



SITE C
CONTRA COSTA COUNTY

PRELIMINARY COMPUTER MODEL

PROJECT DIRECTORY

OWNER:
HALL EQUITIES GROUP
1855 OLYMPIC BLVD.,
SUITE 300
WALNUT CREEK, CA
94596
(925) 933-4000
REED ONATE

CIVIL ENGINEER:
KIER & WRIGHT
2850 COLLIER CANYON ROAD
LIVERMORE, CA 94551
(925) 245-8788
MICHAEL COOPER

LANDSCAPE ARCHITECT:
CAMP & CAMP ASSOCIATES
2520 CAMINO DIABLO
WALNUT CREEK, CA 94597
(925) 941-6490
TERRY CAMP

STRUCTURAL ENGINEER:
DCI ENGINEERS
100 MONTGOMERY STREET,
SUITE 1150
SAN FRANCISCO, CA 94104
(415) 781-1505
JEFF BRINK

MECHANICAL/PLUMBING:
ENGINEERING NETWORK
18 JULIE HIGHLANDS COURT
LAFAYETTE, CA 94549
(925) 370-6191
MANSOUR FIROUZIAN

ELECTRICAL ENGINEER:
FARD ENGINEERS
309 LENNON LANE, SUITE 200
WALNUT CREEK, CA 94598
(925) 932-5505
PERRY SAIDNIA

SHEET INDEX

CS-1 COVER SHEET
CS-2 PROPOSED LAND USES - SITE C

LANDSCAPE:
L-1 STREETSCAPE & LANDSCAPE PLAN - SITE C RENDERING
L-1.1 STREETSCAPE & LANDSCAPE PLAN - SITE C
L-2 SITE C AMENITIES - RENDERING
L-2.1 SITE C AMENITIES
L-3 TREE EXHIBIT
L-4 BIORETENTION PLANTS

ARCHITECTURE:
A-1 AREA TABULATION, APPLICABLE CODES, PARKING ANALYSIS, UNIT DATA
A-2 OVERALL 1ST FLOOR PLAN
A-3 OVERALL 2ND FLOOR PLAN
A-4 OVERALL 3RD FLOOR PLAN
A-5 OVERALL 4TH FLOOR PLAN
A-6 OVERALL ROOF PLAN
A-7 EXTERIOR ELEVATIONS
A-8 EXTERIOR ELEVATIONS
A-9 BUILDING SECTIONS
A-10 UNIT PLAN A1 & B1 ENLARGED FLOOR PLAN
A-11 UNIT PLAN B2 & C1 ENLARGED FLOOR PLAN
A-12 UNIT PLAN C2 ENLARGED FLOOR PLAN

CIVIL
C1 TOPOGRAPHIC SURVEY
C2 BOULEVARD WAY OVERALL DEVELOPMENT AREA
C3 GRADING PLAN - SITE C
C4 GRADING PLAN - STREETSCAPE
C5 UTILITY PLAN - SITE C
C6 VEHICLE PARKING PLAN - SITE C
C7 STORM WATER TREATMENT PLAN - SITE C
C8 STORM WATER TREATMENT PLAN - STREETSCAPE
C9 SURVEY EXHIBITS
C10 VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES
C11 VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES

DRAFT DESIGN-
SUBJECT TO
MODIFICATION

Preliminary Development Plan



SARANAP VILLAGE -Site C
CONTRA COSTA COUNTY, CA

PLANNING
SUBMITTAL
COVER
SHEET

REVISIONS:
• 15 FEB 17
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•
•
•
DATE: 14 JUL 15
SCALE: 1" = 10'-0"
JOB # 12-029
SHEET

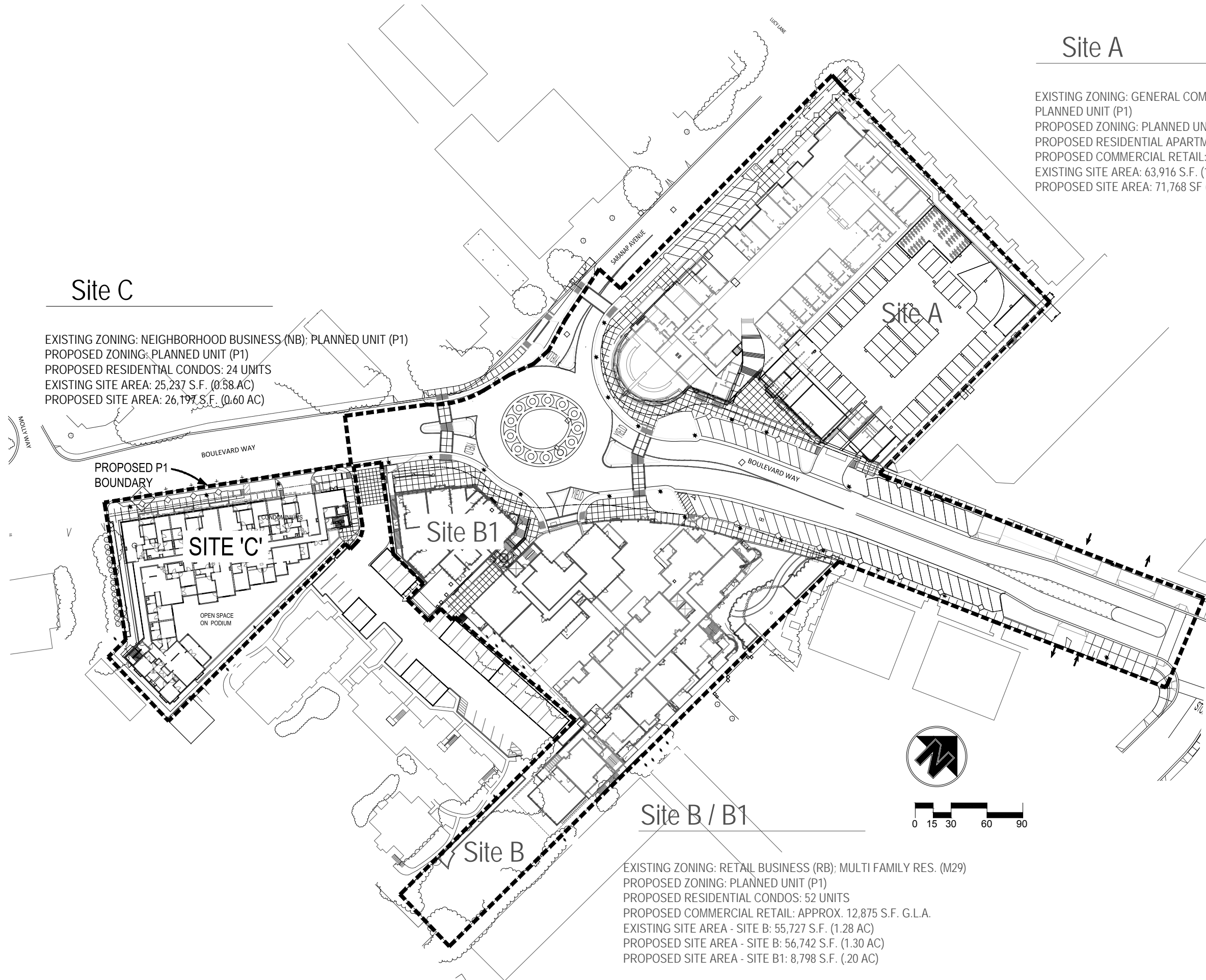
CS-1

Site A

EXISTING ZONING: GENERAL COMMERCIAL (C); MULTI FAMILY RES. (M29);
 PLANNED UNIT (P1)
 PROPOSED ZONING: PLANNED UNIT (P1)
 PROPOSED RESIDENTIAL APARTMENTS: 122 UNITS
 PROPOSED COMMERCIAL RETAIL: APPROX. 8700 S.F. G.L.A.
 EXISTING SITE AREA: 63,916 S.F. (1.47 AC)
 PROPOSED SITE AREA: 71,768 SF (1.64 AC)

Site C

EXISTING ZONING: NEIGHBORHOOD BUSINESS (NB); PLANNED UNIT (P1)
 PROPOSED ZONING: PLANNED UNIT (P1)
 PROPOSED RESIDENTIAL CONDOS: 24 UNITS
 EXISTING SITE AREA: 25,237 S.F. (0.58 AC)
 PROPOSED SITE AREA: 26,197 S.F. (0.60 AC)



Site B / B1

EXISTING ZONING: RETAIL BUSINESS (RB); MULTI FAMILY RES. (M29)
 PROPOSED ZONING: PLANNED UNIT (P1)
 PROPOSED RESIDENTIAL CONDOS: 52 UNITS
 PROPOSED COMMERCIAL RETAIL: APPROX. 12,875 S.F. G.L.A.
 EXISTING SITE AREA - SITE B: 55,727 S.F. (1.28 AC)
 PROPOSED SITE AREA - SITE B: 56,742 S.F. (1.30 AC)
 PROPOSED SITE AREA - SITE B1: 8,798 S.F. (.20 AC)

Proposed Land Uses- Site C

DRAFT DESIGN-
 SUBJECT TO MODIFICATION

SARANAP VILLAGE
 Walnut Creek, CA



SARANAP MEDIAN SIGN



PENDANT



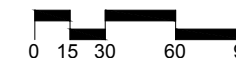
CROSSARM

NEW LED STREET LIGHT

MANUFACTURER: ANTIQUE STREET LAMPS
PENDANT STYLE: EUROTIQUE COPENHAGEN SERIES
CROSSARM STYLE: EAB4
FINISH: BLACK
WWW.ANTIQUESTREETLAMPS.COM



Streetscape and Landscape Plan-
Site C Revised



SARANAP VILLAGE
Walnut Creek, CA



2020 CAMINO DIABLO
WALNUT CREEK, CALIFORNIA 94597
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01-05-16
02-02-16
10-13-16
01-30-17



SARANAP MEDIAN SIGN



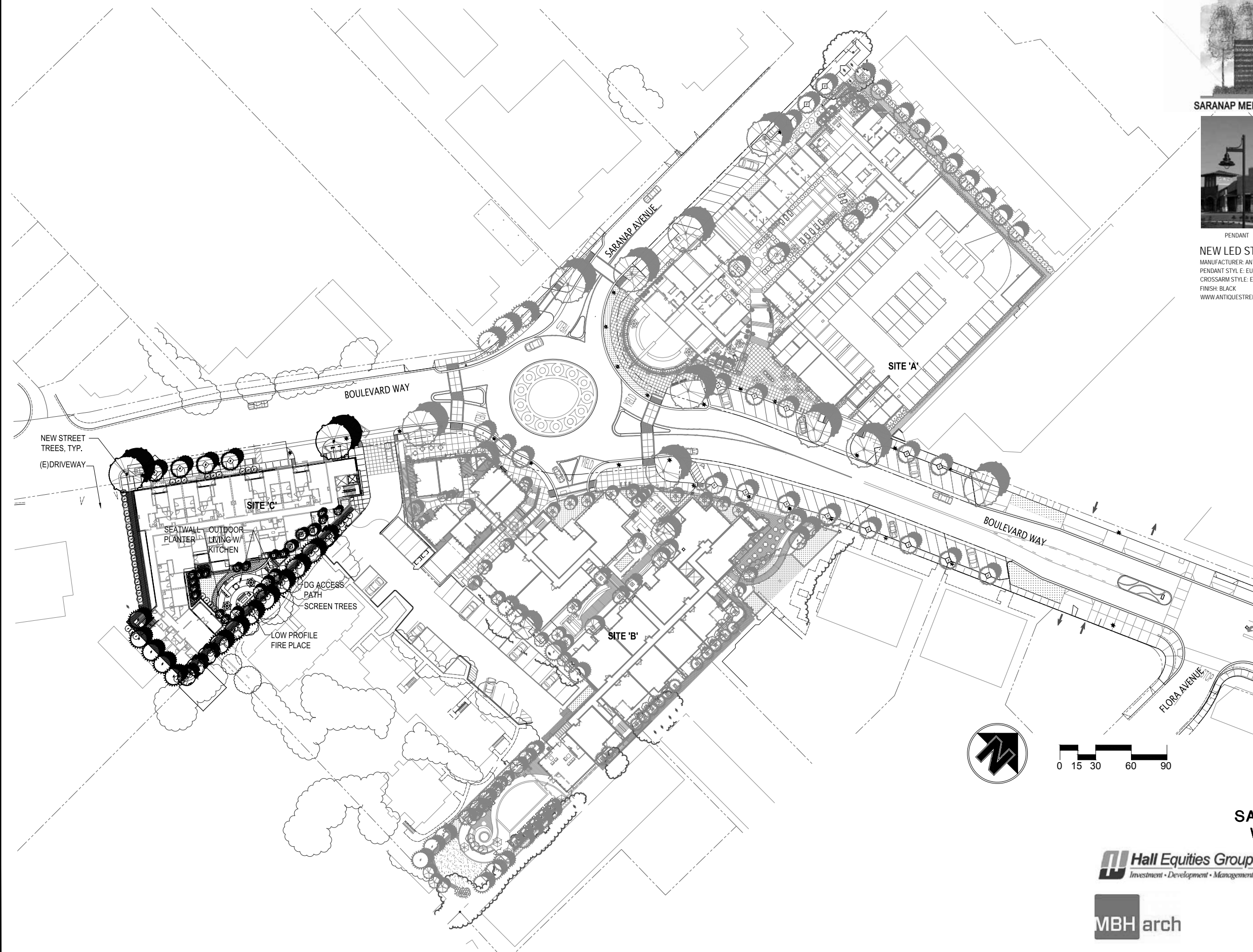
PENDANT



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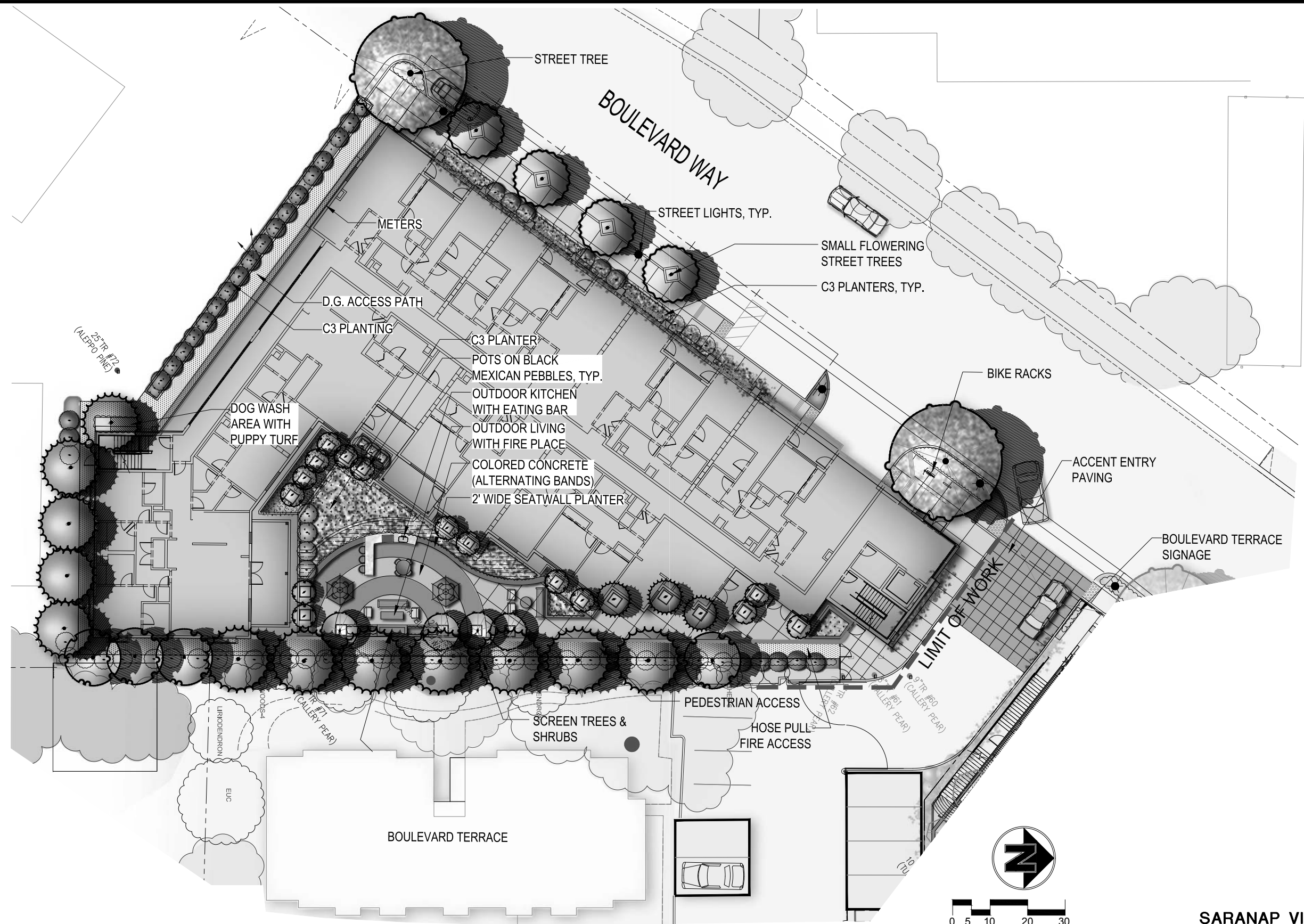
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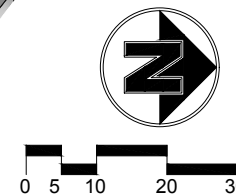
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01-05-16
02-02-16
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01-30-17

