

ARCHITECTURAL ABBREVIATIONS

Ø AT Ø DIAMETER	MAX MECH MFR MIN MISC MO MTD MTL	MAXIMUM MECHANICAL MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING MOUNTED METAL
ADJ ADJACENT AFF ABOVE FINISH FLOOR AG ABOVE GRADE ALT ALTERNATE ALUM ALUMINUM ANO ANODIZED APPROX APPROXIMATELY ARCH ARCHITECT	N (N) NIC NTS	NOTE NEW NOT IN CONTRACT NOT TO SCALE
BD BOARD BLK BLOCK BM BEAM BTWN BETWEEN	OC OFCI OFOI OH OPNG	ON CENTER OWNER FURNISHED- CONTRACTOR INSTALLED OWNER FURNISHED- OWNER INSTALLED OVERHEAD OPENING
CAB CABINET CL CLOSET CLG CEILING CLR CLEAR CMU CONCRETE MASONRY UNIT CONC CONCRETE CONT CONTINUOUS CONTR CONTRACTOR CPT CARPET CRS COURSES CT CERAMIC TILE	PLAM PT PTD QT QTY	PROPERTY LINE HIGH PRESSURE LAMINATE PAINT PAINTED QUARRY TILE QUANTITY
(D) DEMOLISH DBL DOUBLE DIA DIAMETER DIM DIMENSION DN DOWN DS DOWNSPOUT DWG DRAWING (E) EXISTING ELECT ELECTRICAL EOS EDGE OF SLAB EQ EQUAL EXT EXTERIOR	R RCP RD REF REQ'D REV RM	RADIUS or RISER REFLECTED CEILING PLAN ROOF DRAIN REFRIGERATOR REQUIRED REVISION or REVISED ROOM
FF FINISH FLOOR FIN FINISH FJ FLOOR JOIST FLR FLOOR FMC FLOOR MATERIAL CHANGE FOP FACE OF FINISH FOM FACE OF MASONRY FOS FACE OF STUD FR FIRE RESISTIVE FS FINISH SURFACE	SC SCW SF SHT SHTG SIM SL S STL STL STRUCT	SOLID CORE SOLID CORE WOOD SQUARE FEET SHEET SHEATHING SIMILAR SLOPE STAINLESS STEEL STEEL STRUCTURAL
GA GAUGE GALV GALVANIZED GC GENERAL CONTRACTOR GYP BD GYPSUM BOARD	T TH THK TJ TOC TOP TOS TOSHTG TOW TO TYP	TREAD THRESHOLD THICK TRUSS JOIST TOP OF CONCRETE TOP OF PARAPET TOP OF SLAB TOP OF SHEATHING TOP OF WALL TOP OF TYPICAL
HB HOSE BIBB HC HOLLOW CORE HCW HOLLOW CORE WOOD HDR HEADER HM HOLLOW METAL HP HIGH POINT HR HANDRAIL HT HEIGHT	UNO VCT VERT VIF	UNLESS NOTED OTHERWISE VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD
INS INSULATION INT INTERIOR	W WC WD WH WP WPT	WITH WATER CLOSET WOOD WATER HEATER WATERPROOF WORK POINT
JST JOIST		
LAM LAMINATE LIN LINOLEUM		

PROJECT DESCRIPTION

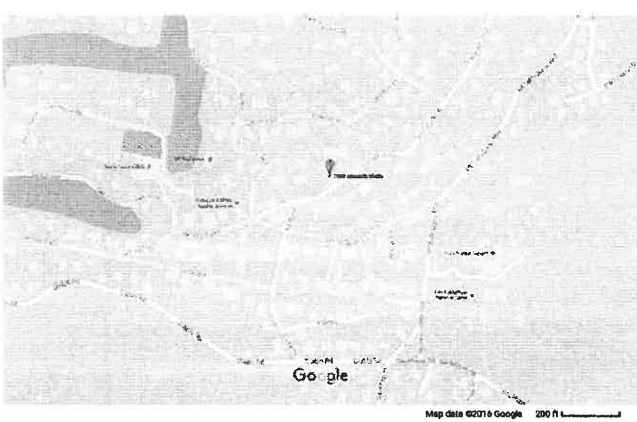
ADDITION AND REMODEL OF EXISTING SINGLE FAMILY RESIDENCE.

ADDITION OF 662 SQUARE FEET (225 OF LOT COVERAGE). REMODEL INCLUDES KITCHEN, FAMILY ROOM, DINING ROOM AND ADDITION OF ONE BEDROOM AND ONE HALF BATH.

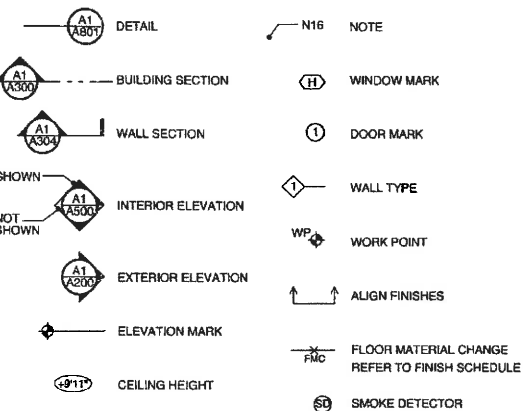
MECHANICAL, PLUMBING AND ELECTRICAL UPGRADES TO AREAS OF WORK.

SPRINKLERS ARE NOT REQUIRED - AREA OF ADDITION IS LESS THAN 50% OF TOTAL BUILDING AREA.

VICINITY MAP



ARCHITECTURAL SYMBOLS



SHEET INDEX

T0.0	PROJECT INFORMATION / GENERAL NOTES
CIVIL	
C1.0	PLAN
C2.0	SECTIONS
ARCHITECTURAL	
A0.0	SITE PLAN
A0.1	DEMOLITION PLAN, LOWER LEVEL
A0.2	DEMOLITION PLAN, UPPER LEVEL
A1.1	PLAN, LOWER LEVEL
A1.2	PLAN, UPPER LEVEL
A1.5	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
STRUCTURAL	
S2.0	FOUNDATION AND FIRST FLOOR FRAMING PLAN

PROJECT DIRECTORY

**OWNER:**  
SCOTT LAWRENCE  
2087 ALAMEDA DIABLO  
DIABLO, CA 94528  
slawrence955@gmail.com

**ARCHITECT:**  
FAIRCHILD BROMS DESIGN  
PO BOX 1528  
SAN ANSELMO, CA 94960  
415.459.8699  
CONTACT: JESSICA FAIRCHILD  
jessica@fairchildbromsdesign.com

**CIVIL ENGINEER:**  
DEBOLT ENGINEERS  
811 SAN RAMON VALLEY BLVD.  
DANVILLE, CA 94526  
925.837.3790  
CONTACT: JAMES DIGGINS

**STRUCTURAL ENGINEER:**  
DALE F. JONES SE  
3250 SEGWICK CIRCLE  
LOVELAND, CO 80538  
925.872.2737  
CONTACT: DALE JONES

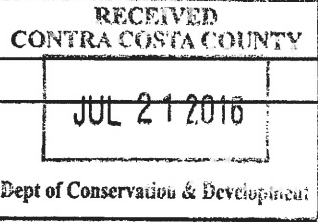
**GEOTECHNICAL ENGINEER:**  
PURCELL, RHOADES & ASSOC  
1041 HOOK AVE  
PLEASANT HILL, CA 94523  
925.932.1177  
CONTACT: DANIEL RHOADES

**HISTORIC CONSULTANT:**  
VALERIE NAGEL  
925.324.9572

PROJECT INFORMATION

LOCATION:  
2087 ALAMEDA DIABLO  
DIABLO, CA  
APN: 195-250-017  
ZONE R-20

APPLICABLE CODES:  
2013 CALIFORNIA RESIDENTIAL  
BUILDING CODE  
2013 CALIFORNIA BUILDING CODE  
2013 CALIFORNIA FIRE CODE  
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE  
2013 CALIFORNIA PLUMBING CODE  
2013 CALIFORNIA MECHANICAL CODE  
2013 CALIFORNIA ELECTRICAL CODE  
2013 CALIFORNIA ENERGY CODE  
APPLICABLE SECTIONS OF THE COUNTY OF CONTRA COSTA MUNICIPAL CODE



ZONE R-20 REQUIREMENTS

LOT SIZE:	20,000 SF (13,000 SF EXISTING)
LOT WIDTH:	120 FEET AVE WIDTH (100' EXISTING)
LOT DEPTH:	120 FEET (113 - 206' EXISTING)
MAX BLDG HEIGHT:	2 1/2 STORIES 35 FEET (25'-5" EXISTING)
SIDE YARD:	AGGREGATE 35' 15' MIN (3' FOR ACCESSORY STRUCTURE)
FRONT YARD:	25 FEET
REAR YARD:	15 FEET (3' FOR ACCESSORY STRUCTURE) (SEE SITE PLAN A0.0 FOR EXISTING)

