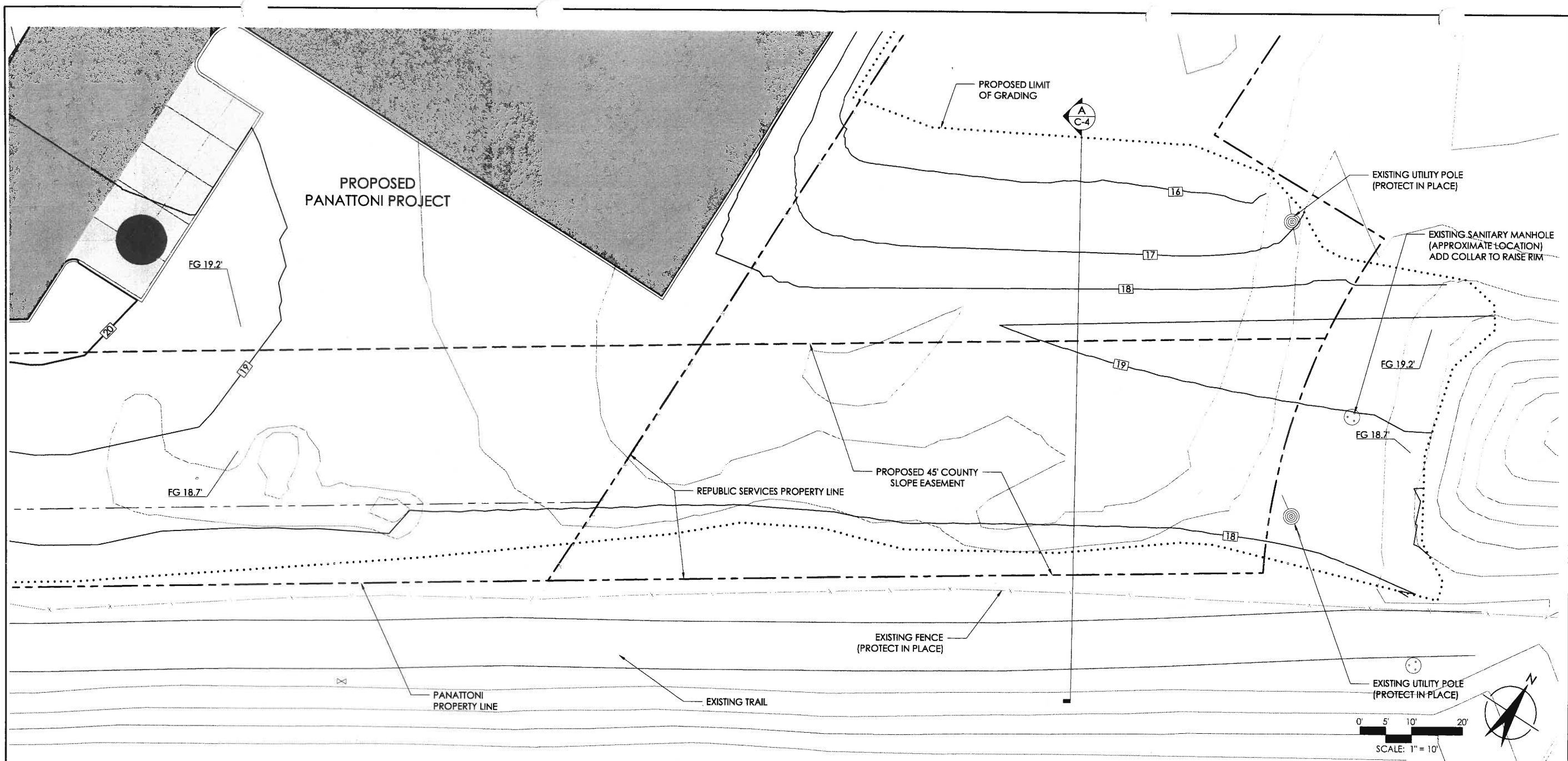
NOT FOR CONSTRUCTION

PRELIMINARY IMPROVEMENT PLAN

500 PITTSBURG AVENUE
CONTRA COSTA COUNTY, CALIFORNIA

PROJECT NUMBER 216205
SCALE AS NOTED
SHEET C-2

2 OF 4



Balance Hydrologics, Inc.
 800 Bancroft Way - Suite 101
 Berkeley, CA 94710
 tel (510) 704-1000 - fax (510) 704-1001
 www.balancehydro.com

DESIGNED BY	DATE	BY	SUBMITTALS / REVISIONS
A. NAZAROV	20170517	AN	60% SUBMITTAL
DRAWN BY			
D. JEPSEN			
CHECKED BY			
E. BALLMAN			
IN CHARGE			
E. BALLMAN			
DATE	20170517		

NOT FOR
CONSTRUCTION

EASTERN CLOSURE
 500 PITTSBURG AVENUE
 CONTRA COSTA COUNTY, CALIFORNIA

PROJECT NUMBER
216205

SCALE
AS NOTED

SHEET
C-4
4 OF 4