L-1.1



Site C Amenities



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Walnut Creek, CA

Hall Equities Group
Investment • Development • Management

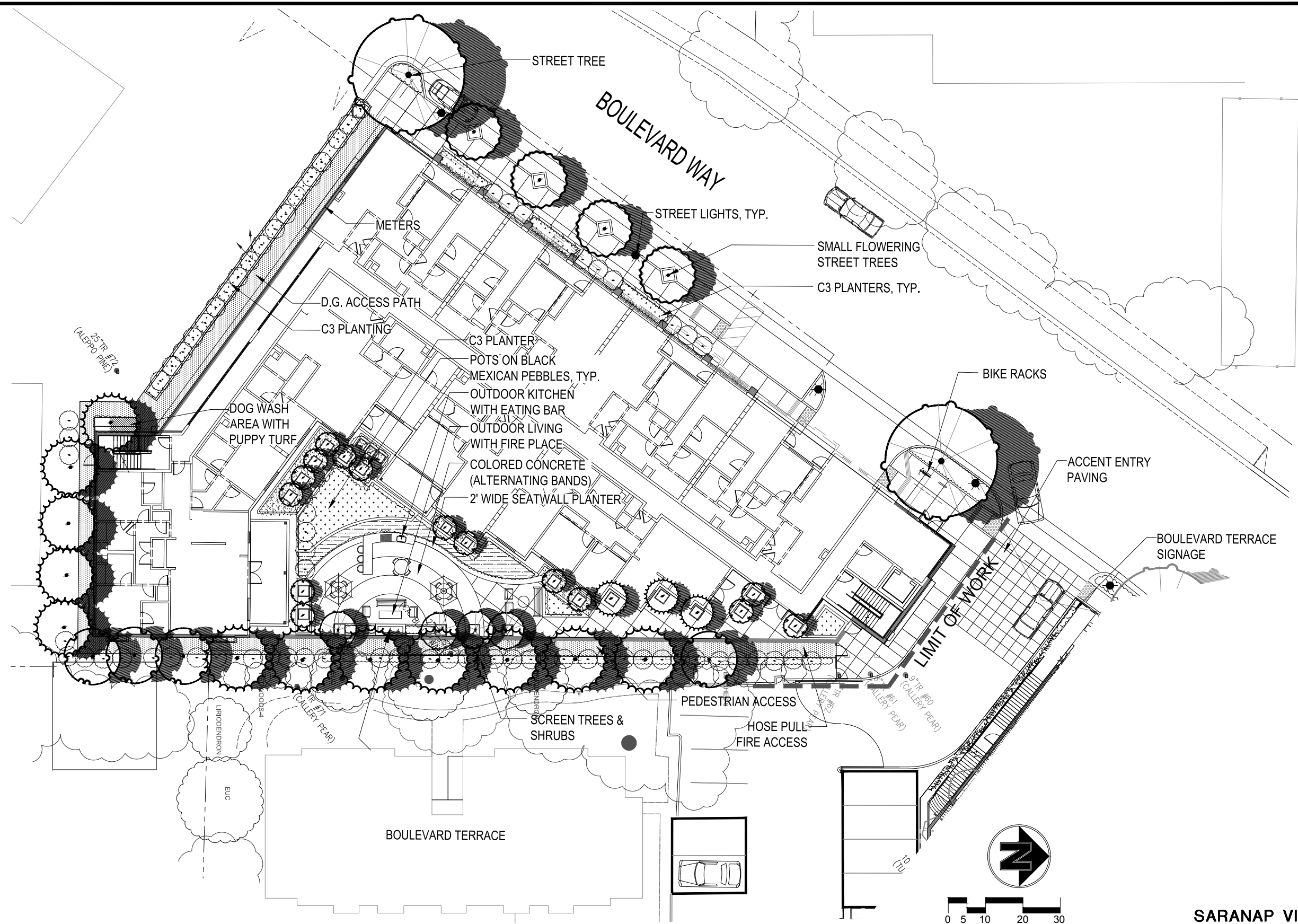
**camp & camp
associates**
planning & landscape architecture

MBH arch

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01-30-17

L-2



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L-2.1

CANOPY TREES AND ACCENT TREES



Acer negundo 'Flamingo' *
Flamingo Boxelder Maple
Small Tree



Acer palmatum
Japanese Maple
Small Tree



Acer rubrum 'Armstrong'
'Armstrong' Red Maple
Medium Tree



Arbutus 'Marina'
Marina Strawberry Tree
Medium Tree



Arbutus unedo
Strawberry Tree
Medium Tree



Cercis canadensis 'Ace of Hearts'
Ace of Hearts Redbud
Small Tree



Cercis canadensis
Eastern Redbud
Small Tree



Cercis occidentalis *
Western Redbud
Small Tree



Cornus Kousa
Kousa Dogwood
Small Tree



Fraxinus oxycarpa 'Raywood'
Raywood Ash
Medium Tree



Lagerstroemia indica 'Natchez' *
Natchez Crape Myrtle
Medium Tree



Magnolia grandiflora 'Little Gem'
Little Gem Dwarf Southern Magnolia
Small Tree



Olea europaea 'Swan Hill'
Fruitless Olive
Medium Tree



Pyrus calleryana 'Chanticleer'
Chanticleer Flowering Pear
Medium Tree



Pistacia chinensis
Chinese Pistachio
Medium Tree



Quercus agrifolia
Coast Live Oak
Large Tree



Quercus lobata
Valley Oak
Large Tree



Quercus virginiana
Southern Live Oak
Large Tree



Triadica sebifera *
Chinese Tallow Tree
Large Tree

EVERGREEN SCREEN TREES



Geijera parviflora *
Australia Willow
25'-35' tall, 20' wide, narrow
drooping olive green leaves, small
white flowers



Laurus nobilis 'Saratoga' *
Sweet Bay
12-40' tall, compact, dark green
leaves used for cooking



Popocarpus gracilior
Fern Pine
20'-60' tall, 10'-20' wide, glossy
dark green leaves



Rhus lancea
African Sumac
20-30' tall, 25-35' wide, moderately
slow growth, dark green willow-like
leaves



Sequoia sempervirens
Coastal Redwood
80'-100' tall, 25-35' wide, fast growth,
dark green foliage

* Also suitable for
Bioretention areas

Tree Exhibit

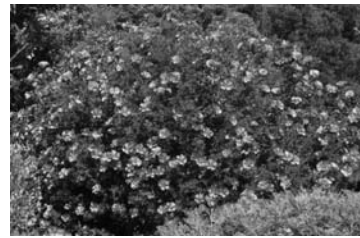
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Walnut Creek, CA



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01-05-16
02-02-16
10-13-16
01-30-17

SHRUBS & GRASSES



Alyogyne huegelii
Lilac Hibiscus
Tall Shrub



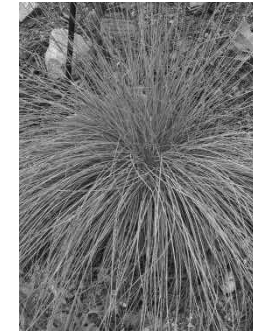
Arctostaphylos densiflora
'Howard McMinn'
Manzanita
Medium Shrub



Carpenteria californica
Bush Anemone
Screen



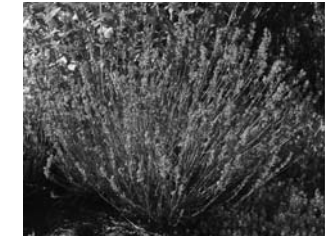
Correa 'Carmine Bells'
Red Australian Fuchsia
Medium Shrub



Festuca idahoensis
Idaho Blue Fescue
Grass



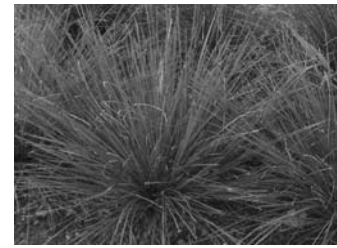
Heteromeles arbutifolia
Toyon
Screen



Lavandula angustifolia
Lavender
Low Shrub



Myrica californica
Pacific Wax Myrtle
Screen



Lomandra longiflora 'Breeze'
Breeze Mat-Rush



Nandina domestica
Harbour Dwarf
Groundcover



Pittosporum tenuifolium
Kohuhu
Screen



Rhamnus californica
Coffeeberry
Tall Shrub



Rosmarinus officinalis
'Blue Spires'
Blue Spires Rosemary
Tall Shrub



Stipa tenuissima
Mexican Feather Grass
Grass

BIORETENTION PLANTS



Achillea millefolium
Common Yarrow
Groundcover



Arctostaphylos uva-ursi
'Emerald Carpet'
Manzanita
Groundcover



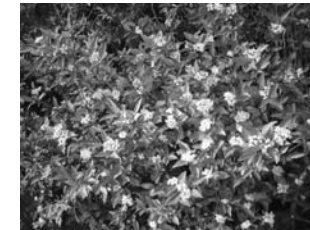
Carex divulsa
Berkeley Sedge
Grass



Chondropetalum
elephantinum
Large Cape Rush



Cornus sericea
Red Osier Dogwood
Tall Shrub



Cornus stolonifera
Red Osier Dogwood
Tall Shrub



Iris douglasiana
Douglas Iris
Groundcover

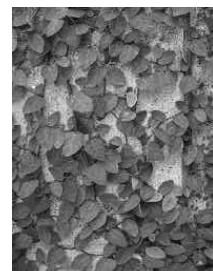
VINES



Juncus patens
California Gray Rush
Grass



Muhlenbergia rigens
Deer Grass
Grass



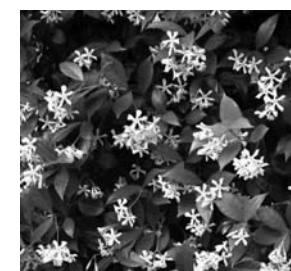
Ficus pumila 'Minima'
Climbing Fig



Clytostoma callistegioides
Lavender Trumpet Vine



Hardenbergia violacea
'Happy Wanderer'
Purple Lilac Vine



Trachelospermum
jasminoides
Star Jasmine

Shrubs, Grasses &
Bioretention Plants

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Walnut Creek, CA

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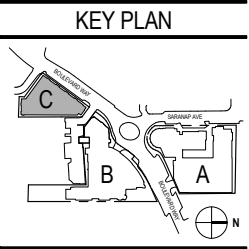
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email: tc@campandcamp.com

L-4

PRELIMINARY
DEVELOPMENT PLAN

AREA TABULATION,
APPLICABLE CODES,
PARKING ANALYSIS,
UNIT DATA

NOT FOR
CONSTRUCTION



PARCEL C

SARANAP VILLAGE
CONTRA COSTA COUNTY, CA

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No.	Date	Issue
	14 JUL 15	PLANNING SUBMITTAL
	27 JAN 17	PLANNING SUBMITTAL

AREA TABULATION, GROSS SF	
1ST FLOOR	GROSS FLOOR AREA
BICYCLE STORAGE	210 SF
ELECTRICAL	271 SF
GARAGE AREA	17,674 SF
LOBBY	278 SF
TRASH	85 SF
VERTICAL CIRCULATION	587 SF
TOTAL	19,105 SF
2ND FLOOR	
CORRIDOR/ACCESSORY SPACES	1,897 SF
TRASH	87 SF
UNIT PLAN AREA	11,757 SF
VERTICAL CIRCULATION	508 SF
TOTAL	14,249 SF
3RD FLOOR	
CORRIDOR/ACCESSORY SPACES	1,897 SF
TRASH	87 SF
UNIT PLAN AREA	11,769 SF
VERTICAL CIRCULATION	508 SF
TOTAL	14,261 SF
4TH FLOOR	
CORRIDOR/ACCESSORY SPACES	1,897 SF
TRASH	87 SF
UNIT PLAN AREA	11,757 SF
VERTICAL CIRCULATION	508 SF
TOTAL	14,249 SF
GRAND TOTAL	61,867 SF

UNIT PLAN AREAS				
UNIT PLAN	BEDROOM COUNT	UNIT COUNT	UNIT NET SELLABLE AREA	TOTAL NET SELLABLE AREA
A1	1	3	923 SF	2,769 SF
B1	2	12	1,258 SF	15,096 SF
B2	2	3	1,492 SF	4,476 SF
C1	3	3	2,045 SF	6,135 SF
C2	3	3	1,380 SF	4,140 SF
TOTAL	51	24		32,616 SF

NOTE:
SSF - SELLABLE SQUARE FOOTAGE OF UNITS IS MEASURED FROM INSIDE FACE OF WALLS, AND EXCLUDES SHAFT AREAS (PAINT TO PAINT).

DWELLING UNIT COUNTS

BUILDING LEVEL	A1	B1	B2	C1	C2	UNIT TOTAL
2ND FLOOR	1	4	1	1	1	8
3RD FLOOR	1	4	1	1	1	8
4TH FLOOR	1	4	1	1	1	8
TOTAL	3	12	3	3	3	24

APPLICABLE CODES

- ALL NEW CONSTRUCTION TO COMPLY WITH 2013 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1.
- ALL NEW CONSTRUCTION TO COMPLY WITH 2013 CALIFORNIA BUILDING CODE, PART 2, VOLUMES 1 & 2.
- ALL NEW CONSTRUCTION TO COMPLY WITH 2013 CALIFORNIA RESIDENTIAL CODE, PART 2.5.
- ALL NEW ELECTRICAL WORK TO COMPLY WITH 2013 CALIFORNIA ELECTRICAL CODE, PART 3.
- ALL NEW MECHANICAL WORK TO COMPLY WITH 2013 CALIFORNIA MECHANICAL CODE, PART 4.
- ALL NEW PLUMBING WORK TO COMPLY WITH 2013 CALIFORNIA PLUMBING CODE, PART 5.
- ALL NEW CONSTRUCTION TO COMPLY WITH 2013 CALIFORNIA ENERGY CODE, PART 6.
- ALL NEW CONSTRUCTION TO COMPLY WITH 2013 CALIFORNIA FIRE CODE, PART 9.
- ALL NEW CONSTRUCTION TO COMPLY WITH 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11.
- ALL NEW CONSTRUCTION TO COMPLY WITH 2013 CALIFORNIA REFERENCE STANDARDS CODE, PART 12.
- ALL NEW CONSTRUCTION TO COMPLY WITH CONTRA COSTA COUNTY CODE, TITLE VII.

PARKING ANALYSIS

VEHICLE PARKING USE	PARKING REQUIRED	PARKING PROVIDED
RESIDENTIAL 1-BEDROOM 3 UNITS x 1.5	5 SPACES	5 SPACES
RESIDENTIAL 2-BEDROOM 15 UNITS x 2	30 SPACES	30 SPACES
RESIDENTIAL 3-BEDROOM 6 UNITS x 2	12 SPACES	13 SPACES
TOTAL RESIDENTIAL PARKING	47 SPACES	48 SPACES
RESIDENTIAL GUEST 24 UNITS x .25	6 SPACES	6 SPACES
TOTAL GUEST PARKING (LOCATED ON STREET FRONTAGE)	6 SPACES	6 SPACES
GRAND TOTAL PARKING	53 SPACES	54 SPACES

BICYCLE PARKING USE	PARKING REQUIRED	PARKING PROVIDED
RESIDENTIAL SHORT TERM 51 BEDROOMS x .05	3 SPACES	3 SPACES
RESIDENTIAL LONG TERM 51 BEDROOMS x .15	8 SPACES	8 SPACES
TOTAL SPACES	11 SPACES	11 SPACES

ZONING INFORMATION

ZONING INFORMATION PROVIDED FOR REFERENCE ONLY.		
CURRENT ZONING DISTRICT:	M-29	P-1
ASSESSOR'S PARCEL NUMBER:	N/A	184-450-025
AREA MINIMA: LOT REQUIREMENTS	10,000 SF	N/A
SITE COVERAGE: REQUIREMENTS	35% MAX	N/A
DENSITY:	29 UNITS/ACRE	N/A
HEIGHT LIMIT:	30'	N/A
YARD REQUIREMENTS: SIDE YARD REAR YARD	20' 20'	N/A N/A
FRONT SETBACK REQUIREMENTS:	25'	N/A
RESIDENTIAL OPEN SPACE:	25%	N/A
PROPOSED ZONING:	P-1	

PROJECT DESCRIPTION

THIS PROJECT IS LOCATED IN UNINCORPORATED CONTRA COSTA COUNTY. THE ADDRESS FOR THIS PROJECT IS AS STATED BELOW:
1326 BOULEVARD WAY
WALNUT CREEK, CA 94595

THE DESIGN REPRESENTED IN THESE DRAWINGS IS BASED ON THE APPROVAL OF ENTITLEMENT DRAWINGS BY CONTRA COSTA COUNTY.

ALL PORTIONS OF THIS PROJECT ARE PRIVATELY FUNDED.

THE PORTION OF THE PROJECT DESCRIBED BY THESE DRAWINGS INCLUDES:

- ONE FLOOR OF PARKING, PARTIALLY BELOW GRADE, FOR 48 AUTOMOBILES. ON-GRADE RESIDENTIAL LOBBY.
- THREE-STORY RESIDENTIAL BUILDING ABOVE A CONCRETE PODIUM CONTAINING 24 DWELLING UNITS.

TYPE VA FULLY-SPRINKLERED CONSTRUCTION FOR THREE STORIES OF R-2 RESIDENTIAL OVER A ONE-STORY TYPE IA ON-GRADE GROUP S-2 PARKING GARAGE.

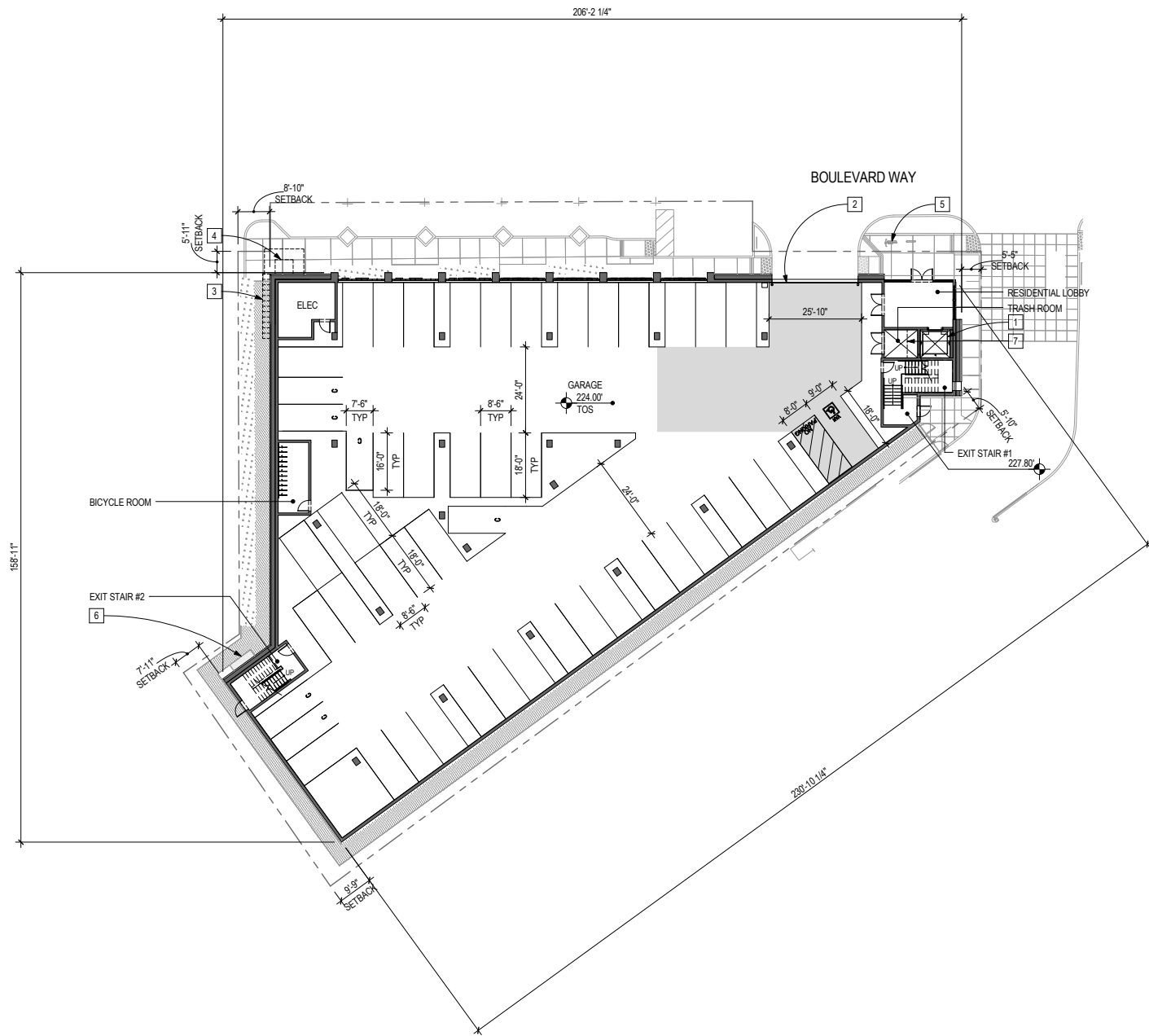
DRAFT DESIGN -
SUBJECT TO
MODIFICATION

Project: 48606

Scale: NO SCALE

Drawing Title: AREA TABULATION, APPLICABLE CODES, PARKING ANALYSIS, UNIT DATA

Drawing No.: A-1



OVERALL 1ST FLOOR PLAN | 1

LEGEND

- PROPERTY LINE
- AREA WITH 8'-3" CLEAR CEILING HEIGHT TO ACCESSIBLE PARKING SPACE

KEYNOTES

- 1 ELEVATOR
- 2 ACCESS GATE
- 3 GAS METERS
- 4 ELECTRICAL TRANSFORMER IN VAULT
- 5 SHORT TERM BICYCLE PARKING, SLD
- 6 DOG WASH FACILITY, SLD
- 7 TRASH/RECYCLE CHUTE ABOVE