EXISTING CONDITIONS

LOT COVERAGE	
LOT SIZE:	13,000 SF
HOUSE:	1,788 SF
GARAGE:	492 SF
SHED:	66 SF
SUBTOTAL:	2,346 SF
LOT COVERAGE:	18%
FRONT STEPS:	28 SF
DRIVEWAY:	2,146 SF
TOTAL COVERED SF (INCLUDING DRIVEWAY)	4,520 SF
LANDSCAPED AREA (APPROX):	4,135 SF
NATURAL AREA:	4,345 SF

FLOOR AREA

FIRST FLOOR:	1,788 SF
SECOND FLOOR:	743 SF
TOTAL FLOOR AREA:	2,531 SF
BASEMENT:	174 SF
GARAGE:	492 SF
SHED:	66 SF

PROPOSED CONDITIONS

LOT COVERAGE	
LOT SIZE:	13,000 SF
HOUSE:	1,788 SF
ADDITION:	225 SF
GARAGE:	492 SF
SHED:	66 SF
SUBTOTAL:	2,571 SF
LOT COVERAGE:	20%
FRONT STEPS:	28 SF
DRIVEWAY:	2,146 SF
TOTAL COVERED SF (INCLUDING DRIVEWAY)	4,745 SF
LANDSCAPED AREA (APPROX):	3,910 SF
NATURAL AREA:	4,345 SF

FLOOR AREA

FIRST FLOOR:	2,013 SF (225 ADDITION)
SECOND FLOOR:	1,180 SF (437 ADDITION)
TOTAL FLOOR AREA:	3,193 SF
BASEMENT:	174 SF
GARAGE:	492 SF
SHED:	66 SF

LAWRENCE-JOHNSON  
REMODEL

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DIABLO, CA 94528  
APN 195-250-017-9

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Broms  
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ISSUED:  
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JOB NO. 16005

DATE: 07.21.2016

SCALE: 1/8" = 1'-0"

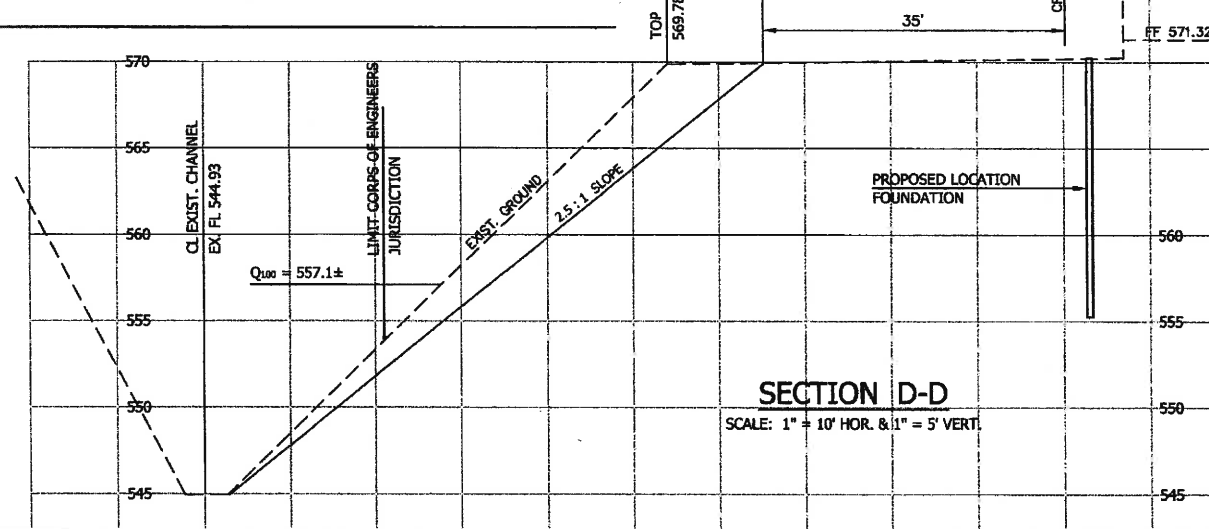
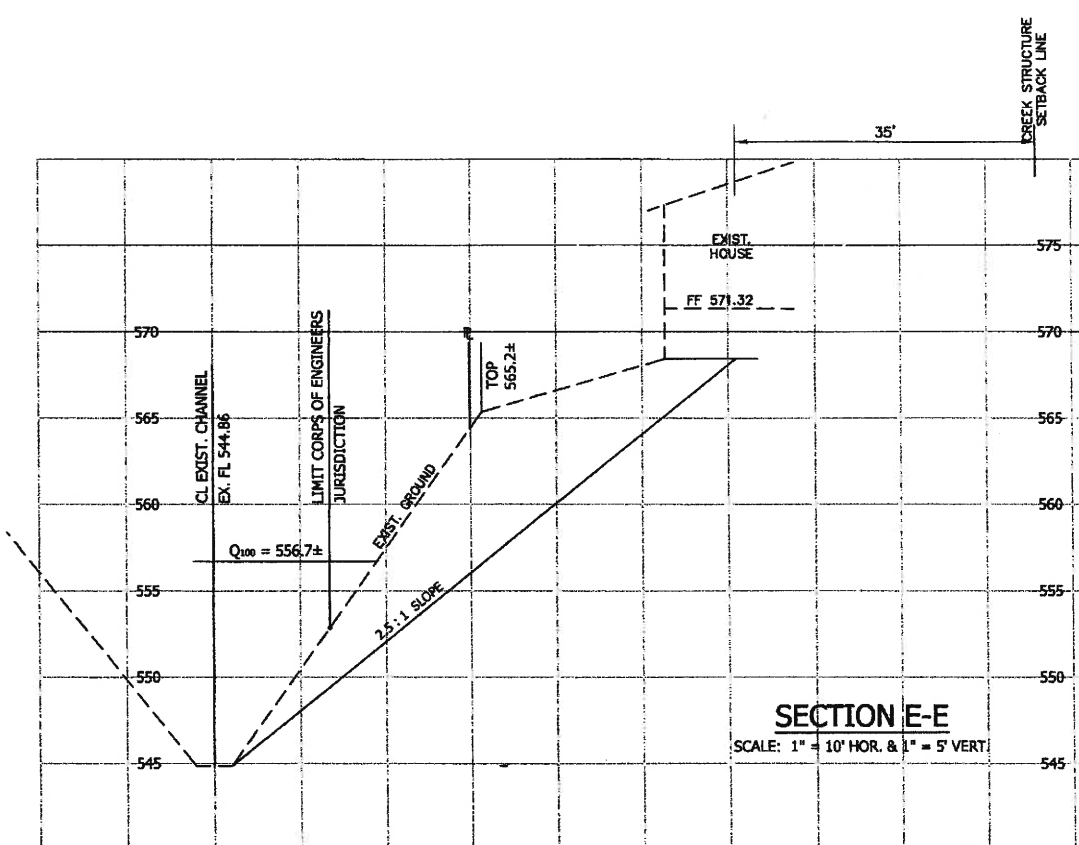
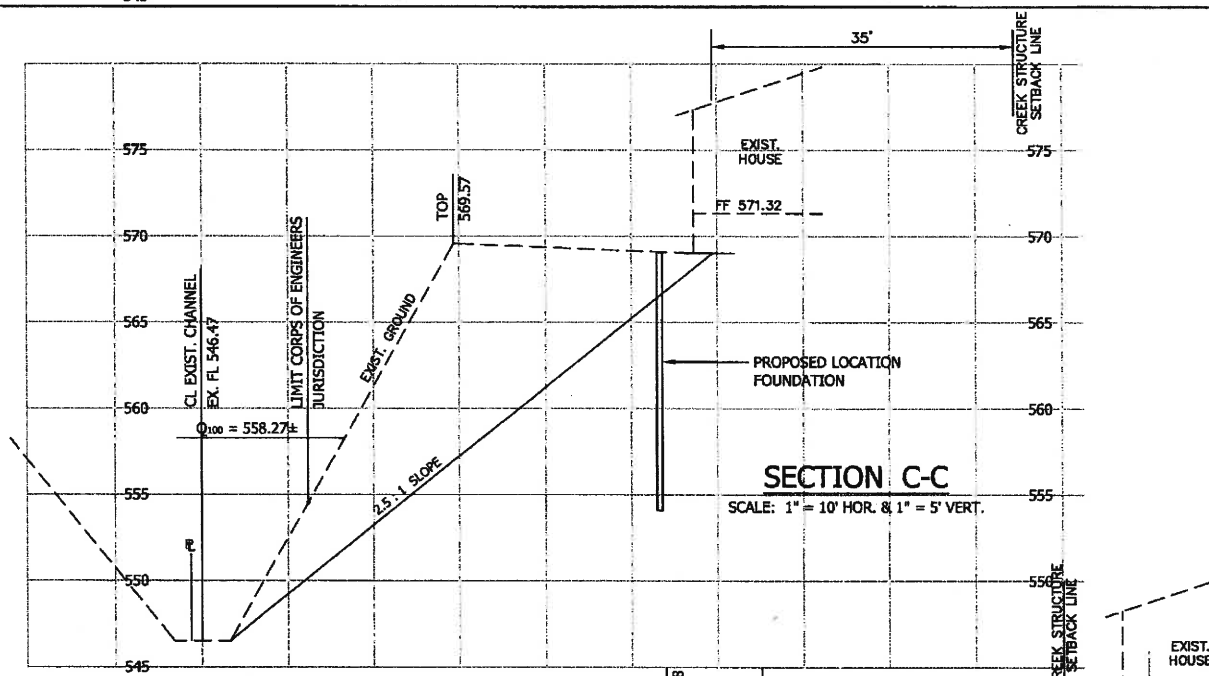
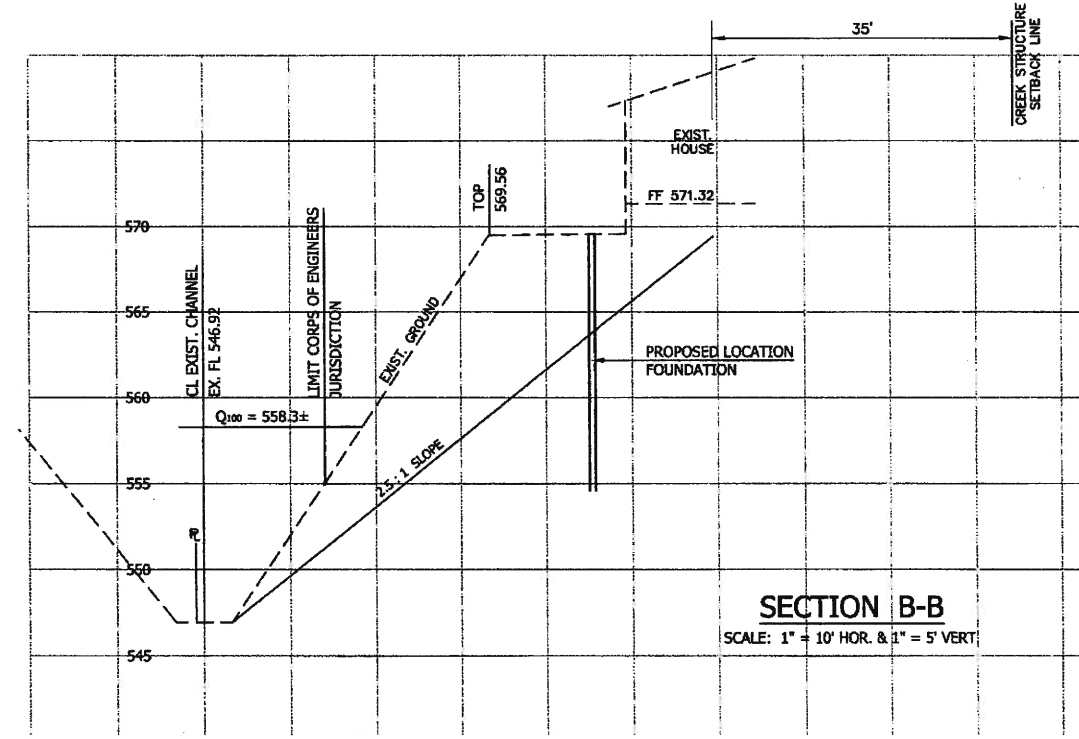
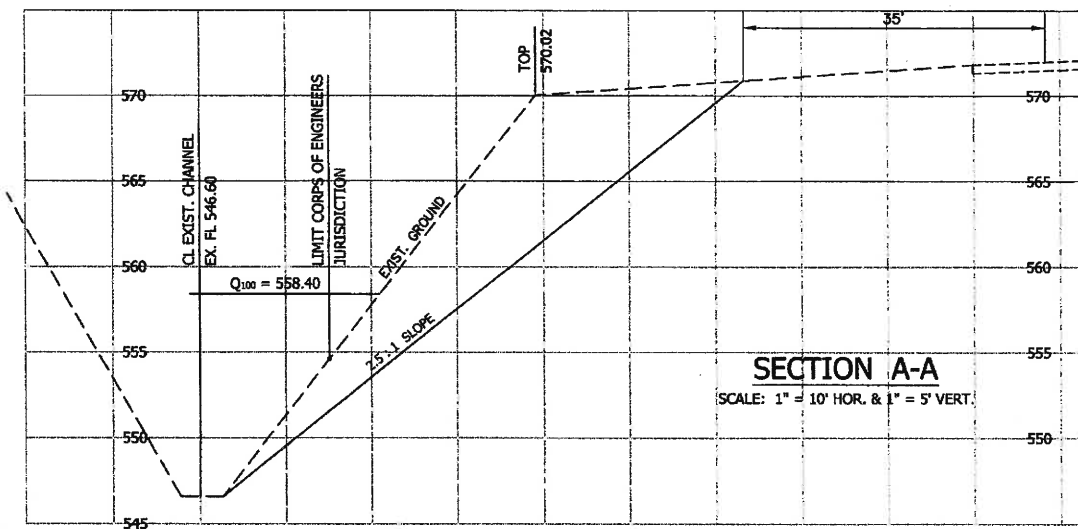
SHEET TITLE:

PROJECT  
INFORMATION

SHEET NUMBER:

T0.0





# CREEK STRUCTURE SETBACK EXHIBIT

# 2067 ALAMEDA DIABLO

DIABLO

CONTRA COSTA COUNTY

CALIFORNIA

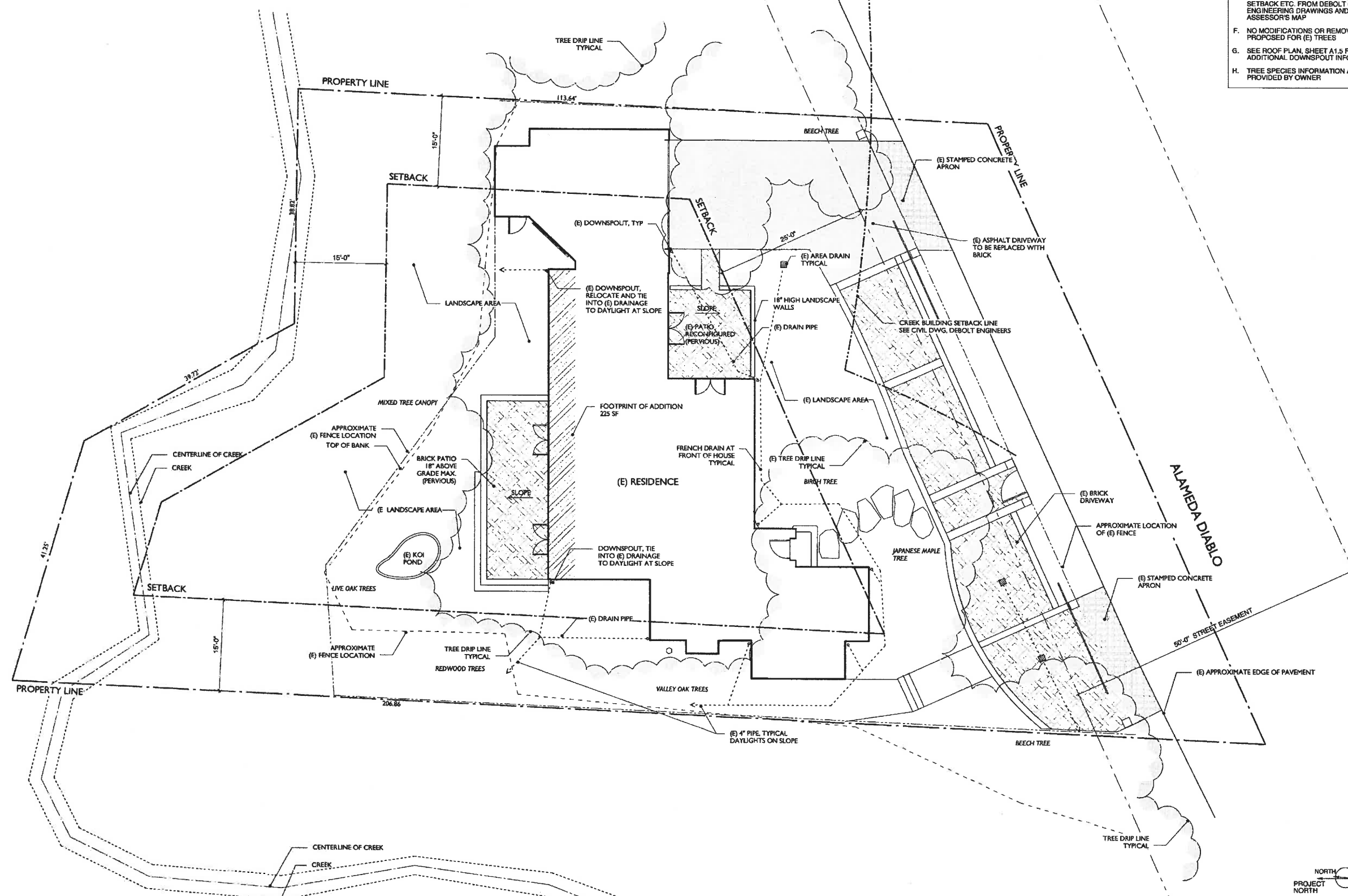
JAMES E. DIGGINS R.C.E. 27818  
RENEWAL DATE: 03/31/2018