MBH

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Fax 510 865 1611

PRELIMINARY
DEVELOPMENT PLAN

OVERALL 1ST FLOOR
PLAN

NOT FOR
CONSTRUCTION

SARANAP
VILLAGE

PARCEL C

SARANAP VILLAGE
CONTRA COSTA COUNTY, CA

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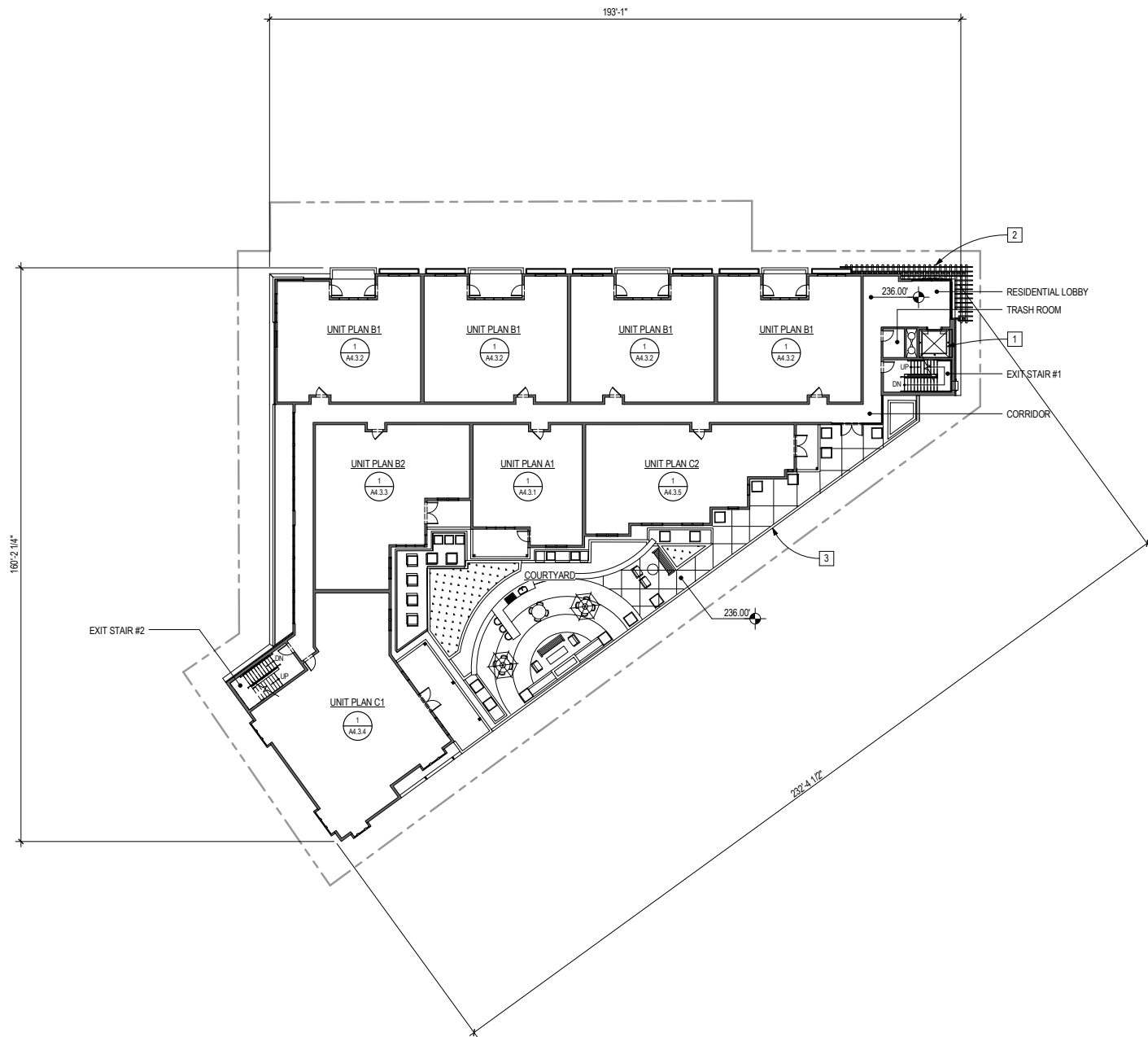
No.	Date	Issue
14 JUL 15	14 JUL 15	PLANNING SUBMITTAL
27 JAN 17	27 JAN 17	PLANNING SUBMITTAL

Project	48606
Scale	1/16" = 1'-0"
Drawing Title	OVERALL 1ST FLOOR PLAN

Drawing No.

A-2

DRAFT DESIGN -
SUBJECT TO
MODIFICATION



OVERALL 2ND FLOOR PLAN | 1

LEGEND

----- PROPERTY LINE

KEYNOTES

- 1 ELEVATOR
- 2 TRELLIS BELOW
- 3 42" HIGH WALL ALONG PODIUM EDGE

DRAFT DESIGN -
SUBJECT TO
MODIFICATION


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PRELIMINARY
DEVELOPMENT PLAN

OVERALL 2ND FLOOR
PLAN

NOT FOR
CONSTRUCTION



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CONTRA COSTA COUNTY, CA

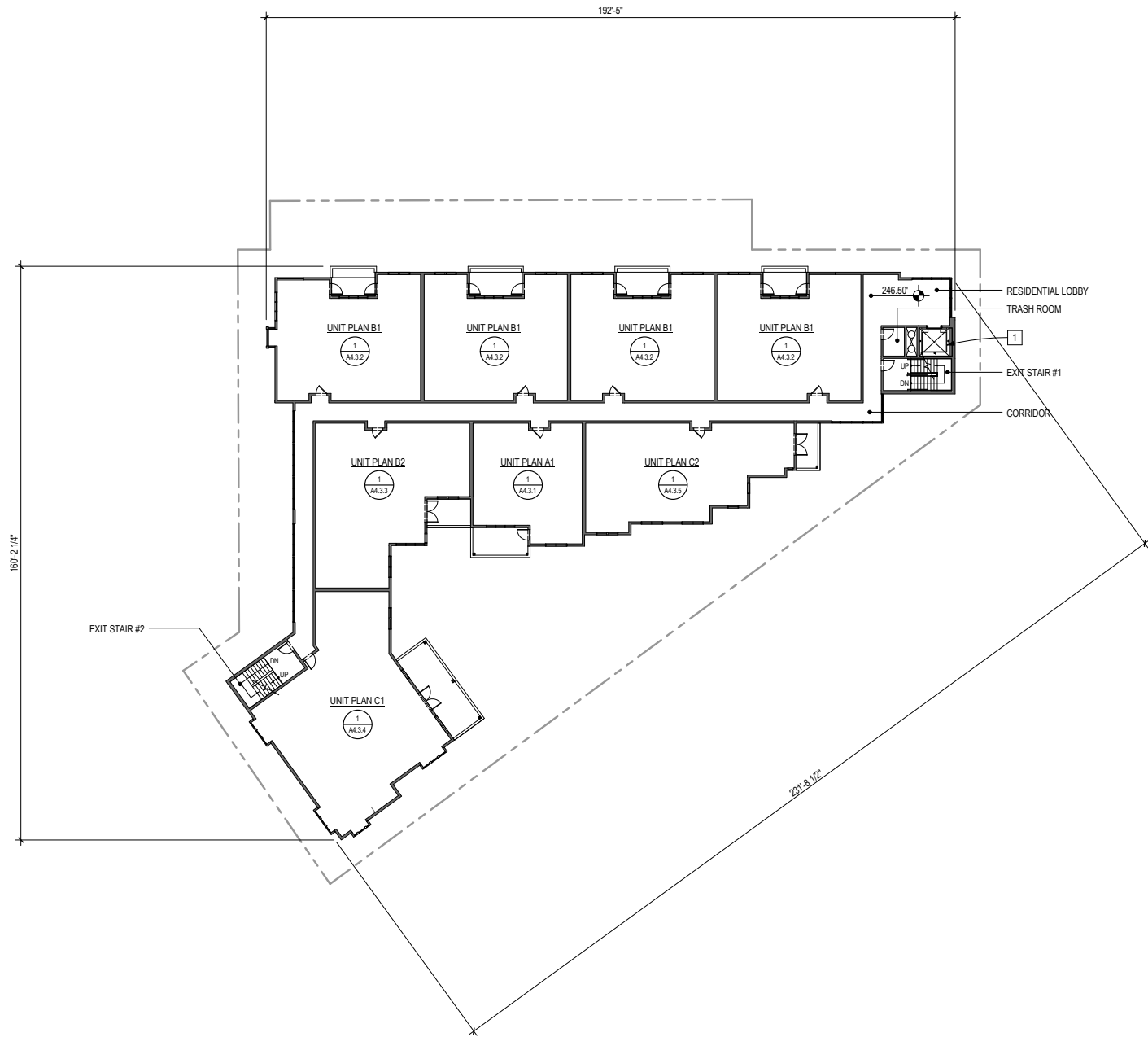
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14 JUL 15	14 JUL 15	PLANNING SUBMITTAL
27 JAN 17	27 JAN 17	PLANNING SUBMITTAL

Project: 48606
Scale: 1/16" = 1'-0"
Drawing Title: OVERALL 2ND FLOOR PLAN

Drawing No.

A-3



OVERALL 3RD FLOOR PLAN | 1

LEGEND

PROPERTY LINE

KEYNOTES

1 ELEVATOR

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MODIFICATION

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Alameda, CA 94501
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PRELIMINARY
DEVELOPMENT PLAN

OVERALL 3RD FLOOR
PLAN

NOT FOR
CONSTRUCTION



PARCEL C

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CONTRA COSTA COUNTY, CA

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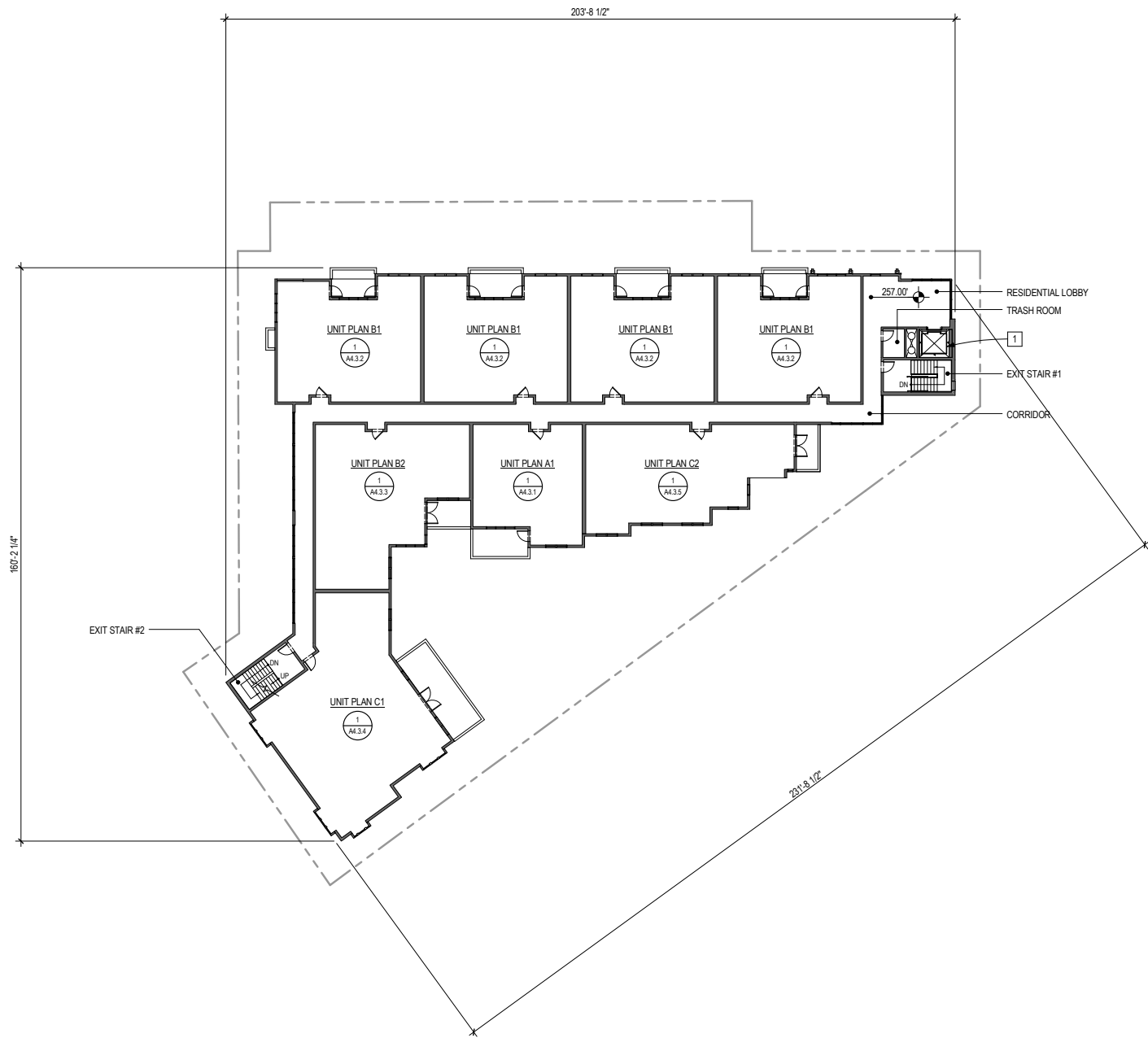
Project: 48606

Scale: 1/16" = 1'-0"

Drawing Title: OVERALL 3RD FLOOR PLAN

Drawing No.

A-4



DRAFT DESIGN -
SUBJECT TO
MODIFICATION

LEGEND

----- PROPERTY LINE

KEYNOTES

1 ELEVATOR

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PRELIMINARY
DEVELOPMENT PLAN

OVERALL 4TH FLOOR
PLAN

NOT FOR
CONSTRUCTION



PARCEL C

SARANAP VILLAGE
CONTRA COSTA COUNTY, CA

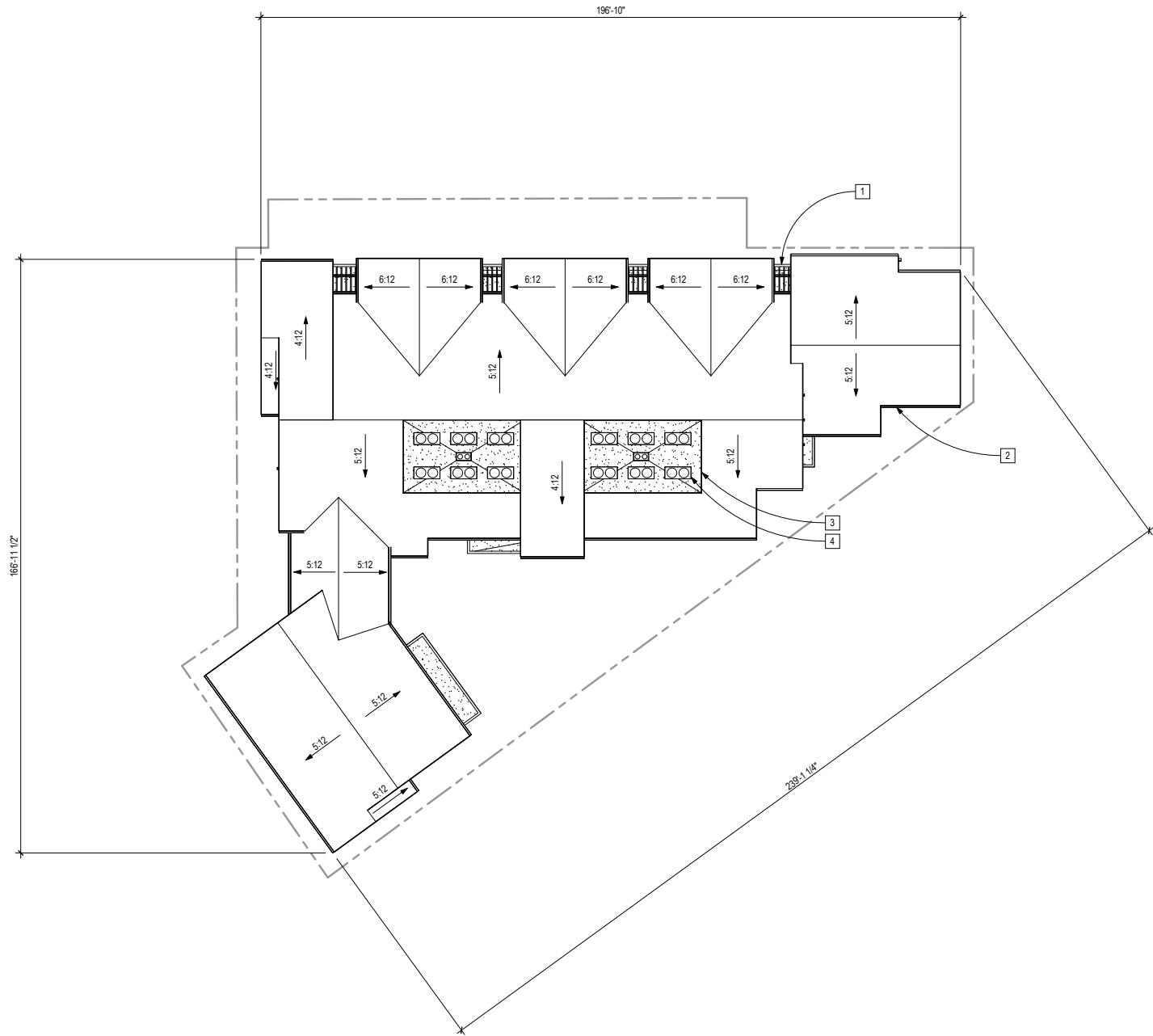
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No.	Date	Issue
14 JUL 15	14 JUL 15	PLANNING SUBMITTAL
27 JAN 17	27 JAN 17	PLANNING SUBMITTAL

Project	48606
Scale	1/16" = 1'-0"
Drawing Title	OVERALL 4TH FLOOR PLAN

Drawing No.

A-5



LEGEND

- PROPERTY LINE
- A/C CONDENSER
- ROOF & OVERFLOW DRAIN

KEYNOTES

- 1 TRELLIS BELOW, TYP
- 2 HALF-ROUND METAL GUTTER, TYP
- 3 MECHANICAL WELL
- 4 A/C CONDENSER IN MECHANICAL WELL, TYP

DRAFT DESIGN -
SUBJECT TO
MODIFICATION

MBH

2470 Mariner Square Loop
Alameda, CA 94501
Tel 510 865 6663
Fax 510 865 1611

PRELIMINARY
DEVELOPMENT PLAN

OVERALL ROOF PLAN

NOT FOR
CONSTRUCTION

SARANAP VILLAGE

PARCEL C

SARANAP VILLAGE
CONTRA COSTA COUNTY, CA

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No.	Date	Issue
14	JUL 15	PLANNING SUBMITTAL
27	JAN 17	PLANNING SUBMITTAL

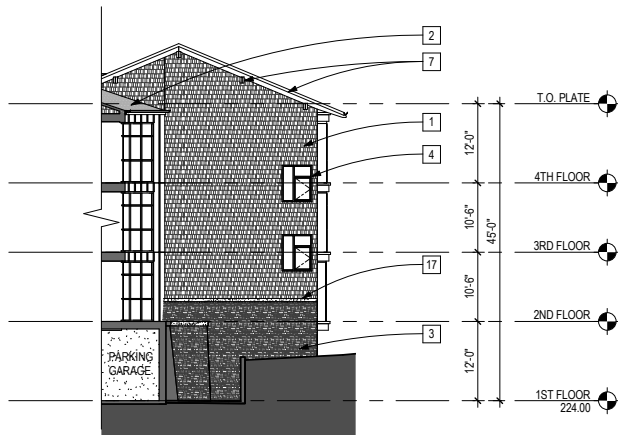
Project	48606
Scale	1/16" = 1'-0"
Drawing Title	OVERALL ROOF PLAN

Drawing No.

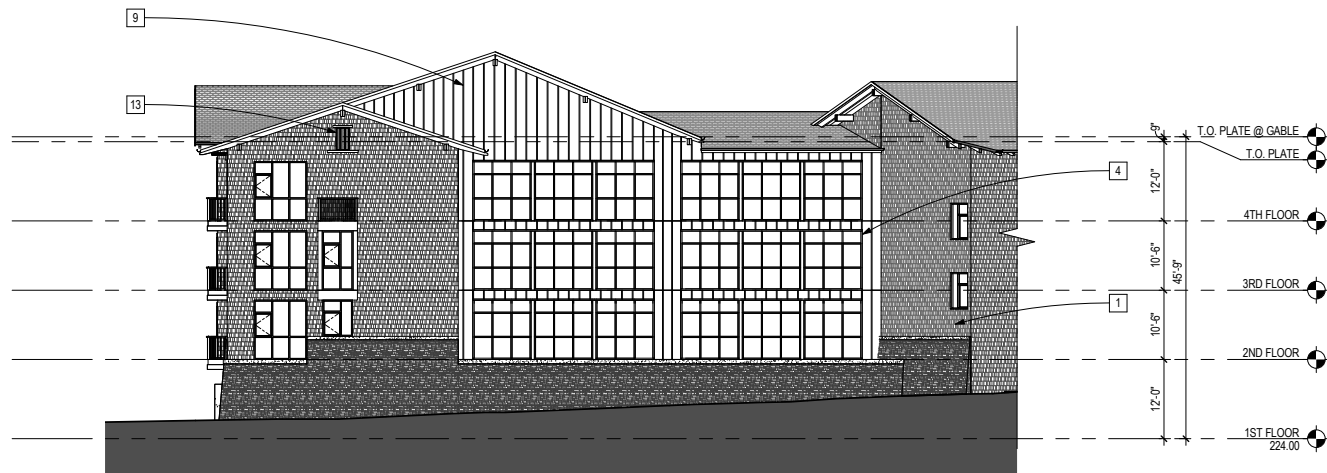
A-6



NORTHWEST ELEVATION 1



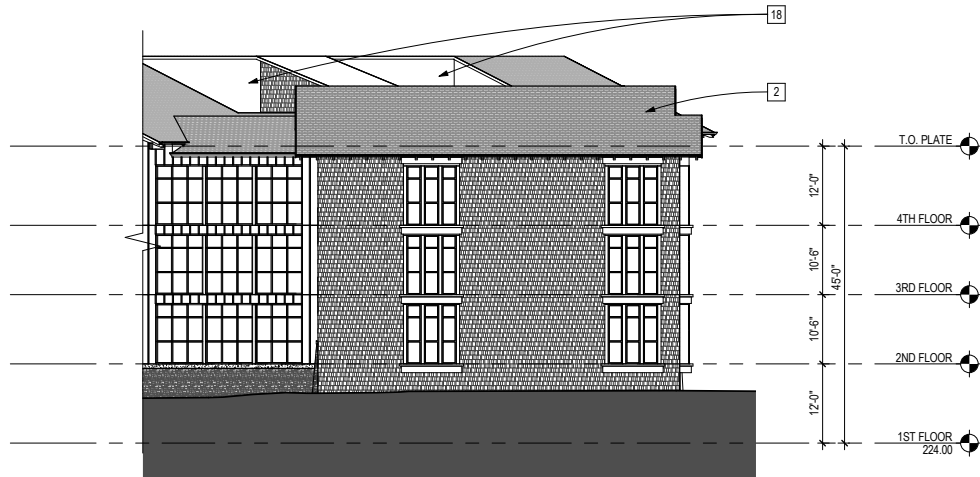
WEST ELEVATION 3



SOUTHWEST ELEVATION 2



EAST ELEVATION 5



SOUTH ELEVATION 4

KEYNOTES

- 1 CEMENTITIOUS SHINGLE EXTERIOR SIDING
- 2 ARCHITECTURAL COMPOSITION SHINGLE ROOF
- 3 STONE VENEER COMPOSITE AT BATTERED BASE
- 4 GLASS WINDOW SYSTEM
- 5 PAINTED DECORATIVE METAL GRILLE AT GARAGE OPENINGS
- 6 TRELLIS FEATURE
- 7 STAINED WOOD OUTRIGGERS, RAFTER TAILS, FASCIA BOARDS, AND RAKE BOARDS
- 8 PAINTED BRACKETS AND KICKERS
- 9 PAINTED BOARD AND BATTEN SIDING
- 10 HALF-ROUND METAL GUTTER
- 11 SLIDING METAL GARAGE DOOR
- 12 PLANTER BOX
- 13 ACCENT VENTS
- 14 ADDRESS NUMERALS
- 15 GLASS DOORS
- 16 CONCRETE PIERS
- 17 CAP TO STONE VENEER
- 18 MECHANICAL WELL
- 19 CEMENT PLASTER 42" GUARDWALL WITH CAP PROFILE AND SKIM COAT CEMENT PLASTER ON CONCRETE WALL BELOW

- NOTES:
1. COLOR AND MATERIALS ARE PRELIMINARY AND MAY CHANGE TO COMPARABLE FINISHES
 2. FINAL SIGNAGE PLACE TO BE SUBMITTED AT CONSTRUCTION DRAWING PHASE

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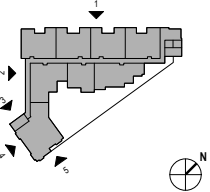
2470 Mariner Square Loop
Alameda, CA 94501
Tel 510 865 8863
Fax 510 865 1611

PRELIMINARY
DEVELOPMENT PLAN

EXTERIOR ELEVATIONS

NOT FOR
CONSTRUCTION

KEY PLAN



PARCEL C

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CONTRA COSTA COUNTY, CA

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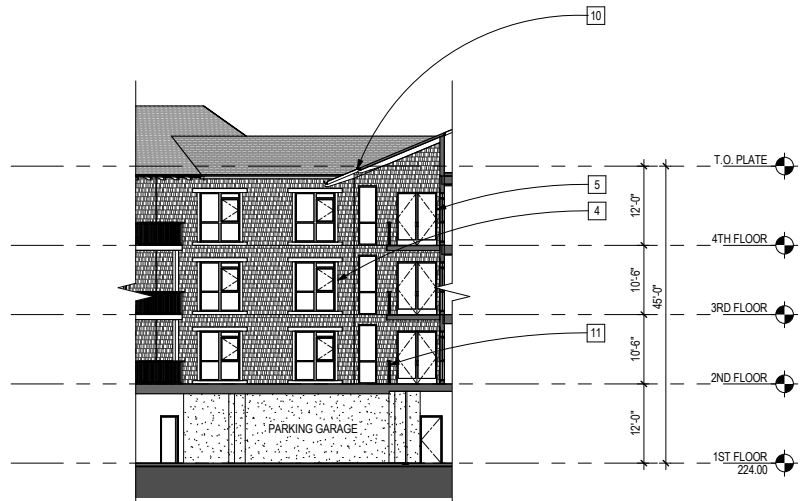
No.	Date	Issue
14 JUL 15	14 JUL 15	PLANNING SUBMITTAL
27 JAN 17	27 JAN 17	PLANNING SUBMITTAL

Project: 48606

Scale: 3/32" = 1'-0"

Drawing Title: EXTERIOR ELEVATIONS

Drawing No. A-7



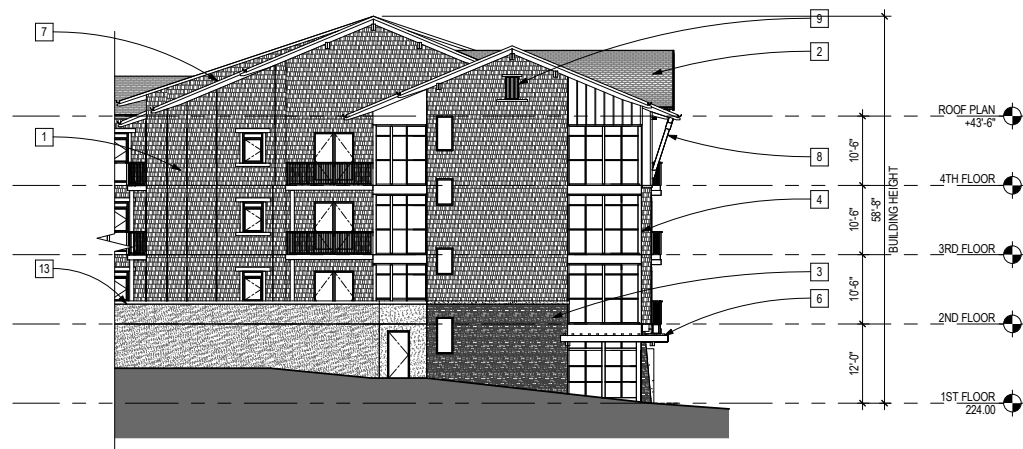
NORTHEAST COURTYARD ELEVATION | 2



NORTH COURTYARD ELEVATION | 1



SOUTHEAST COURTYARD ELEVATION | 3



NORTHEAST ELEVATION | 4

KEYNOTES

- 1 CEMENTITIOUS SHINGLE EXTERIOR SIDING
- 2 ARCHITECTURAL COMPOSITION SHINGLE ROOF
- 3 STONE VENEER COMPOSITE AT BATTERED BASE
- 4 GLASS WINDOW SYSTEM
- 5 PAINTED DECORATIVE METAL GRILLE AT GARAGE OPENINGS
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- NOTES:
1. COLOR AND MATERIALS ARE PRELIMINARY AND MAY CHANGE TO COMPARABLE FINISHES
 2. FINAL SIGNAGE PLACE TO BE SUBMITTED AT CONSTRUCTION DRAWING PHASE

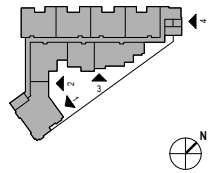
DRAFT DESIGN -
SUBJECT TO
MODIFICATION

PRELIMINARY DEVELOPMENT PLAN

EXTERIOR ELEVATIONS

NOT FOR
CONSTRUCTION

KEY PLAN



PARCEL C

SARANAP VILLAGE
CONTRA COSTA COUNTY, CA

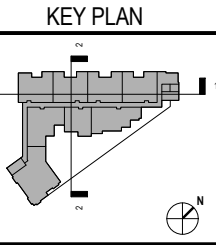
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No.	Date	Issue
14 JUL 15	14 JUL 15	PLANNING SUBMITTAL
27 JAN 17	27 JAN 17	PLANNING SUBMITTAL

Project:	48606
Scale:	3/32" = 1'-0"
Drawing Title:	EXTERIOR ELEVATIONS

BUILDING SECTIONS

NOT FOR
CONSTRUCTION



SARANAP VILLAGE

PARCEL C

SARANAP VILLAGE
CONTRA COSTA COUNTY, CA

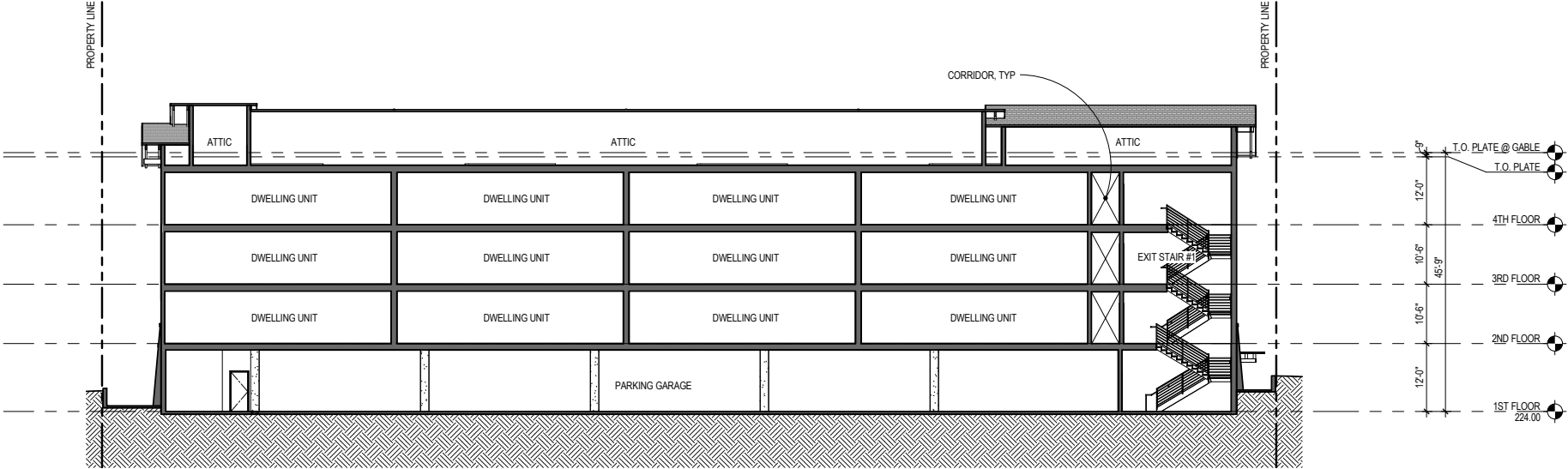
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No.	Date	Issue
14	JUL 15	PLANNING SUBMITTAL
27	JAN 17	PLANNING SUBMITTAL

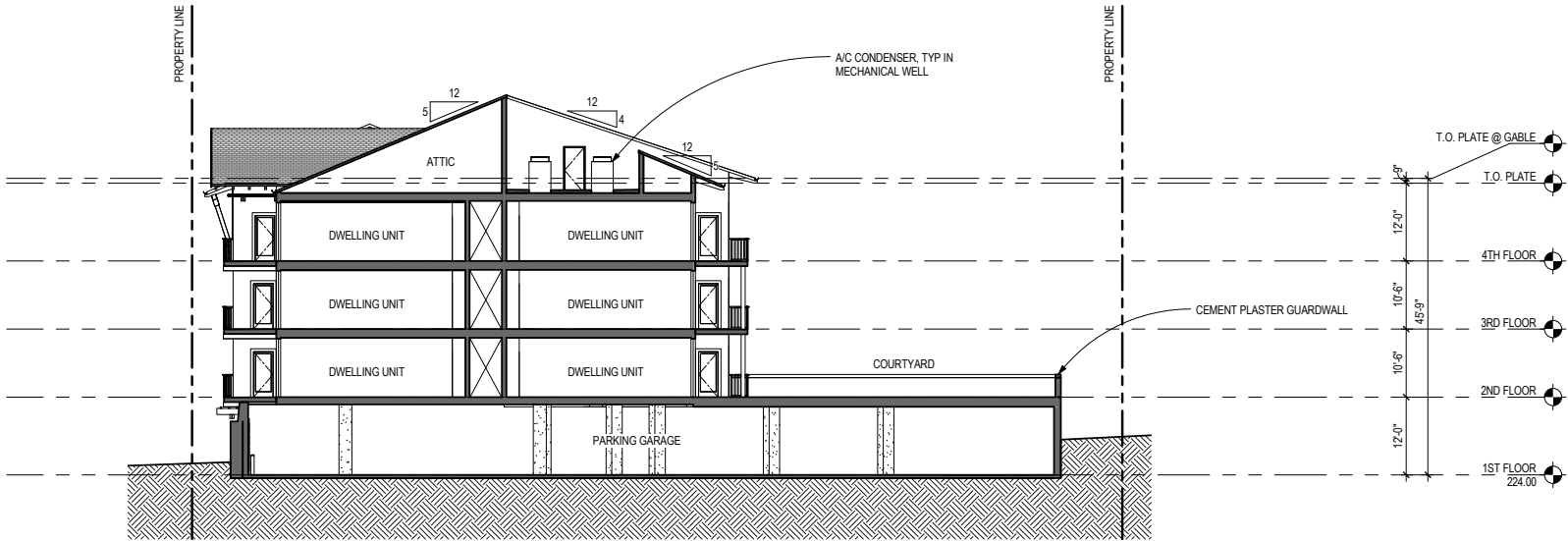
Project	48606
Scale	3/32" = 1'-0"
Drawing Title	BUILDING SECTIONS

Drawing No.