#	REVISIONS	DATE
1	ADD SOLDIER PIER WALL	1/30/2015
2	ADDED CORPS JURISDICTION	5/11/2015
3	ADDED 2ND SHI WADDITIONAL SECTIONS	8/29/2015
4	REMOVED SOLDIER PIER WALL	3/3/2016



DeBolt Civil Engineering  
811 San Ramon Valley Boulevard  
Danville, California 94526  
Tel: 925/837-3780  
Fax: 925/837-4378

Date: 12/3/2014  
Scale: 1" = 10'  
By: JED / adv  
Job No.: 14337



GENERAL NOTES

- A. (E) DRAINAGE LAYOUT PROVIDED BY OWNER BASED ON WORK COMPLETED IN 2014
- B. ALL GRADES TO SLOPE AWAY FROM STRUCTURE AT A MINIMUM OF 6" IN THE FIRST 10', VERIFY IN FIELD
- C. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION ON CREEK LOCATION, SLOPE AND SETBACK
- D. TRIM AND PRUNE (E) LANDSCAPE AWAY FROM STRUCTURE, CONFIRM IRRIGATION IS NOT SPRAYING ON BUILDING FOUNDATION SOIL
- E. INFORMATION ON PROPERTY LINES, SETBACK ETC. FROM DEBOLT CIVIL ENGINEERING DRAWINGS AND ASSESSOR'S MAP
- F. NO MODIFICATIONS OR REMOVALS ARE PROPOSED FOR (E) TREES
- G. SEE ROOF PLAN, SHEET A1.5 FOR ADDITIONAL DOWNSPOUT INFORMATION
- H. TREE SPECIES INFORMATION AND CANOPY PROVIDED BY OWNER

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SCALE: 1/8" = 1'-0"

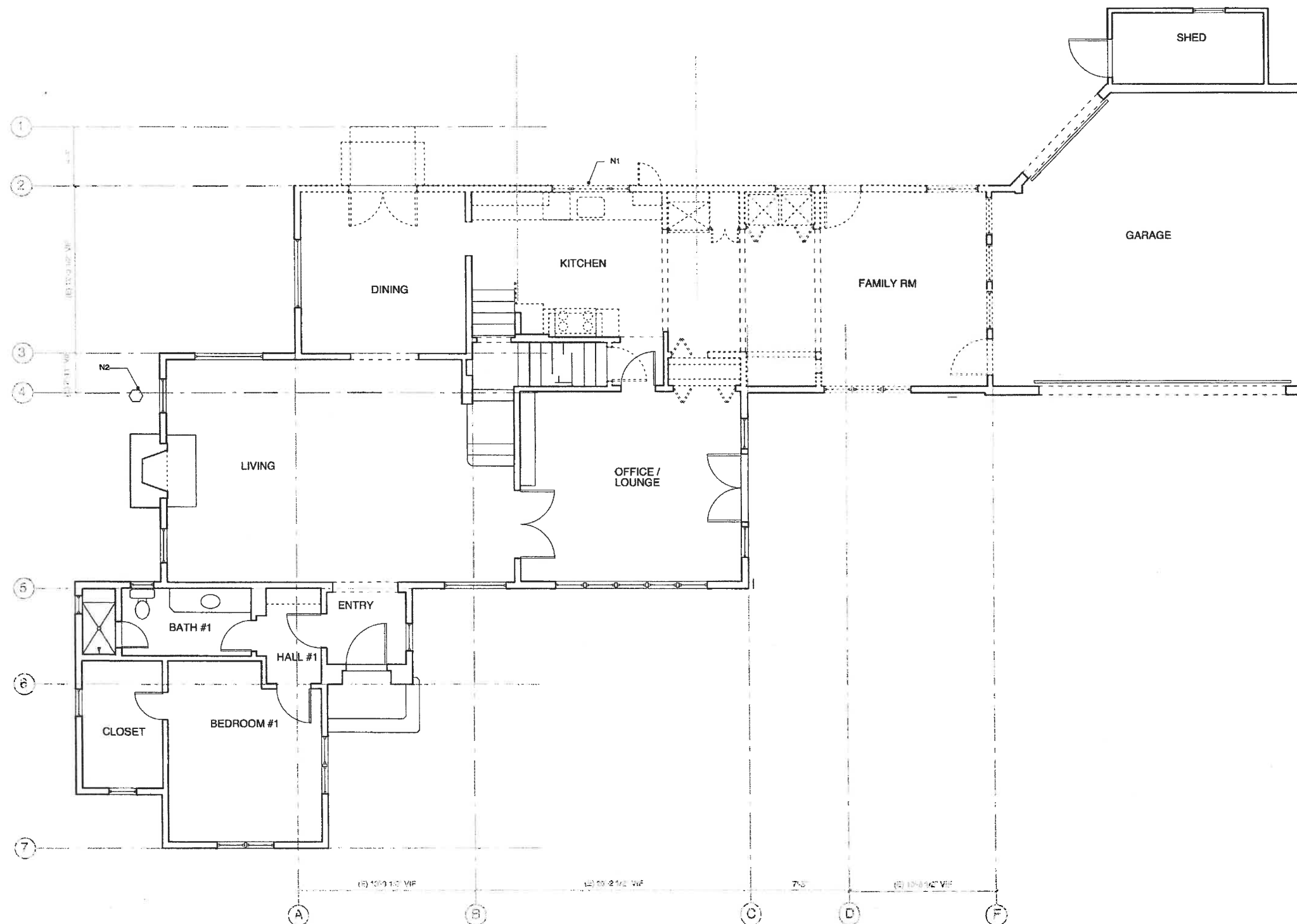
SHEET TITLE:  
SITE PLAN

SHEET NUMBER:  
A0.0

SITE PLAN  
SCALE: 1/8" = 1'-0"



A1



DEMOLITION FLOOR PLAN - LOWER LEVEL  
SCALE: 1/4" = 1'-0"

A1

## NOTES

1. RETAIN FOR REUSE
2. (E) GAS METER LOCATION

## GENERAL NOTES

- ALL WALLS NOTED TO REMAIN - PROTECT (E) FINISHES AND TRIMS
- ALL (E) FLOORING TO BE PROTECTED IN PLACE UON

## LEGEND

- WALLS TO BE REMOVED
- ===== WALLS TO REMAIN

# LAWRENCE-JOHNSON REMODEL

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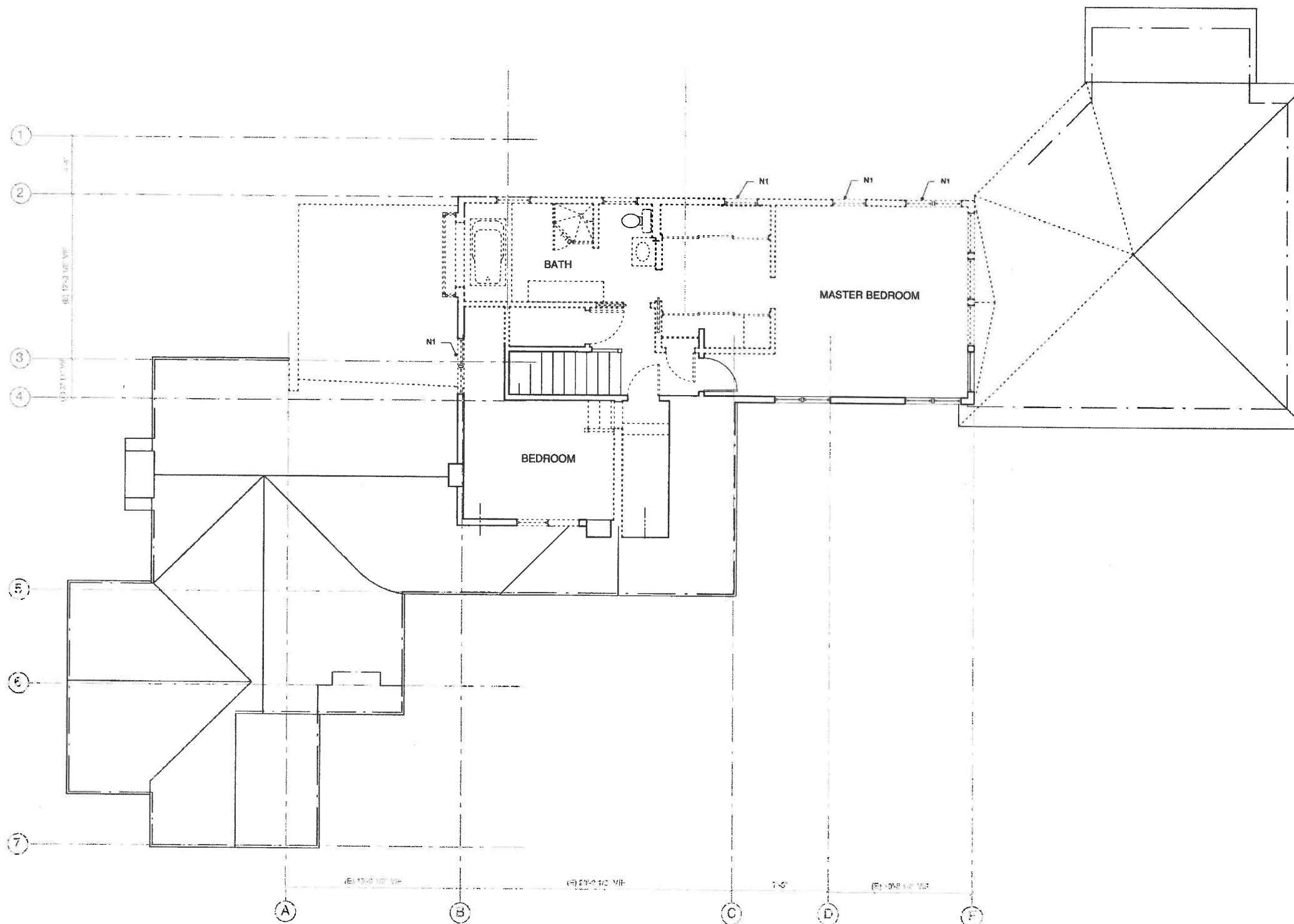
SCALE: AS NOTED