A-9

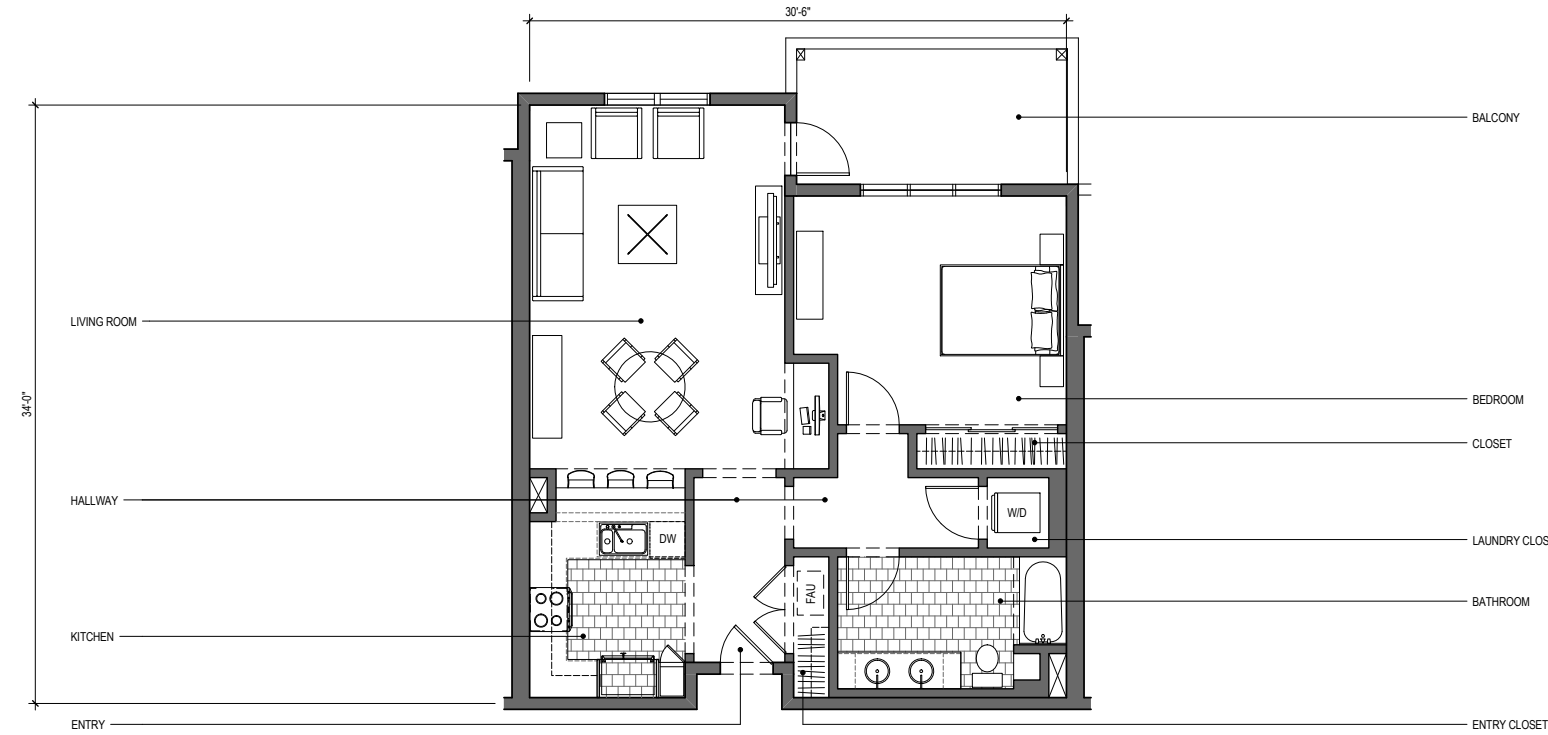


BUILDING SECTION | 1



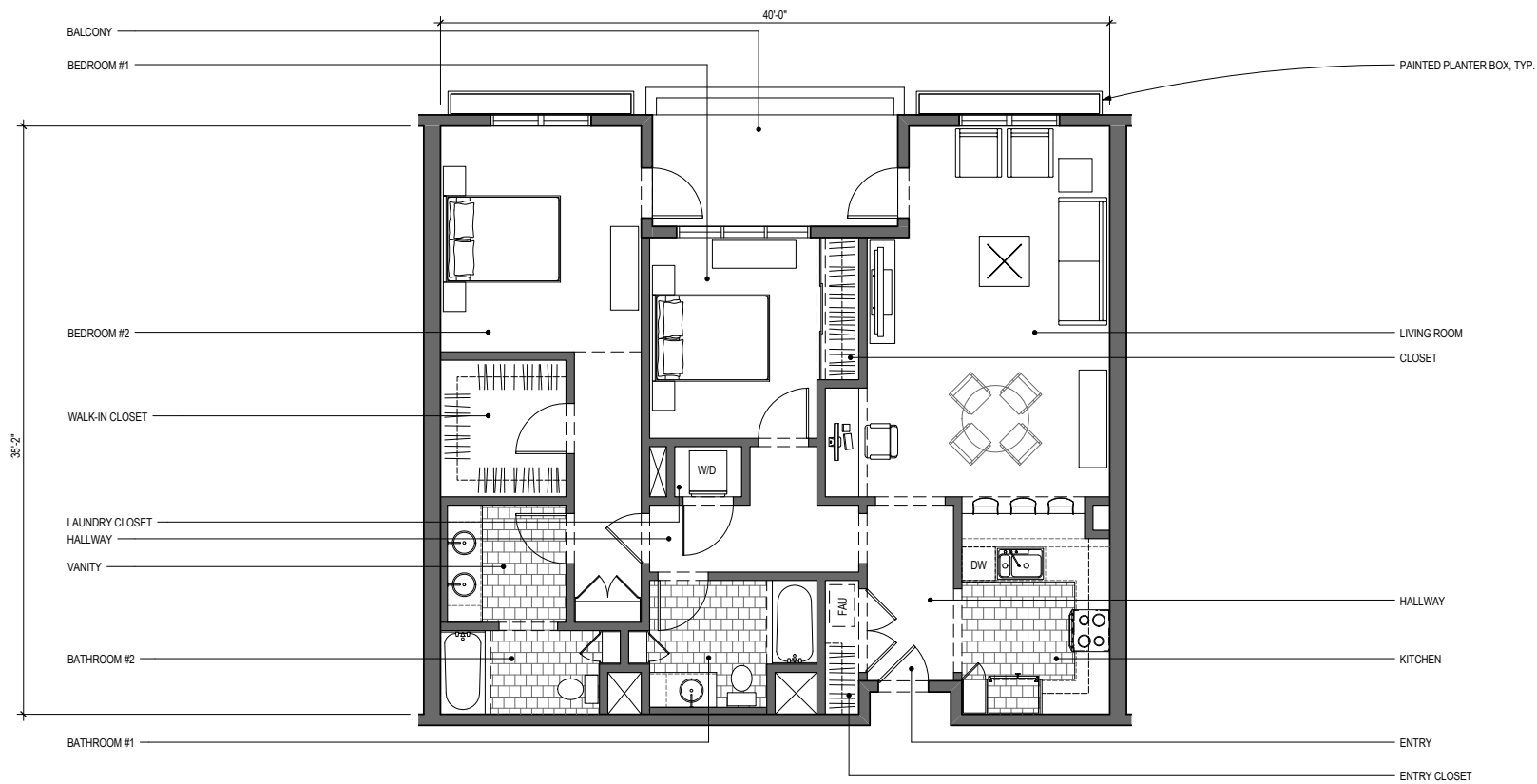
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MODIFICATION

BUILDING SECTION | 2



923 NSF

UNIT PLAN A1 ENLARGED FLOOR PLAN | 1



1,258 NSF

UNIT PLAN B1 ENLARGED FLOOR PLAN | 2

NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD OR CONCRETE, U.O.N.
- ALL DOOR OPENINGS SHALL BE OFFSET 6" FROM FINISH OF ADJACENT WALL TO JAMB, U.O.N.
- BASE BOARD & INTERIOR DOOR PAINT FINISH TO BE SEMI-GLOSS.
- ALL UNITS SHALL BE ADAPTABLE AND COMPLY WITH CBC CHAPTER 11A.
- PROVIDE MINIMUM 30" WIDE REMOVABLE BASE CABINET BELOW KITCHEN SINK IN ACCORDANCE WITH CBC SECTION 1133A.3.
- PROVIDE MINIMUM 30" WIDE REMOVABLE BASE CABINET BELOW LAVATORY SINK AT ACCESSIBLE BATHROOM IN ACCORDANCE WITH CBC SECTION 1134A.8.4.
- PROVIDE BACKING PLATES AT ACCESSIBLE BATHROOMS.
- CEILING HEIGHT MEASURED FROM TOP OF CONCRETE SLAB OR TOP OF TOPPING SLAB.
- EXTERIOR WALLS, WINDOWS, BALCONIES, & STRUCTURAL CONDITIONS MAY VARY AMONG THE SAME UNIT TYPE, REFER TO OVERALL FLOOR PLANS.



PRELIMINARY DEVELOPMENT PLAN

UNIT PLAN A1 & B1
ENLARGED FLOOR
PLAN

NOT FOR
CONSTRUCTION



PARCEL C

SARANAP VILLAGE
CONTRA COSTA COUNTY, CA

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No.	Date	Issue
14 JUL 15	14 JUL 15	PLANNING SUBMITTAL
27 JAN 17	27 JAN 17	PLANNING SUBMITTAL

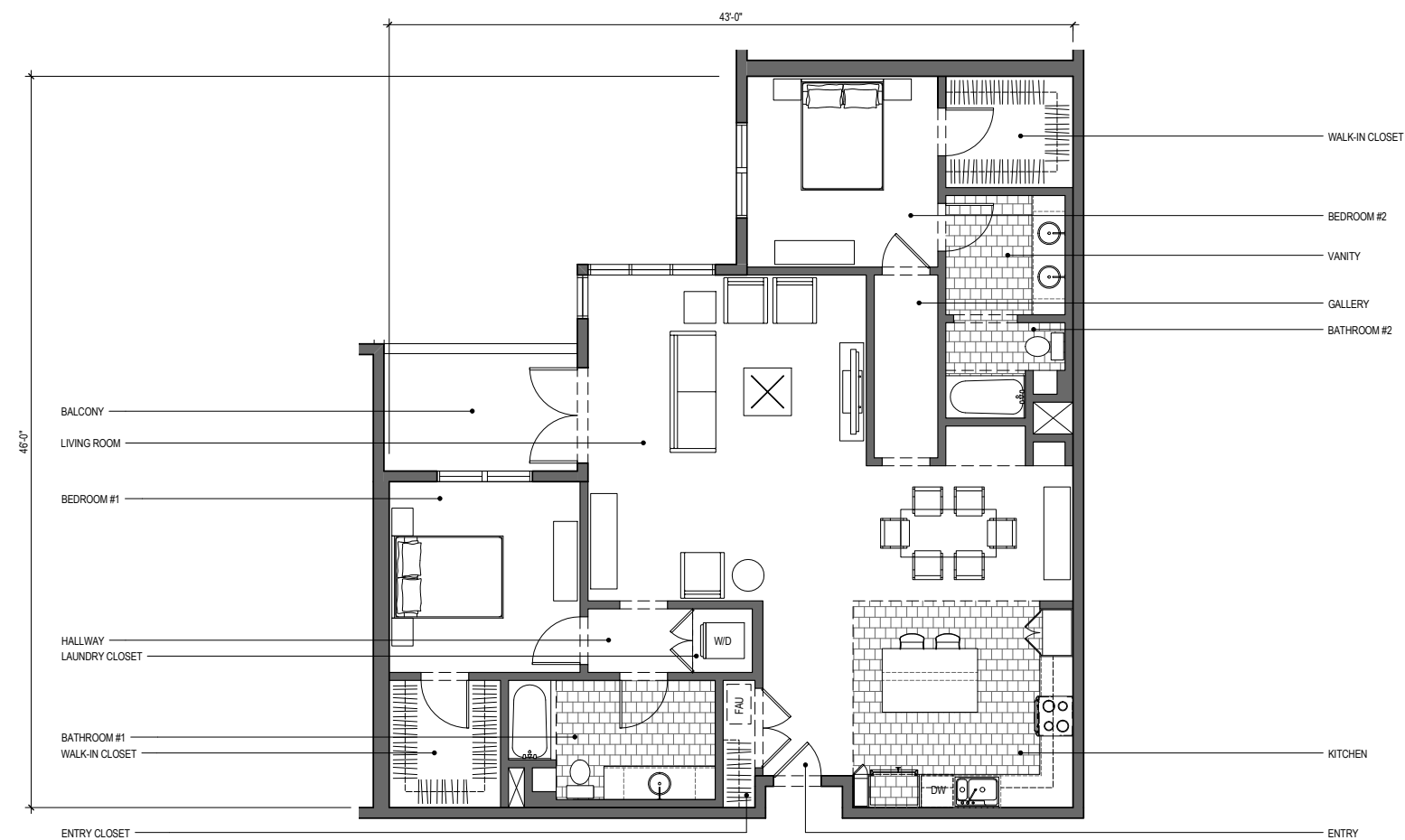
Project: 48606

Scale: 1/4" = 1'-0"

Drawing Title: UNIT PLAN A1 & B1 ENLARGED FLOOR PLAN

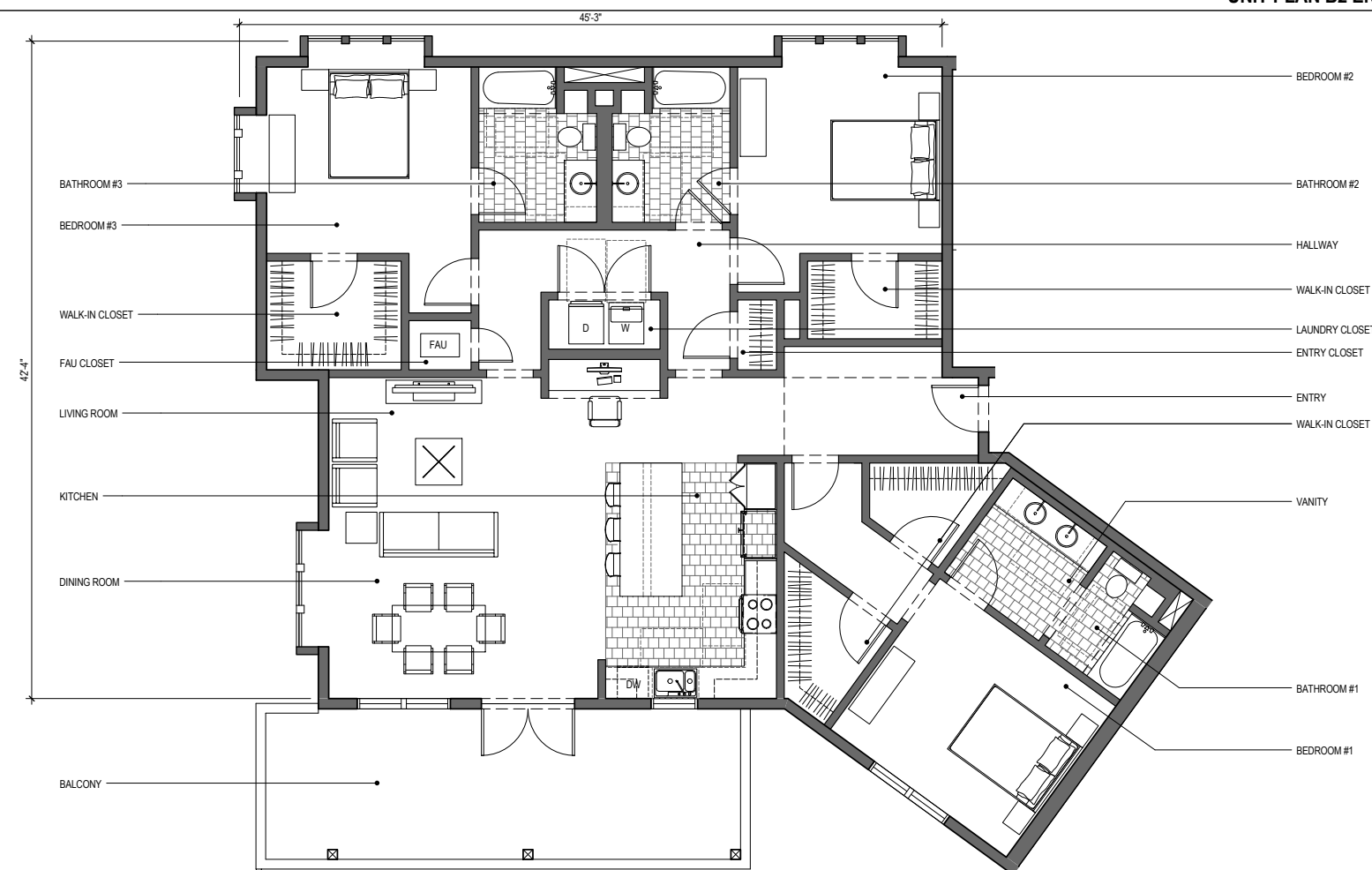
Drawing No. A-10

DRAFT DESIGN -
SUBJECT TO
MODIFICATION



1,492 NSF

UNIT PLAN B2 ENLARGED FLOOR PLAN | 1



2,045 NSF

UNIT PLAN C1 ENLARGED FLOOR PLAN | 2

NOTES

- A. ALL DIMENSIONS ARE TO FACE OF STUD OR CONCRETE, U.O.N.
- B. ALL DOOR OPENINGS SHALL BE OFFSET 6" FROM FINISH OF ADJACENT WALL TO JAMB, U.O.N.
- C. BASE BOARD & INTERIOR DOOR PAINT FINISH TO BE SEMI-GLOSS.
- D. ALL UNITS SHALL BE ADAPTABLE AND COMPLY WITH CBC CHAPTER 11A.
- E. PROVIDE MINIMUM 30" WIDE REMOVABLE BASE CABINET BELOW KITCHEN SINK IN ACCORDANCE WITH CBC SECTION 1133A.3.
- F. PROVIDE MINIMUM 30" WIDE REMOVABLE BASE CABINET BELOW LAVATORY SINK AT ACCESSIBLE BATHROOM IN ACCORDANCE WITH CBC SECTION 1134A.8.4.
- G. PROVIDE BACKING PLATES AT ACCESSIBLE BATHROOMS.
- H. CEILING HEIGHT MEASURED FROM TOP OF CONCRETE SLAB OR TOP OF TOPPING SLAB.
- I. EXTERIOR WALLS, WINDOWS, BALCONIES, & STRUCTURAL CONDITIONS MAY VARY AMONG THE SAME UNIT TYPE. REFER TO OVERALL FLOOR PLANS.