SHEET TITLE:

LOWER LEVEL  
DEMOLITION

SHEET NUMBER:

A0.1



DEMOLITION FLOOR PLAN - UPPER LEVEL  
SCALE: 1/4" = 1'-0"



A1

## NOTES

1. RETAIN FOR REUSE

## GENERAL NOTES

- ALL WALLS NOTED TO REMAIN - PROTECT (E) FINISHES AND TRIMS
- ALL WOOD FLOORING AND CARPET TO BE REMOVED THROUGHOUT

## LEGEND

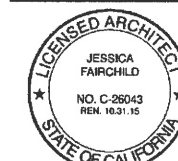
- ..... WALLS TO BE REMOVED  
 ===== WALLS TO REMAIN

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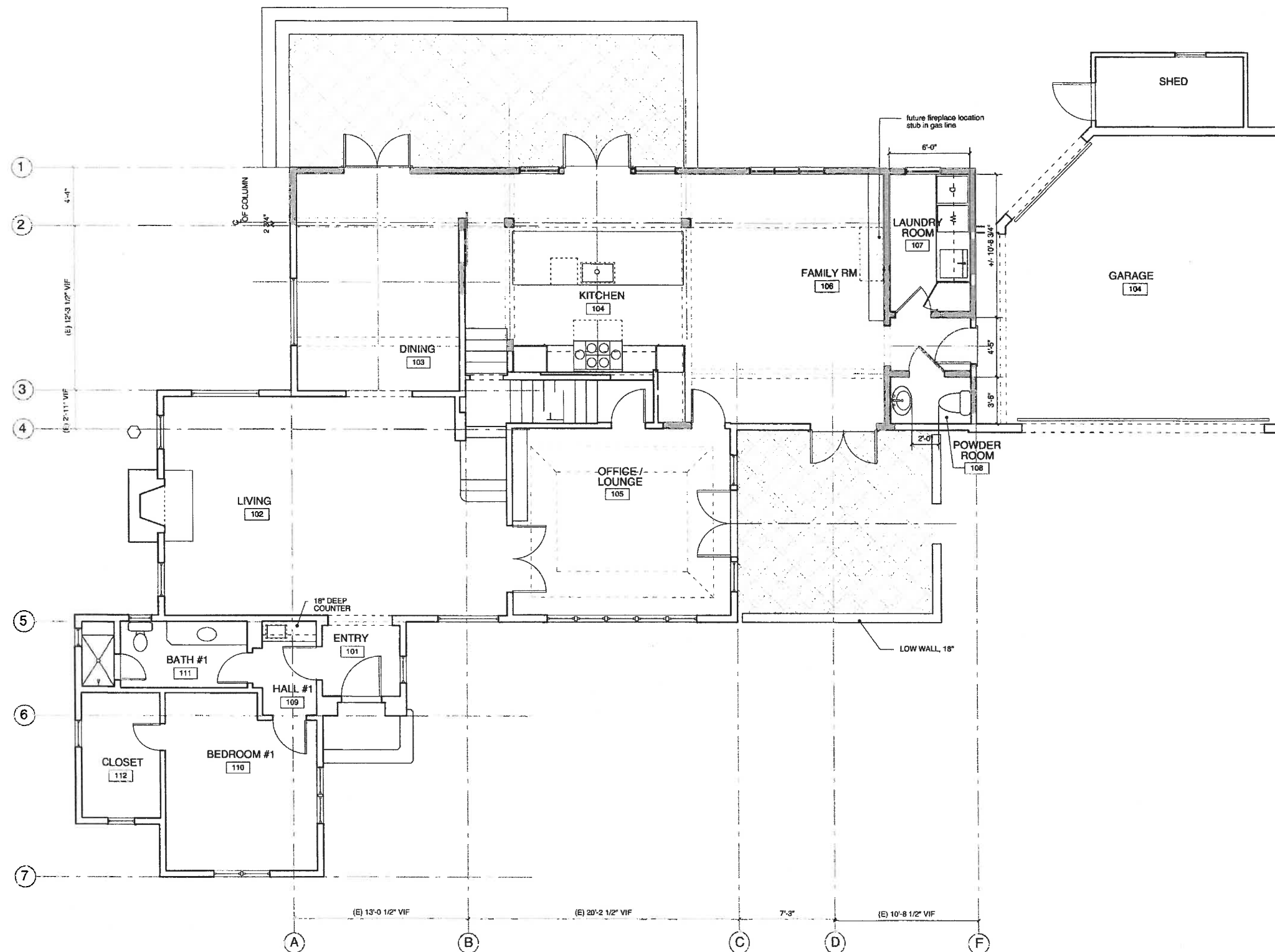
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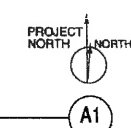
SHEET TITLE:  
UPPER LEVEL  
DEMOLITION

SHEET NUMBER:

A0.2



ADDED SF: 225 SF  
**FLOOR PLAN - LOWER LEVEL**  
 SCALE: 1/4" = 1'-0"



## NOTES

1. XX
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.
- 9.
- 10.
- 11.
- 12.
- 13.
- 14.
- 15.

## GENERAL NOTES

- A. ALL DOORS NOT SCHEDULED ARE CASEWORK
- B. PROTECT (E) FINISHES IN PLACE
- C. PROVIDE ROD AND SHELF AT ALL CLOSETS TYPICAL
- D. RELOCATE ELECTRICAL OUTLETS AS REQUIRED TO ACCOMMODATE RELOCATED WALL OPENINGS, ALL NEW ELECTRICAL WORK TO BE PER APPLICABLE CODES

## LEGEND

- NEW WALL, 2X4 S&B GYP BD BOTH SIDES ALIGN WITH ADJACENT FINISHES
- (E) WALL, PROTECT FINISHES
- DOOR NUMBER, SEE SHEET A7.0 1" IS AN EXISTING DOOR TO REMAIN, RE-PAINT, TYPICAL
- WINDOW NUMBER, SEE SHEET A7.0 1" IS AN EXISTING WINDOW TO REMAIN, TYPICAL

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DATE: 07.21.2016

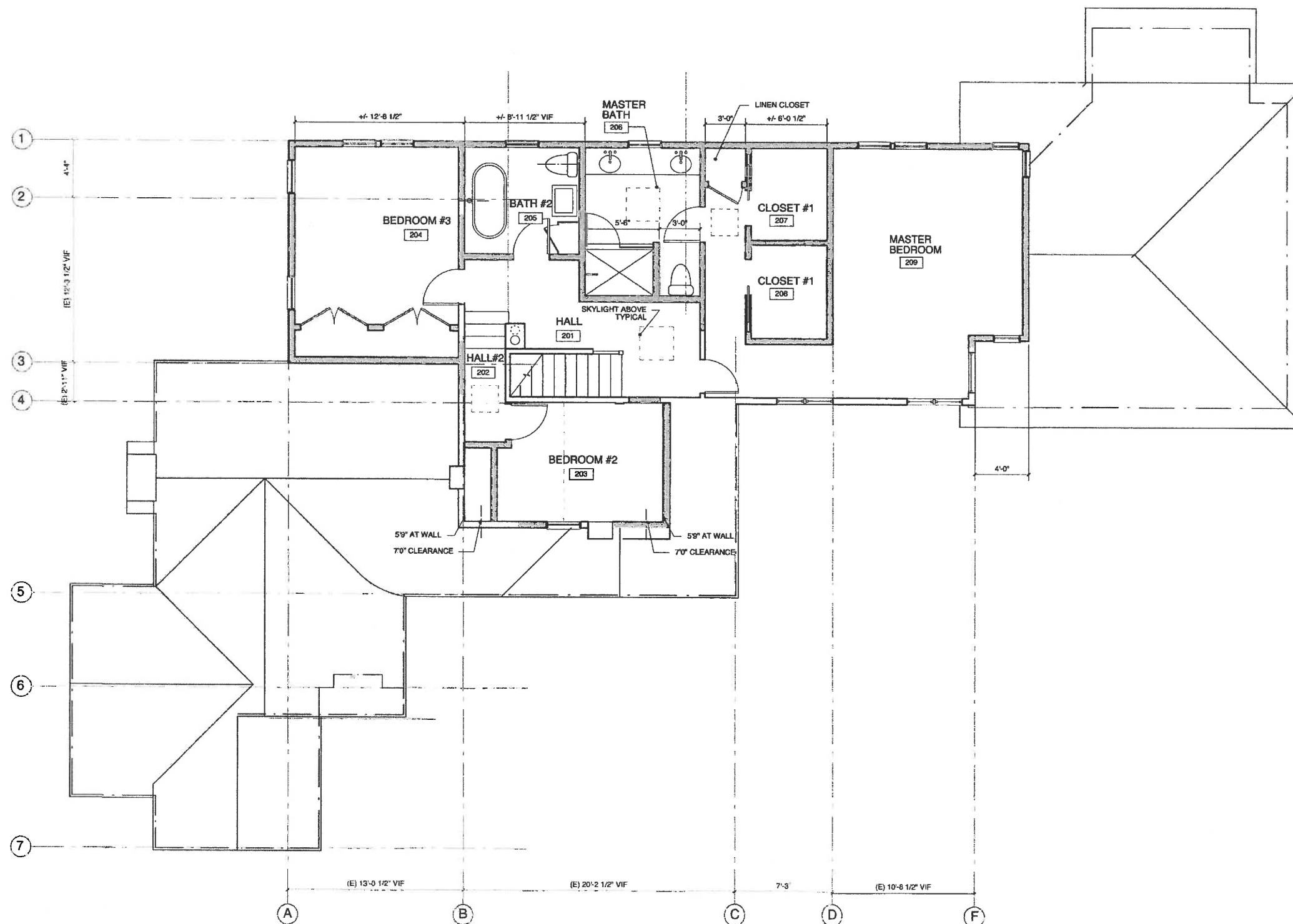
SCALE: AS NOTED

SHEET TITLE:

**LOWER LEVEL  
 FLOOR PLAN**

SHEET NUMBER:

**A1.1**



ADDED SF: 437 SF  
FLOOR PLAN - UPPER LEVEL  
SCALE: 1/4" = 1'-0"

A1

## NOTES

1. XX
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.
- 9.
- 10.
- 11.
- 12.
- 13.
- 14.
- 15.
- 16.
- 17.
- 18.
- 19.
- 20.
- 21.
- 22.

## GENERAL NOTES

- A. XX
- B.
- C.
- D.
- E.

## LEGEND

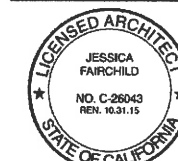
- NEW WALL, 2X4 5/8" GYP BD BOTH SIDES ALIGN WITH ADJACENT FINISHES
- (E) WALL, PROTECT FINISHES, UON
- DOOR NUMBER, SEE SHEET A7.0 "E" IS AN EXISTING DOOR TO REMAIN, RE-PAINT, TYPICAL
- WINDOW NUMBER, SEE SHEET A7.0 "E" IS AN EXISTING WINDOW TO REMAIN, TYPICAL

**LAWRENCE-JOHNSON  
REMODEL**

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JOB NO: 16005

DATE: 07.21.2016

SCALE: AS NOTED

SHEET TITLE:

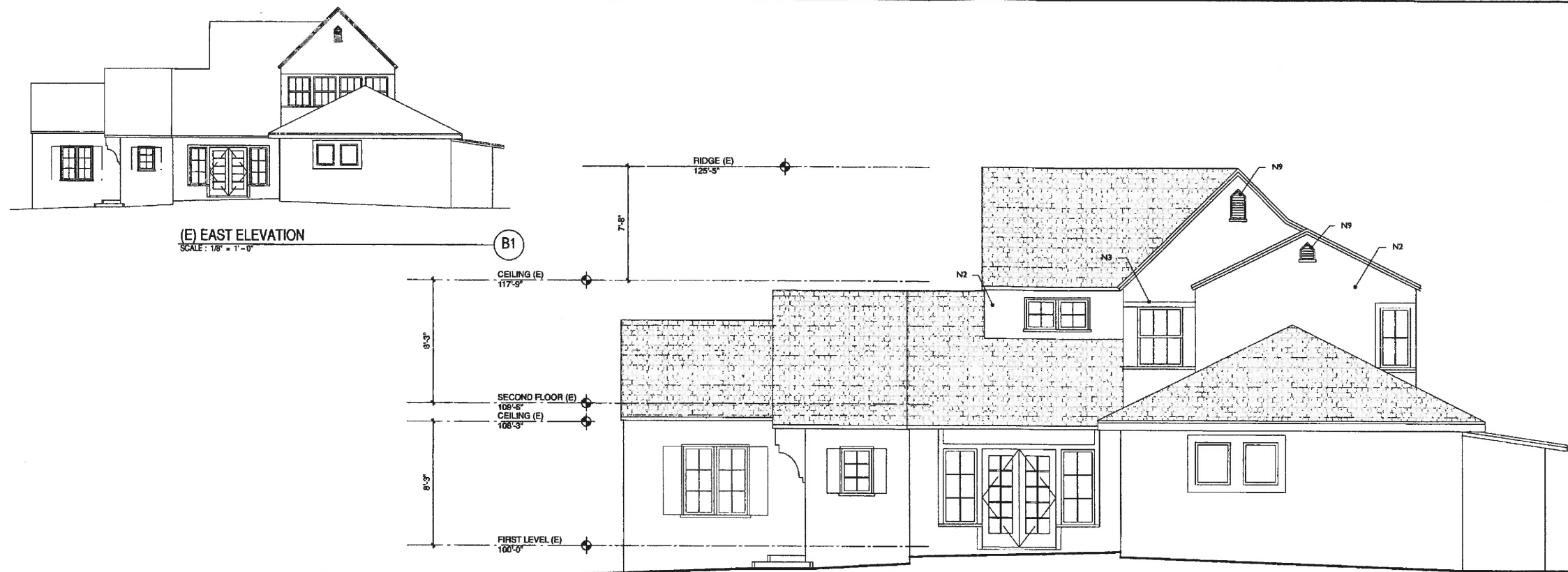
**UPPER LEVEL  
FLOOR PLAN**

SHEET NUMBER:

**A1.2**







(E) EAST ELEVATION  
SCALE: 1/8" = 1'-0"

B1

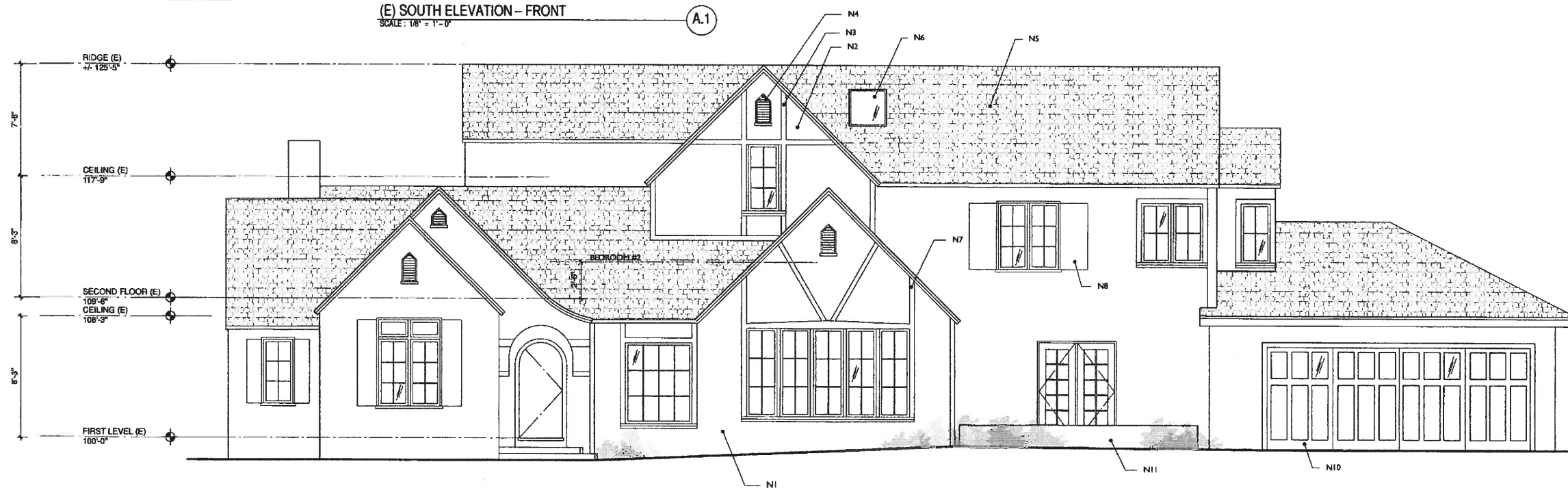
EAST ELEVATION  
SCALE: 1/4" = 1'-0"