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PRELIMINARY DEVELOPMENT PLAN

**UNIT PLAN B2 & C1
ENLARGED FLOOR
PLAN**

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No.	Date	Issue
14 JUL 15	PLANNING SUBMITTAL	
27 JAN 17	PLANNING SUBMITTAL	

Project 48606

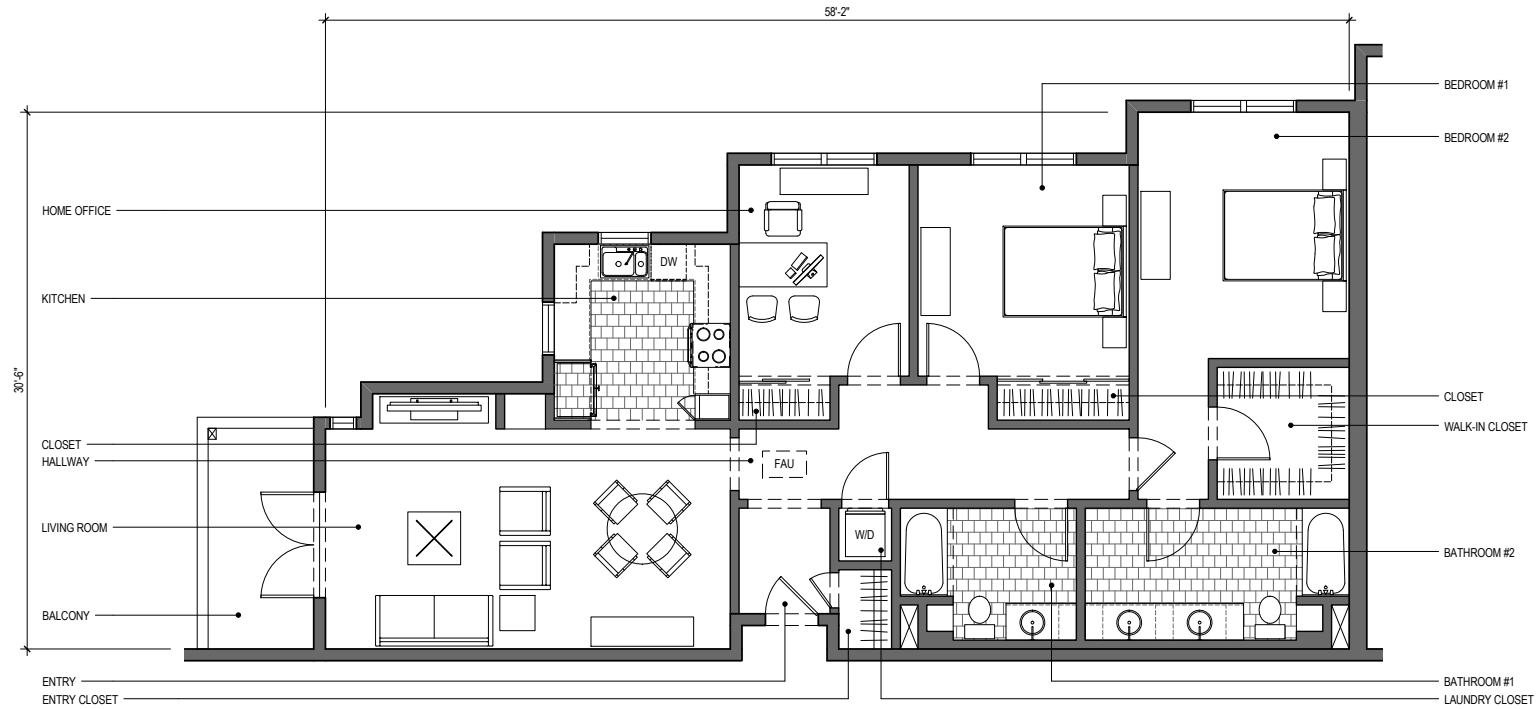
Scale $1/4" = 1'-0"$

Drawing Title **UNIT PLAN B2 & C1 ENLARGED
FLOOR PLAN**

Drawing No.

A-11

**DRAFT DESIGN -
SUBJECT TO
MODIFICATION**



1,380 NSF

UNIT PLAN C2 ENLARGED FLOOR PLAN | 1

NOTES

- A. ALL DIMENSIONS ARE TO FACE OF STUD OR CONCRETE, U.O.N.
- B. ALL DOOR OPENINGS SHALL BE OFFSET 6" FROM FINISH OF ADJACENT WALL TO JAMB, U.O.N.
- C. BASE BOARD & INTERIOR DOOR PAINT FINISH TO BE SEMI-GLOSS.
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- H. CEILING HEIGHT MEASURED FROM TOP OF CONCRETE SLAB OR TOP OF TOPPING SLAB.
- I. EXTERIOR WALLS, WINDOWS, BALCONIES, & STRUCTURAL CONDITIONS MAY VARY AMONG THE SAME UNIT TYPE, REFER TO OVERALL FLOOR PLANS.

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PRELIMINARY
DEVELOPMENT PLAN

UNIT PLAN C2
ENLARGED FLOOR
PLAN

NOT FOR
CONSTRUCTION



SARANAP VILLAGE

PARCEL C

SARANAP VILLAGE
CONTRA COSTA COUNTY, CA

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No.	Date	Issue
14	JUL 15	PLANNING SUBMITTAL
27	JAN 17	PLANNING SUBMITTAL

Project

48606

Scale

1/4" = 1'-0"

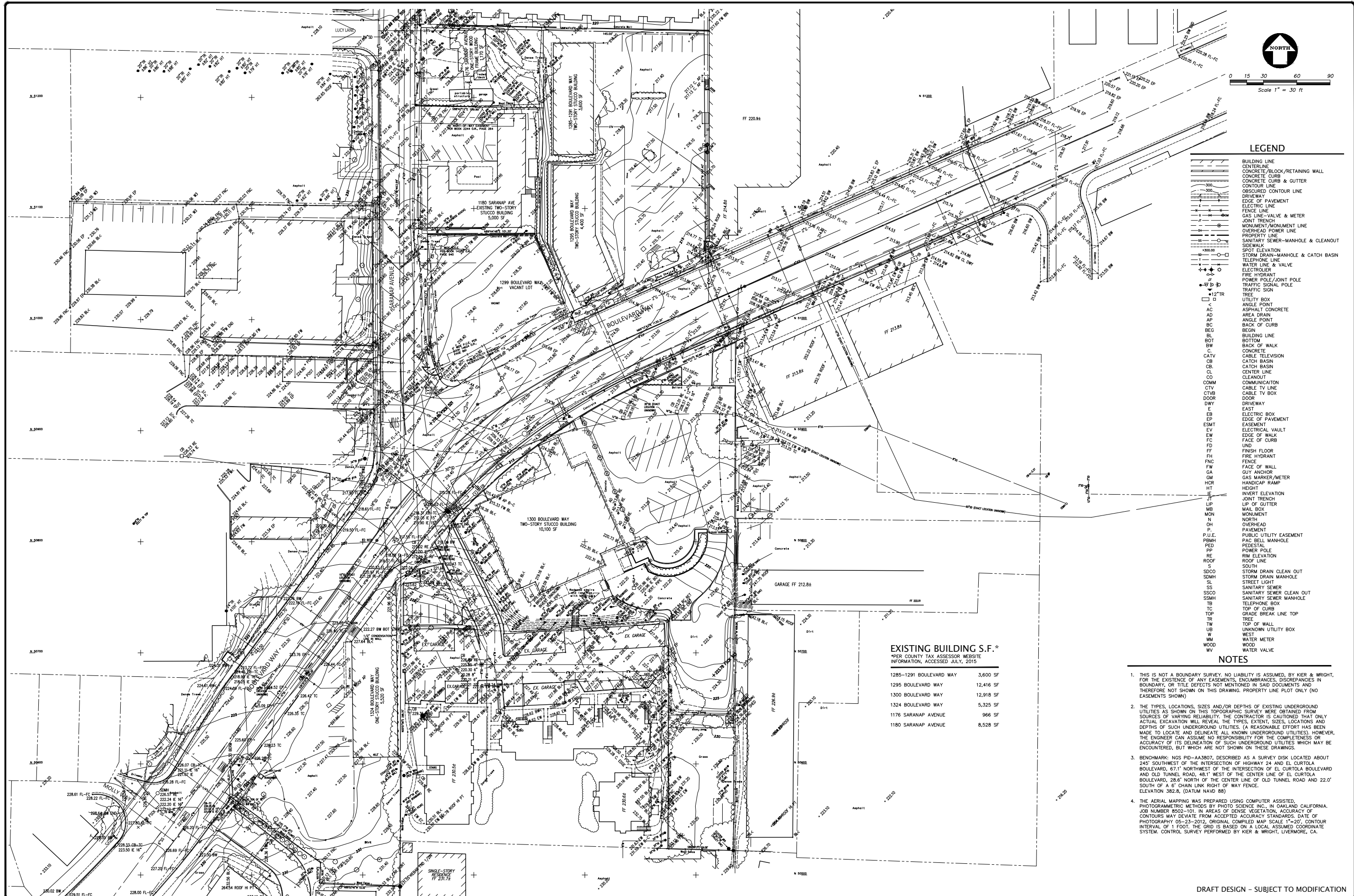
Drawing Title

UNIT PLAN C2 ENLARGED FLOOR PLAN

Drawing No.

A-12

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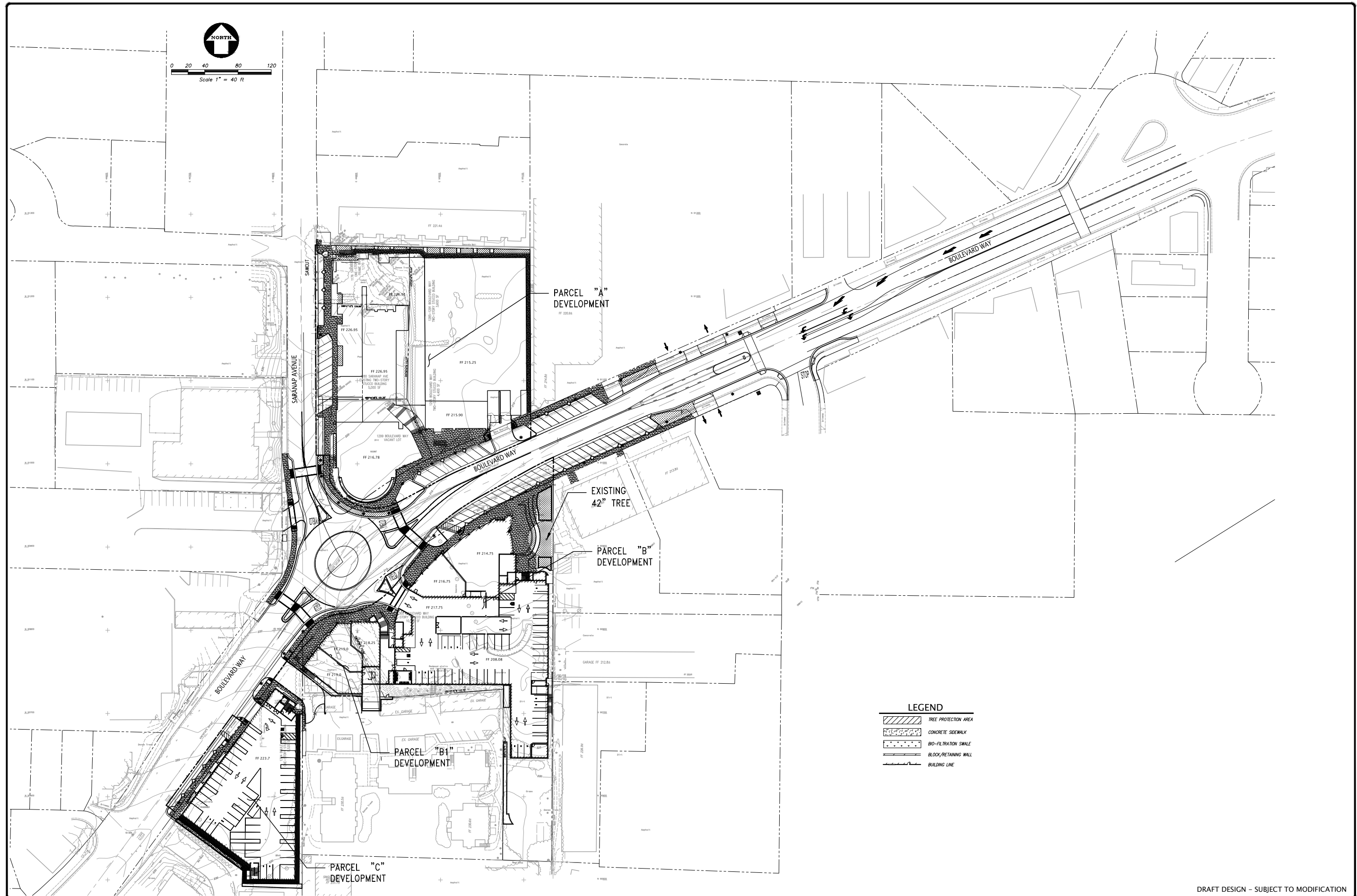


NO.		REVISION	BY	NO.	REVISION	BY
1		NOVEMBER 8, 2013	TC	1		
2		JANUARY 17, 2014	TC	2		
3		FEBRUARY 23, 2014	TC	3		
4		JULY 14, 2015	MC	4		
5		JANUARY 27, 2017	CRM	5		

KIER & WRIGHT		PRELIMINARY DEVELOPMENT PLAN		DATE	
CIVIL ENGINEERS & SURVEYORS, INC.		TOPOGRAPHIC SURVEY		FEB. 15, 2017	
2850 Collier Canyon Road		OF		SCALE	
Livermore, California 94551		BOULEVARD WAY AND SARANAP AVENUE		1" = 30'	
(925) 245-8768		FOR		DESIGNER	
Fax (925) 245-8796		HALL EQUITIES		CRM	
		CALIFORNIA		JOB NO.	
				A12549-3	
				SHEET	
				C1	
				OF 11 SHEETS	

CONTRA COSTA COUNTY

2/12/2012 12:54:03 PM 2/1/2017 4:55:19 PM



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NO.	REVISION	BY	NO.	REVISION	BY
1	NOVEMBER 8, 2013	TC	1		
2	JANUARY 17, 2014	TC	2		
3	FEBRUARY 23, 2014	TC	3		
4	JULY 14, 2015	MC	4		
5	JANUARY 27, 2017	CRM	5		

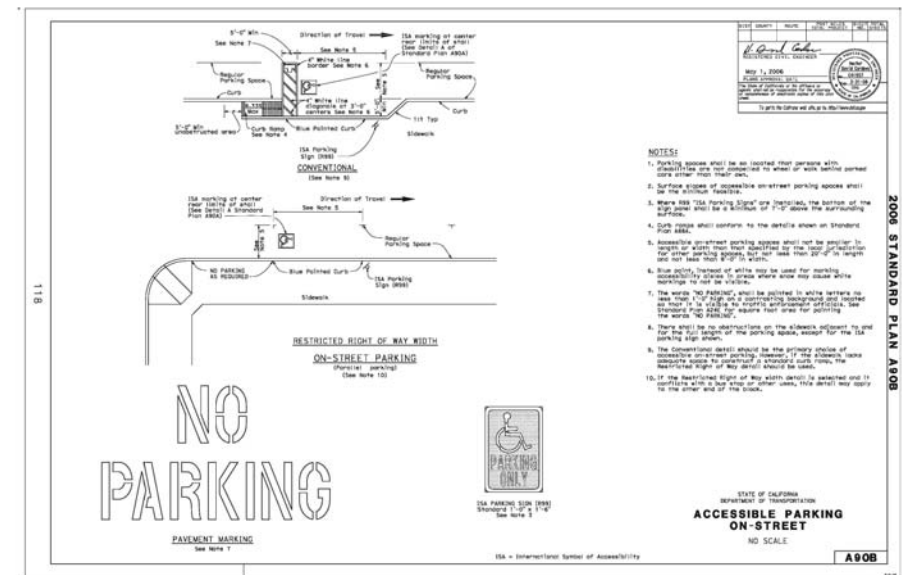
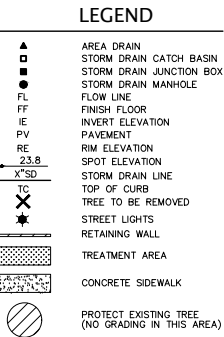
KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
2850 Collier Canyon Road
Livermore, California 94551
(925) 245-8766
Fax (925) 245-8796

PRELIMINARY DEVELOPMENT PLAN
BOULEVARD WAY OVERALL DEVELOPMENT AREA
OF
BOULEVARD WAY AND SARANAP AVENUE
FOR
HALL EQUITIES

CONTRA COSTA COUNTY

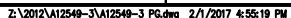
CALIFORNIA

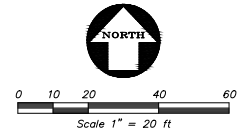
DATE FEB. 15, 2017
SCALE 1" = 40'
DESIGNER CRM
JOB NO. A12549-3
SHEET C2
OF 11 SHEETS



PRELIMINARY DEVELOPMENT PLAN GRADING PLAN – SITE C OF BOULEVARD WAY AND SARANAP AVENUE FOR HALL EQUITIES CONTRA COSTA COUNTY	DATE FEB. 15, 2017
	SCALE 1" = 20'
	DESIGNER CRM
	JOB NO. A12549-3
	SHEET C3 OF 11 SHEETS

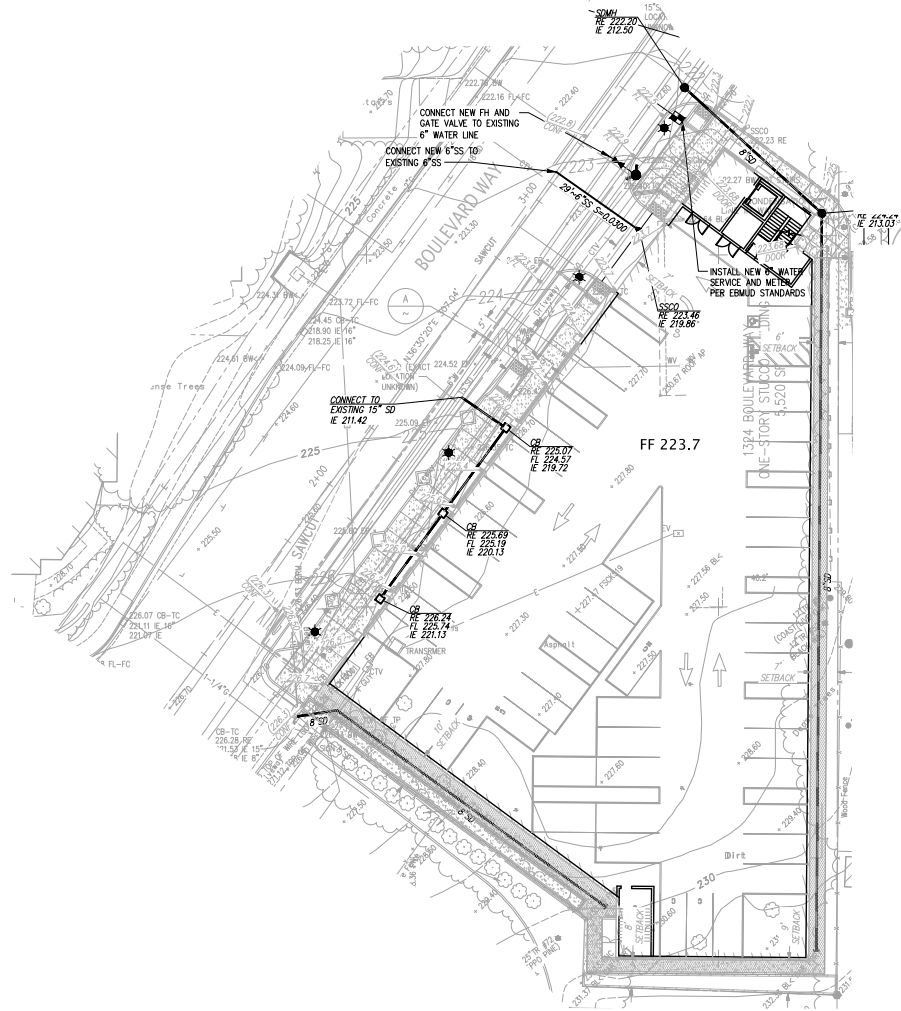
NO.	REVISION	BY	NO.	REVISION	BY
△	NOVEMBER 8, 2013	TC	△		
△	JANUARY 17, 2014	TC	△		
△	FEBRUARY 23, 2014	TC	△		
△	JULY 14, 2015	MC	△		
△	JANUARY 27, 2017	CRM	△		





LEGEND

ASR	AUTOMATIC SPRINKLER RISER
—X—X—	BACK FLOW PREVENTION DEVICE
---	EXISTING UTILITY TO BE ABANDONED BY REMOVAL
—X—X—	FIRE HYDRANT & VALVE
FS	FIRE SERVICE
—	POST INDICATOR VALVE
SS	SANITARY SEWER
COTG	SANITARY SEWER CLEANOUT TO GRADE
SSMH	SANITARY SEWER MANHOLE
—	SINGLE CHECK VALVE
□	STORM DRAIN CATCH BASIN
—	FIRE DEPARTMENT CONNECTION
—	STORM DRAIN JUNCTION BOX
SDMH	STORM DRAIN MANHOLE
—	STORM DRAIN LINE
SDMH	STORM DRAIN MANHOLE
—	WATER METER
WS	WATER SERVICE



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NO.	REVISION	BY	NO.	REVISION	BY
△	NOVEMBER 8, 2013	TC	△		
△	JANUARY 17, 2014	TC	△		
△	FEBRUARY 23, 2014	TC	△		
△	JULY 14, 2015	MC	△		
△	JANUARY 27, 2017	CRM	△		

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CIVIL ENGINEERS & SURVEYORS, INC.
2850 Collier Canyon Road
Livermore, California 94551
(925) 245-8766
Fax (925) 245-8796

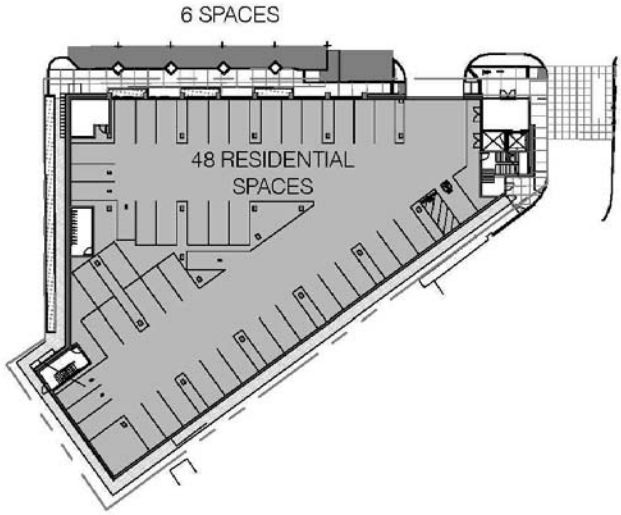
CONTRA COSTA COUNTY

PRELIMINARY DEVELOPMENT PLAN
UTILITY PLAN - SITE C
OF
BOULEVARD WAY AND SARANAP AVENUE
FOR
HALL EQUITIES

CALIFORNIA

DATE	FEB. 15, 2017
SCALE	1" = 20'
DESIGNER	CRM
JOB NO.	A12549-3
SHEET	C5
OF	11 SHEETS

- Guest
- Residential
- Circulation Area



1st Floor Parking

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△	NOVEMBER 8, 2013	TC	△		
△	JANUARY 17, 2014	TC	△		
△	FEBRUARY 23, 2014	TC	△		
△	JULY 14, 2015	MC	△		
△	JANUARY 27, 2017	CRM	△		



KIER & WRIGHT

CIVIL ENGINEERS & SURVEYORS, INC.

2850 Collier Canyon Road
Livermore, California 94551

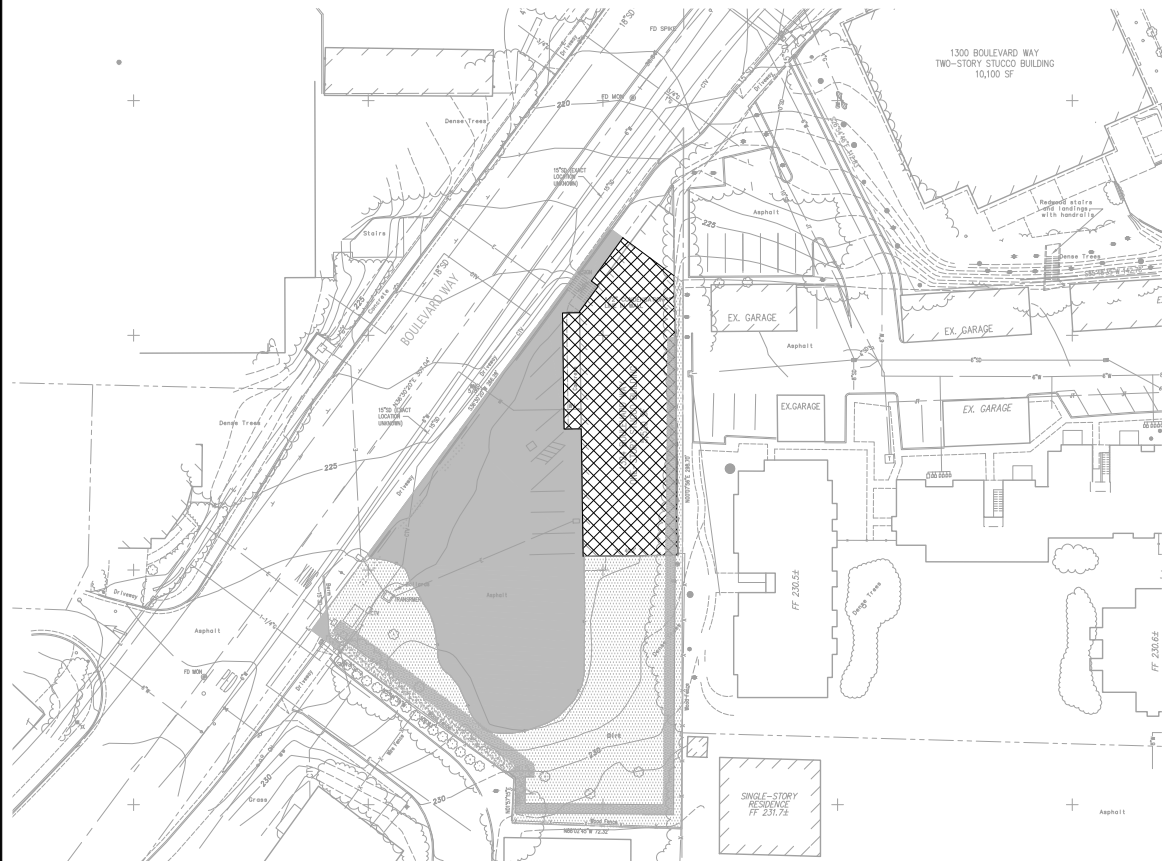
(925) 245-8766
Fax (925) 245-8796

PRELIMINARY DEVELOPMENT PLAN
VEHICLE PARKING PLAN – SITE C
OF
BOULEVARD WAY AND SARANAP AVENUE
FOR
HALL EQUITIES

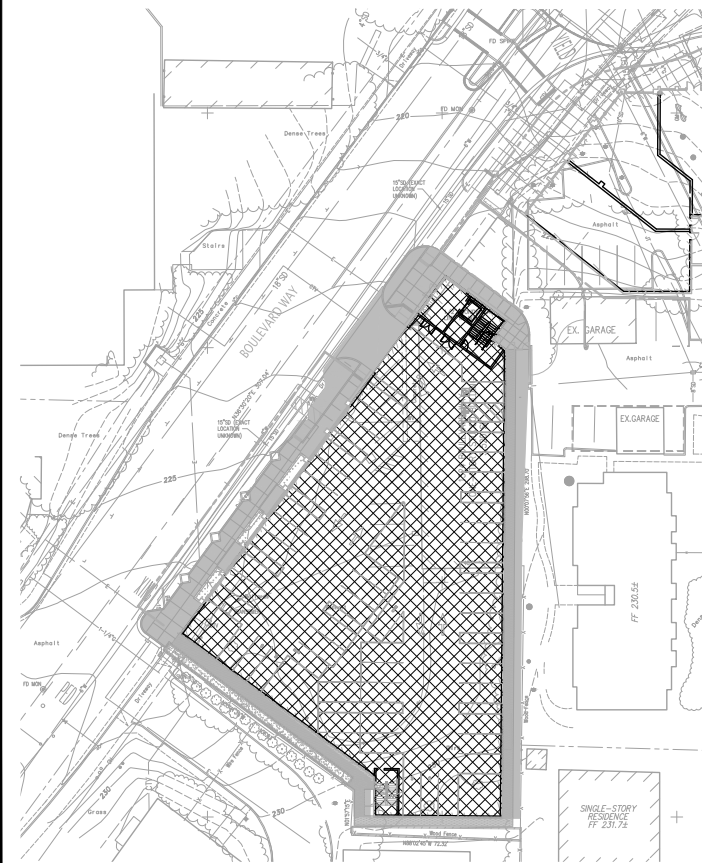
CONTRA COSTA COUNTY

CALIFORNIA

DATE FEB. 15, 2017
SCALE 1" = 20'
DESIGNER CRM
JOB NO. A12549-3
SHEET C6
OF 11 SHEETS



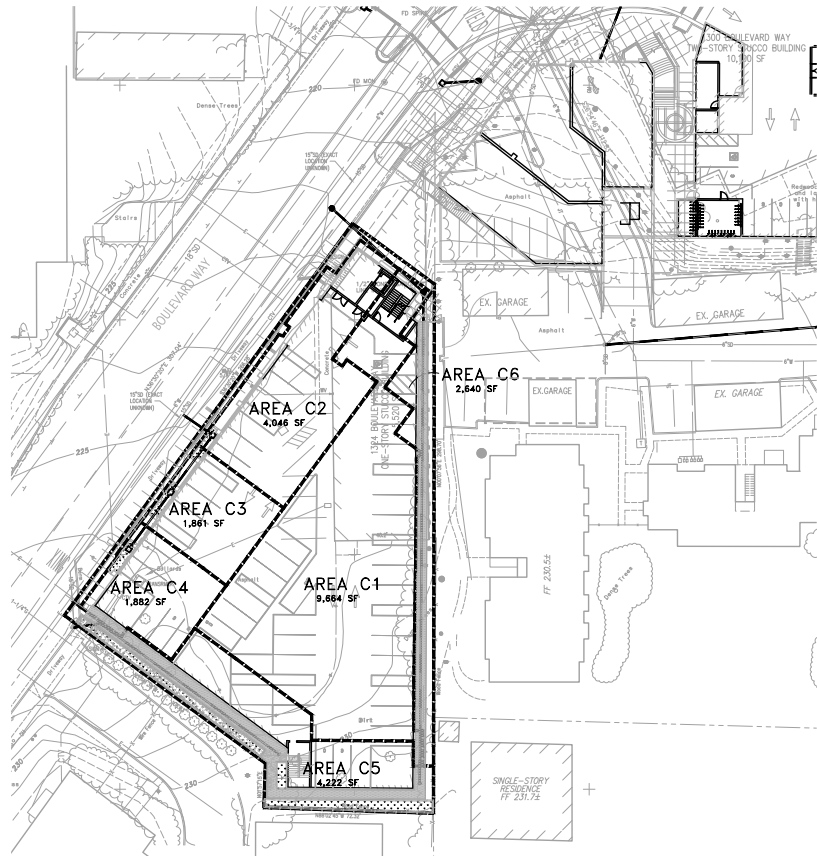
EXISTING SWTP CONDITIONS
DEVELOPMENT AREA 'C'



PROPOSED SWTP CONDITIONS
DEVELOPMENT AREA 'C'

LEGEND EXISTING CONDITIONS

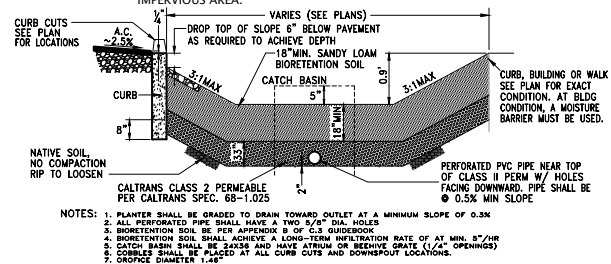
SYMBOL	DESCRIPTION	AREA (SF)	% TOT. AREA
[Solid Grey]	TRIBUTARY AREA LIMITS		
[Cross-Hatch]	IMPERVIOUS PAVEMENT DRAINING TO BIO-RETENTION AREA	10,065	41%
[Diagonal Lines]	IMPERVIOUS ROOFTOP DRAINING TO BIO-RETENTION AREA	5,409	22%
[Stippled]	LANDSCAPE AREA	9,110	37%
	TOTAL	24,584	100%



TREATMENT PLANTERS
DEVELOPMENT AREA 'C'

TREATMENT PLANTERS - Sub-Area BMP Summary					
AREA ID#	TRIBUTARY AREA (SF)	IMPERVIOUS AREA (SF)	IMPERVIOUS AREA EQUIVALENT	BMP PROVIDED	BMP SIZE (SF)
1	9,664	8,576	8,576	PLANTER	
2	4,046	3,590	3,590	PLANTER	
3	1,861	1,651	1,651	PLANTER	
4	1,882	1,670	1,670	PLANTER	
5	4,222	3,747	3,747	PLANTER	
6	2,640	2,343	2,343	PLANTER	
TOTAL	25,125	23,266	21,581		1140

*NOTE: BMP SIZES AND CONNECTIONS TO DRAINAGE AREAS WILL BE CONFIRMED IN FINAL DESIGN. BMP AREA EXCEEDS 4.5% OF IMPERVIOUS AREA.



STORM WATER TREATMENT PLANTER - TYPICAL SECTION
N. T. S.

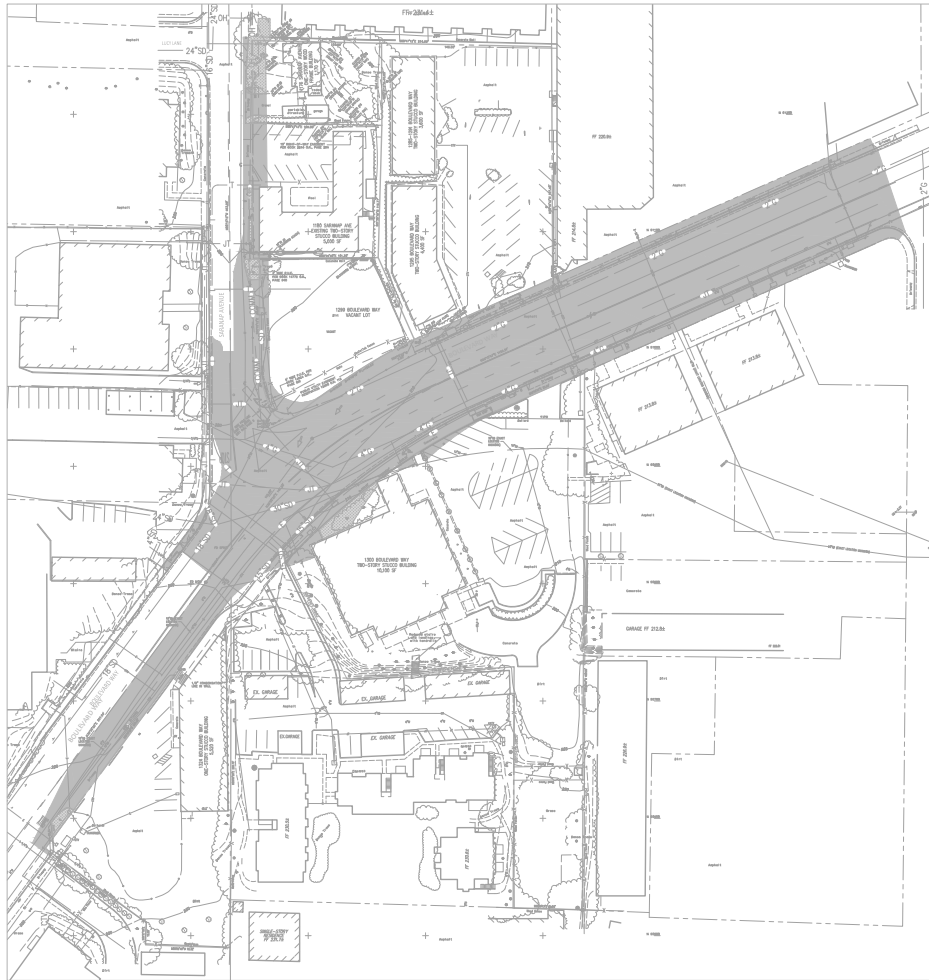
DRAFT DESIGN - SUBJECT TO MODIFICATION

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1	NOVEMBER 8, 2013	TC	1		
2	JANUARY 17, 2014	TC	2		
3	FEBRUARY 23, 2014	TC	3		
4	JULY 14, 2015	MC	4		
5	JANUARY 27, 2017	CRM	5		

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CIVIL ENGINEERS & SURVEYORS, INC.
2850 Collier Canyon Road
Livermore, California 94551 Fax (925) 245-8796

PRELIMINARY DEVELOPMENT PLAN
STORM WATER TREATMENT PLAN - SITE C
OF
BOULEVARD WAY AND SARANAP AVENUE
FOR
HALL EQUITIES
CONTRA COSTA COUNTY