B1



(E) SOUTH ELEVATION - FRONT  
SCALE: 1/8" = 1'-0"

A.1



SOUTH ELEVATION - FRONT  
SCALE: 1/4" = 1'-0"

A1

## NOTES

- (E) EXTERIOR HAND TROWELED PLASTERFINISH TO REMAIN, PAINTED
- NEW EXTERIOR PLASTER FINISH TO MATCH (E) HAND TROWELED, PAINTED
- TIMBER ACCENTS, RECESS IN PLASER FINISH TO MATCH (E)
- ATTIC VENT TO MATCH (E), TYPICAL FALSE VENT IN THIS LOCATION
- (E) WOOD SHAKE ROOFING TO BE REPLACED THROUGHOUT. ROOFING TO BE DAVINCI SHAKE SINGLE WIDTH, ECOSTAR SENeca SHAKE OR ENVIROSHAKE, COLOR TO BE DETERMINED TO MATCH (E) ROOFING
- SKYLIGHT, TYPICAL
- (E) TIMBER ACCENTS
- (E) WOOD SHUTTERS
- ATTIC VENT TO MATCH (E)
- (E) GARAGE DOORS
- LOW CMU WALL, PLASTER FINISH TO MATCH (E) EXTERIOR PLASTER ON HOUSE

## GENERAL NOTES

- HOUSE AND GARAGE TO BE REPAINTED WHERE ALTERED TO MATCH (E)
- NEW WINDOWS AND DOORS TO MATCH (E)

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JOB NO. 16005

DATE: 07.21.2016

SCALE: AS NOTED

SHEET TITLE:  
EXTERIOR  
ELEVATIONS

SHEET NUMBER:

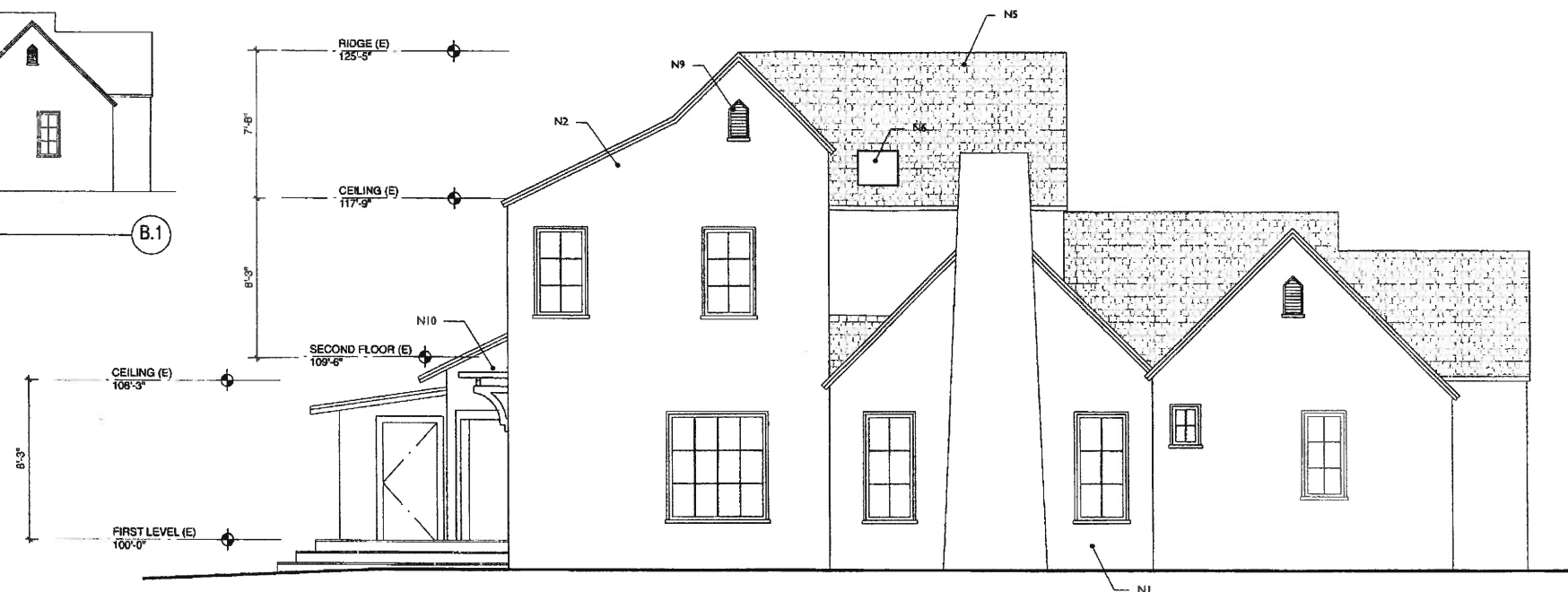
A2.0

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REMODEL



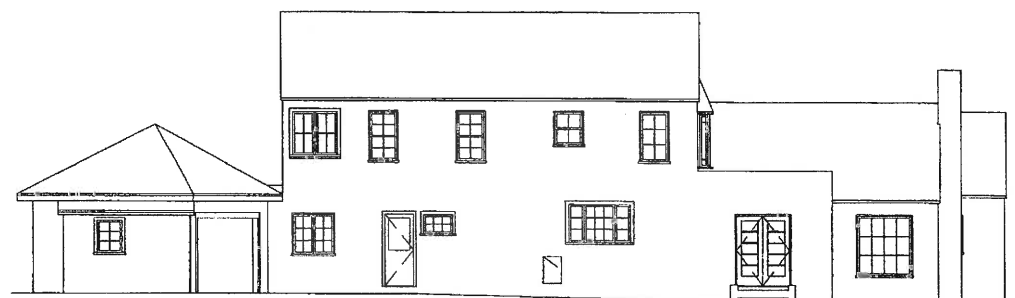
(E) WEST ELEVATION  
SCALE: 1/8" = 1'-0"

B.1



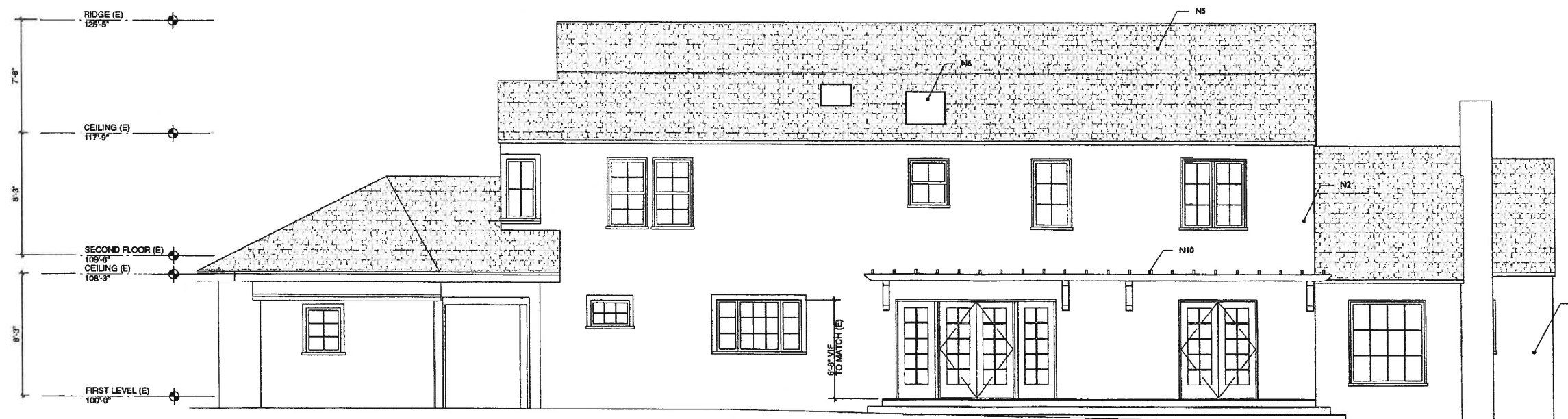
WEST ELEVATION  
SCALE: 1/4" = 1'-0"

B1



(E) NORTH ELEVATION - REAR  
SCALE: 1/8" = 1'-0"

A.1



NORTH ELEVATION - REAR  
SCALE: 1/4" = 1'-0"

A1

## NOTES

1. (E) EXTERIOR HAND TROWELED PLASTERFINISH TO REMAIN, PAINTED
2. NEW EXTERIOR PLASTER FINISH TO MATCH (E) HAND TROWELED, PAINTED
3. TIMBER ACCENTS, RECESS IN PLASER FINISH TO MATCH (E)
4. ATTIC VENT TO MATCH (E), TYPICAL FALSE VENT IN THIS LOCATION
5. (E) WOOD SHAKE ROOFING TO BE REPLACED THROUGHOUT. ROOFING TO BE DAVINCI SHAKE SINGLE WIDTH, ECOSTAR SENeca SHAKE OR ENVIROSHAKE, COLOR TO BE DETERMINED TO MATCH (E) ROOFING
6. SKYLIGHT, TYPICAL
7. (E) TIMBER ACCENTS
8. (E) WOOD SHUTTERS
9. ATTIC VENT TO MATCH (E)
10. WOOD TRELLIS, PAINTED TO MATCH WOOD TRIM

## GENERAL NOTES

- A. HOUSE AND GARAGE TO BE REPAINTED WHERE ALTERED TO MATCH (E)
- B. NEW WINDOWS AND DOORS TO MATCH (E)

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REMODEL

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JOB NO: 16005

DATE: 07.21.2016

SCALE: AS NOTED

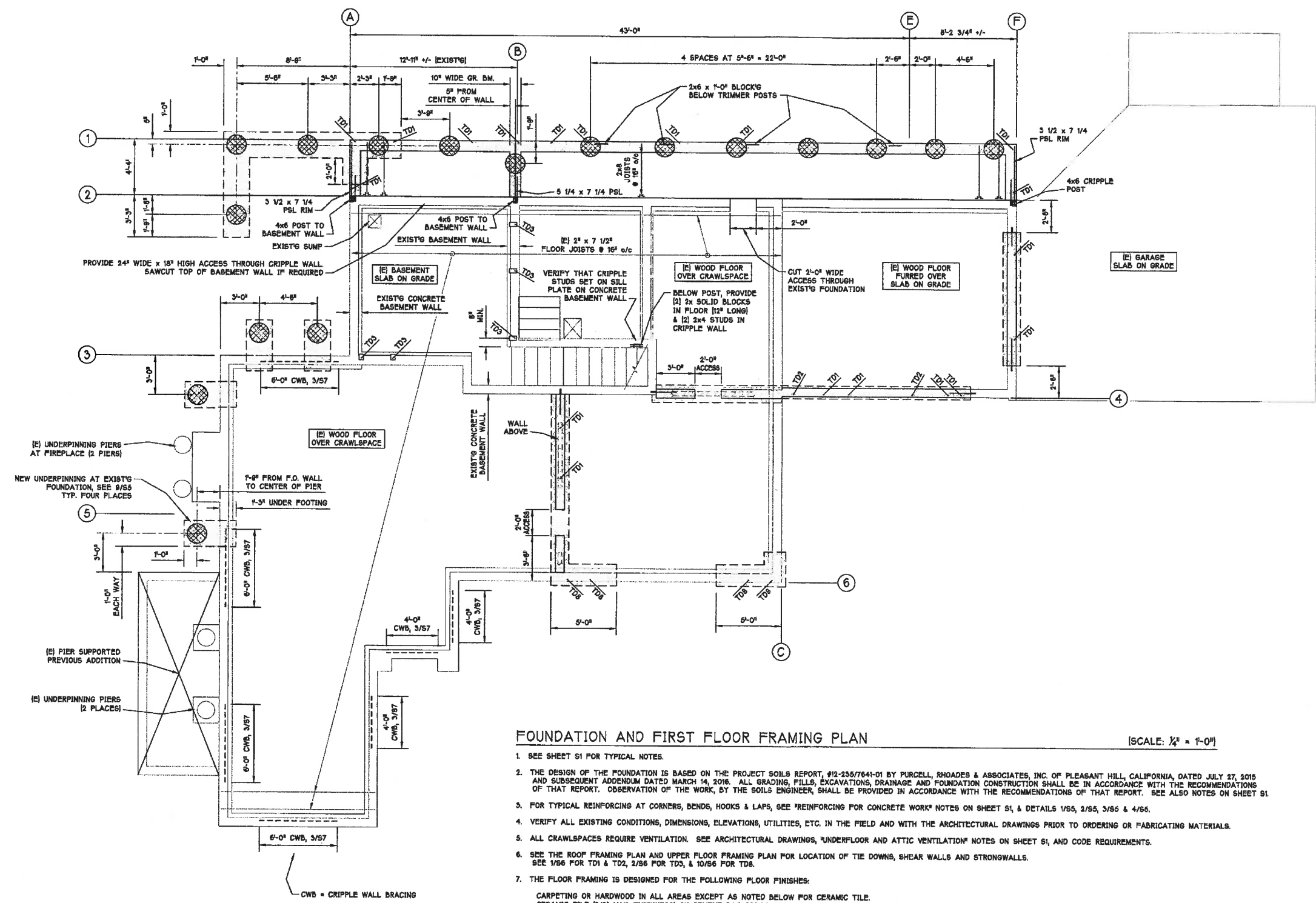
SHEET TITLE:

EXTERIOR  
ELEVATIONS

SHEET NUMBER:

A2.1

PIER LEGEND	
	NEW PIER, SEE DETAILS



### FOUNDATION AND FIRST FLOOR FRAMING PLAN

(SCALE: 1/4" = 1'-0")

- SEE SHEET S1 FOR TYPICAL NOTES.
- THE DESIGN OF THE FOUNDATION IS BASED ON THE PROJECT SOILS REPORT, #12-255/7641-01 BY PURCELL, RHOADES & ASSOCIATES, INC. OF PLEASANT HILL, CALIFORNIA, DATED JULY 27, 2015 AND SUBSEQUENT ADDENDUM DATED MARCH 14, 2016. ALL GRADING, FILLS, EXCAVATIONS, DRAINAGE AND FOUNDATION CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THAT REPORT. OBSERVATION OF THE WORK, BY THE SOILS ENGINEER, SHALL BE PROVIDED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THAT REPORT. SEE ALSO NOTES ON SHEET S1.
- FOR TYPICAL REINFORCING AT CORNERS, BENDS, HOOKS & LAPS, SEE 'REINFORCING FOR CONCRETE WORK' NOTES ON SHEET S1 & DETAILS 1/55, 2/55, 3/55 & 4/55.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, UTILITIES, ETC. IN THE FIELD AND WITH THE ARCHITECTURAL DRAWINGS PRIOR TO ORDERING OR FABRICATING MATERIALS.
- ALL CRAWLSPACES REQUIRE VENTILATION. SEE ARCHITECTURAL DRAWINGS, 'UNDERFLOOR AND ATTIC VENTILATION' NOTES ON SHEET S1, AND CODE REQUIREMENTS.
- SEE THE ROOF FRAMING PLAN AND UPPER FLOOR FRAMING PLAN FOR LOCATION OF TIE DOWNS, SHEAR WALLS AND STRONGWALLS. SEE 1/56 FOR TD1 & TD2, 2/56 FOR TD3, & 10/56 FOR TD8.
- THE FLOOR FRAMING IS DESIGNED FOR THE FOLLOWING FLOOR FINISHES:  
CARPETING OR HARDWOOD IN ALL AREAS EXCEPT AS NOTED BELOW FOR CERAMIC TILE.  
CERAMIC TILE (3/8" MAX. THICKNESS) ON CEMENT BACKERBOARD IN THE POWDER ROOM & LAUNDRY.  
IF IT IS DESIRED TO INSTALL CERAMIC TILE IN AREAS NOT SO DESIGNATED, CONTACT THE STRUCTURAL ENGINEER TO DETERMINE THE ADEQUACY OF THE FRAMING.
- FOR TYPICAL FLOOR SHEATHING, SEE 1/51.
- FOR TYPICAL HANGER SCHEDULE (WHERE NOT CALLED OUT ON PLAN), SEE 4/58.
- FOR HOLES, NOTCHES, ETC. IN FRAMING MEMBERS, SEE 5/58.

ADDITION & REMODEL  
LAWRENCE-JOHNSON RESIDENCE  
2067 Alameda Diablo, California

THIS DRAWING IS INTENDED TO BE PRINTED ON 24" x 36" PAPER

FOR PLANNING SUBMITTAL, NOT FOR CONSTRUCTION



DATE OF SIGNATURE: UNSIGNED

DRAWING DATES	ISSUED AS:
7/18/2016	FOR PLANNING SUBMITTAL, NOT FOR CONSTRUCTION

DRAWING DATES	REVISIONS

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### FOUNDATION & FIRST FLOOR FRAMING PLAN

PROJECT: #2777	
SCALE: 1/4" = 1'-0" U.N.O.	

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