DATE	FEB. 15, 2017
SCALE	1" = 30'
DESIGNER	CRM
JOB NO.	A12549-3
SHEET	C7
OF	11 SHEETS



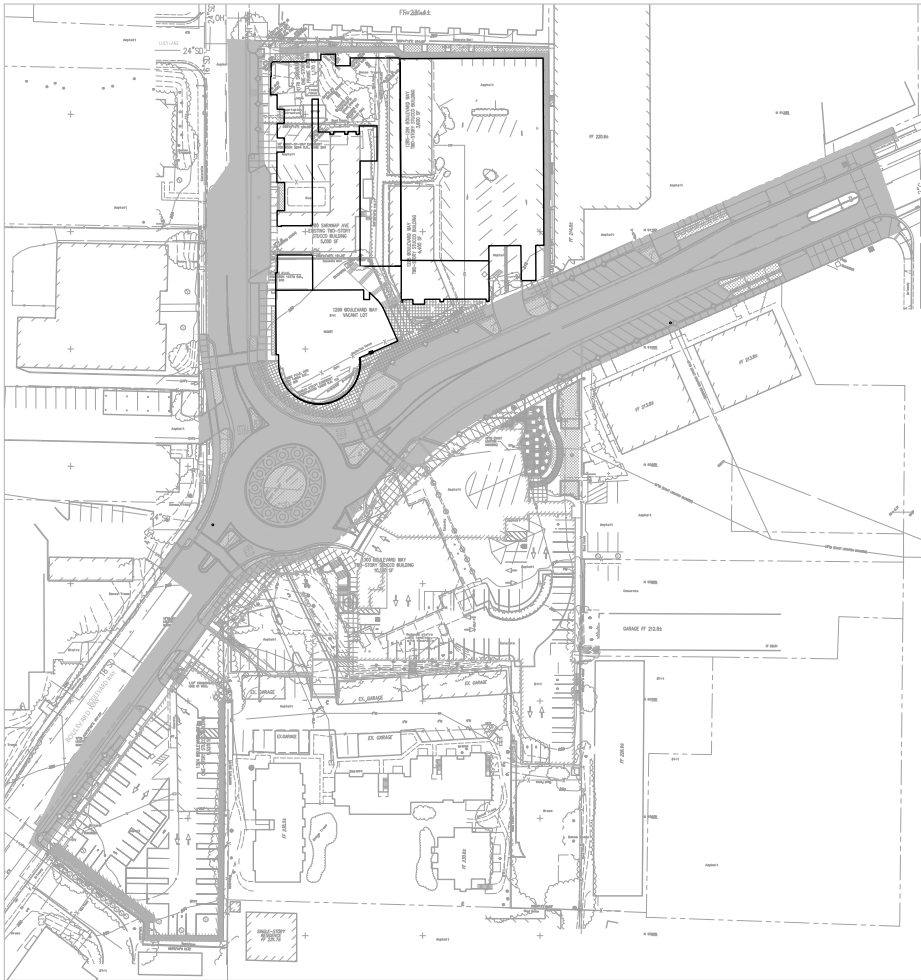
EXISTING SWTP CONDITIONS

STREET IMPROVEMENT

LEGEND EXISTING CONDITIONS

- IMPERVIOUS PAVEMENT AREA
LANDSCAPE AREA

AREA (SF)	% TOT. AREA
36,374	95%
2,100	5%
TOTAL 38,474	100%



PROPOSED SWTP CONDITIONS

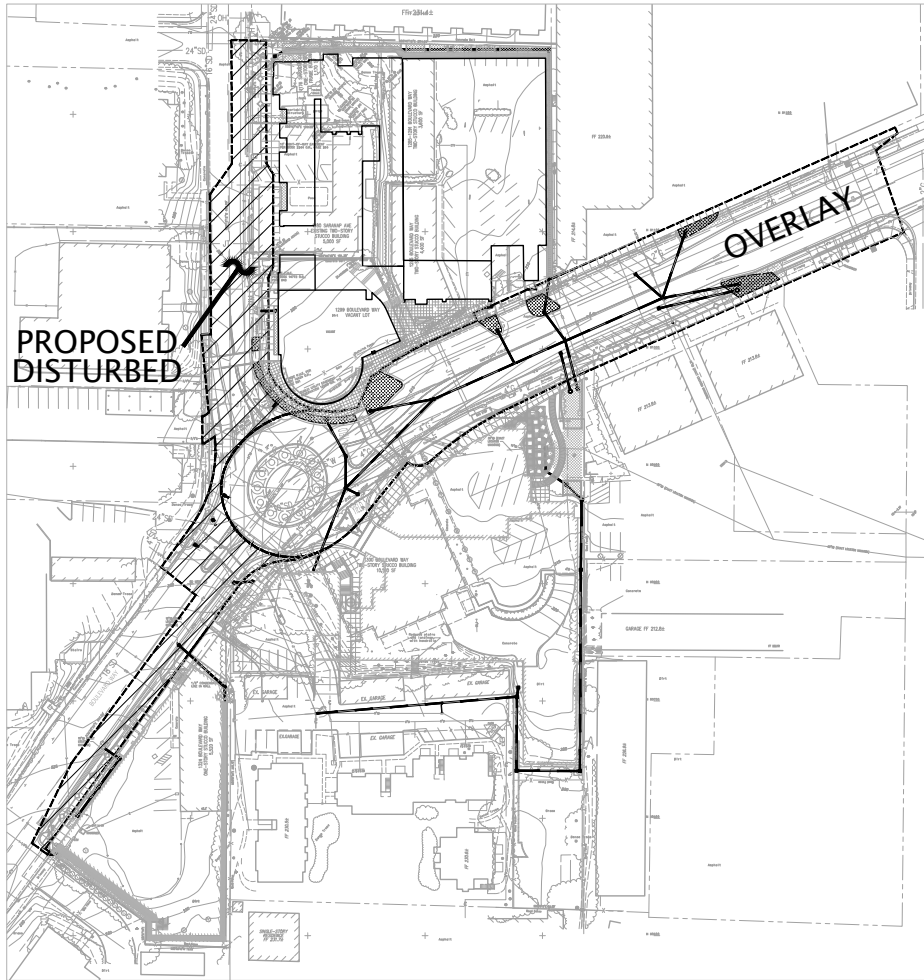
STREET IMPROVEMENT

LEGEND PROPOSED CONDITIONS

- IMPERVIOUS PAVEMENT AREA
LANDSCAPE AREA

AREA (SF)	% TOT. AREA
34,850	90.6%
3,624	9.4%
TOTAL 38,474	100%

NOTE: BMP SIZES AND CONNECTIONS TO DRAINAGE AREAS WILL BE CONFIRMED IN FINAL DESIGN. BMP AREA EXCEEDS 4.5% OF IMPERVIOUS AREA.

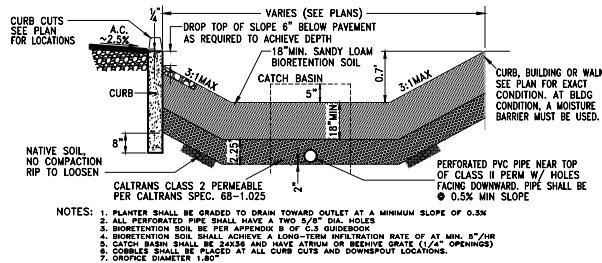


TREATMENT PLANTERS

DEVELOPMENT AREA 'C'

TREATMENT PLANTERS - Sub-Area BMP Summary					
AREA ID#	TRIBUTARY AREA (SF)	IMPERVIOUS AREA (SF)	IMPERVIOUS AREA EQUIVALENT	BMP PROVIDED	BMP SIZE (SF)
TOTAL	38,474	34,850	37,387	PLANTER	1,087

*NOTE: BMP SIZES AND CONNECTIONS TO DRAINAGE AREAS WILL BE CONFIRMED IN FINAL DESIGN. BMP AREA EXCEEDS 4.5% OF IMPERVIOUS AREA.



STORM WATER TREATMENT PLANTER - TYPICAL SECTION
N.T.S.



0 30 60 120 180
Scale 1" = 60 ft

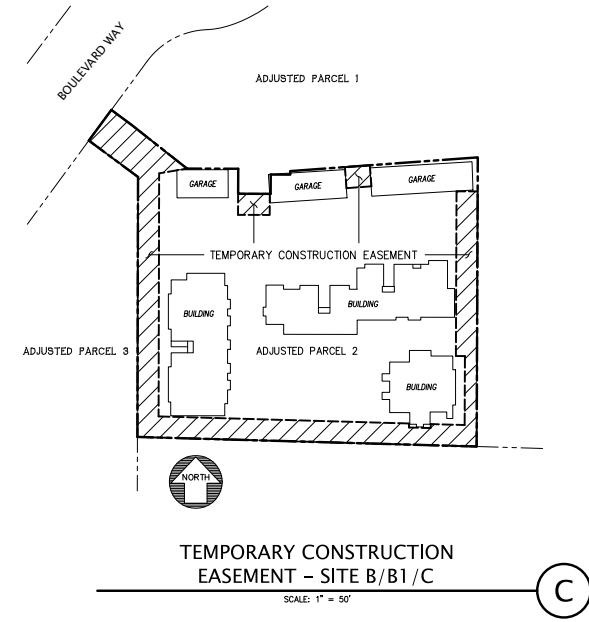
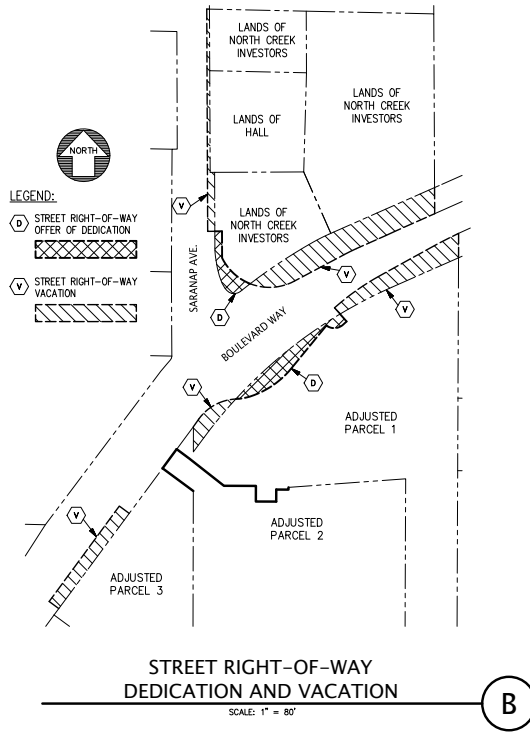
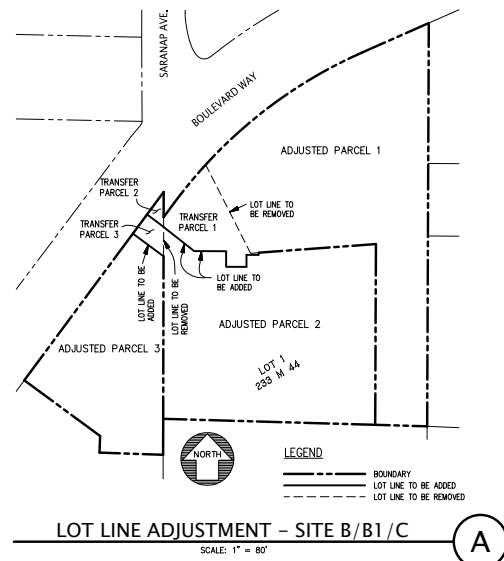
DRAFT DESIGN - SUBJECT TO MODIFICATION

NO.	REVISION	BY	NO.	REVISION	BY
1	NOVEMBER 8, 2013	TC	1	NOVEMBER 8, 2013	TC
2	JANUARY 17, 2014	TC	2	JANUARY 17, 2014	TC
3	FEBRUARY 23, 2014	TC	3	FEBRUARY 23, 2014	TC
4	JULY 14, 2015	MC	4	JULY 14, 2015	MC
5	JANUARY 27, 2017	CRM	5	JANUARY 27, 2017	CRM

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Livermore, California 94551 Fax (925) 245-8796

PRELIMINARY DEVELOPMENT PLAN
STORM WATER TREATMENT PLAN - STREETSCAPE
OF
BOULEVARD WAY AND SARANAP AVENUE
FOR
HALL EQUITIES
CONTRA COSTA COUNTY

DATE FEB. 15, 2017
SCALE 1" = 60'
DESIGNER CRM
JOB NO. A12549-3
SHEET **C8**
OF 11 SHEETS



DRAFT DESIGN - SUBJECT TO MODIFICATION

NO.	REVISION	BY	NO.	REVISION	BY
△	NOVEMBER 8, 2013	TC	△		
△	JANUARY 17, 2014	TC	△		
△	FEBRUARY 23, 2014	TC	△		
△	JULY 14, 2015	MC	△		
△	JANUARY 27, 2017	CRM	△		

KIER & WRIGHT
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2850 Collier Canyon Road
Livermore, California 94551 Fax (925) 245-8796

CONTRA COSTA COUNTY	PRELIMINARY DEVELOPMENT PLAN		DATE	FEB. 15, 2017
	SURVEY EXHIBITS - SITE C		SCALE	1" = 50'
	OF		DESIGNER	CRM
	BOULEVARD WAY AND SARANAP AVENUE		JOB NO.	A12549-3
	FOR HALL EQUITIES		SHEET	C9
CALIFORNIA		OF	11	SHEETS

Z:\2012\A12549-3\A12549-3 PL.dwg 2/7/2017 4:55:19 PM



LEGEND	
PROPOSED	EXISTING

GENERAL NOTE

1. PROVIDED THAT PRIOR TO RECORDED OF THE FINAL MAPS FOR PARCELS A, B OR C, THE COUNTY HAS VACATED OR CONDITIONALLY VACATED ALL OR SOME OF THE AREAS SHOWN ON THE VESTING TENTATIVE MAP AS PUBLIC PARKING AREAS, AND THE OWNER HAS PRESENTED A TITLE REPORT TO THE COUNTY SATISFACTORILY DEMONSTRATING OWNERS' TITLE TO SUCH PUBLIC PARKING AREAS, THE FINAL MAPS FOR PARCELS A, B AND C MAY INCLUDE THE PUBLIC PARKING AREAS ADJACENT TO OR NEAR PARCELS A, B AND C, RESPECTIVELY.

SUBDIVISION 6406-UNIT 5
CONDOMINIUM PLAN
RECORDED: OCTOBER 17, 1984
BOOK 12056 O.R. PG 486

LANDS OF SPANISH CASTLE APARTMENTS
DOC# 2005-0181283
APN: 185-360-045-0

LANDS OF MEYER
DOC# 2000-0064136
APN: 185-360-047

SUBDIVISION 5355
CONDOMINIUM PLAN
RECORDED: APRIL 13, 1979
RECORDERS FILE# 47895
(253-M 40)

SUBDIVISION TRACT 5532
DOC# 80-96647
APN: 184-480-01 THRU 02

LANDS OF PINKAS
DOC# 2012-013324
APN: 184-010-053

LANDS OF DAVIS
DOC# 2011-0208124
APN: 184-010-069

LANDS OF MERIDIAN
DOC# 2009-0183701
APN: 184-010-070

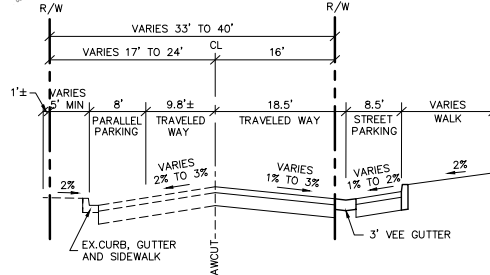
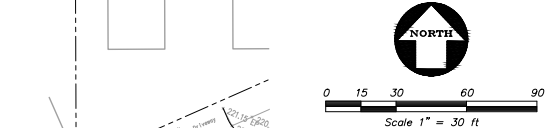
LANDS OF WADSWORTH
DOC# 94-103536
APN: 184-010-004

LANDS OF TILDEN-OAKMONT WEST, LLC
DOC# 2012-0131513
APN: 184-010-76

LANDS OF TILDEN-OAKMONT WEST, LLC
DOC# 2012-0131513
APN: 184-010-77

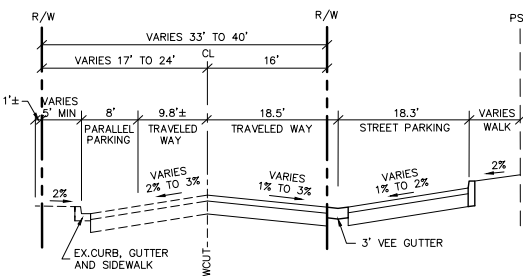
LANDS OF TILDEN-OAKMONT WEST, LLC
DOC# 2012-0131513
APN: 184-010-75

LANDS OF WADSWORTH
DOC# 94-103536
APN: 184-010-004



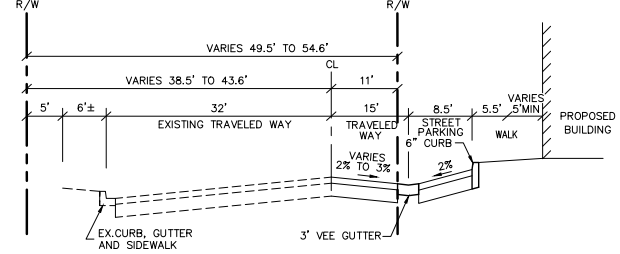
SARANAP AVENUE SECTION

N.T.S.



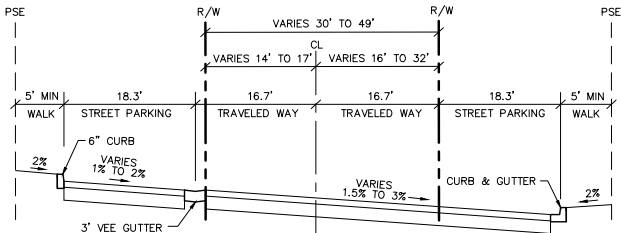
SARANAP AVENUE SECTION

N.T.S.



BOULEVARD WAY SECTION

N.T.S.



BOULEVARD WAY SECTION

N.T.S.

DRAFT DESIGN - SUBJECT TO MODIFICATION

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1	NOVEMBER 8, 2013	TC	1	NOVEMBER 8, 2013	TC
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3	FEBRUARY 23, 2014	TC	3	FEBRUARY 23, 2014	TC
4	JULY 14, 2015	MC	4	JULY 14, 2015	MC
5	JANUARY 27, 2017	CRM	5	JANUARY 27, 2017	CRM

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Livermore, California 94551 Fax (925) 245-8798

PRELIMINARY DEVELOPMENT PLAN
VESTING TENTATIVE MAP FOR CONDOMINIUM PURPOSES
OF
BOULEVARD WAY AND SARANAP AVENUE
FOR
HALL EQUITIES
CALIFORNIA

DATE	FEB. 15, 2017
SCALE	1" = 30'
DESIGNER	CRM
JOB NO.	A12549-3
SHEET	C11
OF	11 SHEETS

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