

PROJECT PLANS

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B A Y P O I N T F A M I L Y A P A R T M E N T S

PROJECT DESCRIPTION

Per the Baypoint community design guidelines, the site is designed to orient buildings and their entrances to the two primary adjacent streets: Willow Pass Road and Port Chicago Highway. Parking is generally located internally, away from public view. The community building anchors the main entry on Willow Pass Road. At the heart of the project is a large open commons which accommodates a pool, a play area for children, seating and barbeque areas, and a play field.

The scope of this project includes one, two, three and four-bedroom apartments located in eight 3-story buildings. 27 garages are provided and are integrated into two buildings at the center of the community. It also includes the community center with laundry, maintenance facility, a pool-related building and trash enclosures. The entire site will be gated.

The site layout is designed to promote a pedestrian-friendly environment which connects to both streets and all of the project's shared amenities.

ARCHITECTURE

The architecture is designed to bring a fresh contemporary face to this prominent neighborhood location. Two 3-story high exterior stair halls at each apartment building serve to punctuate the building entrances with their angled butterfly-shape profiles. This form serves two purposes: to lend a distinctive village-like appearance to the project from a distance, and to screen rooftop mechanical units. Special exterior building features include upper-level decks with railings of horizontal lap siding, wood privacy fencing at ground floor patios, siding accents, and a louver-like grille at each stair hall

LANDSCAPE

The landscape design incorporates drought-tolerant plant material for shade and privacy, all carefully selected for the bay point region. The landscape further incorporated the latest c3 guidelines in concert with the clean water act.

SITE DATA

APN: 098-240-058 & 092-240-059
 LOCATION: NW CORNER WILLOW PASS ROAD & PORT CHICAGO HIGHWAY
 OWNER: BAYPOINT FAMILY APARTMENTS, LLC
 1640 SEPULVEDA BLVD., SUITE 425
 LOS ANGELES, CA 90025

EXISTING ZONING: P-1
 PROPOSED ZONING: P-1
 SITE AREA: 7.61 AC GROSS
 LESS EASEMENTS 0.27
 NET SITE 7.34 AC

NUMBER OF UNITS: 193

PARKING REQUIRED FOR 193 UNITS*:

| | | |
|--------------|-----------------|------------|
| 1 BR UNIT | 69 @ 1 EACH = | 69 |
| 2 BR UNIT | 31 @ 2 EACH = | 62 |
| 3 BR UNIT | 81 @ 2 EACH = | 162 |
| 4 BR UNIT | 12 @ 2.5 EACH = | 30 |
| TOTAL | | 323 |

*PER TABLE 9, PARKING REQUIREMENT REDUCATION, CCC DENSITY BONUS GUIDELINES

PARKING PROVIDED: 328 SPACES
 LONG-TERM BICYCLE PARKING
 REQUIRED: 422 BEDROOMS X 15% = 64
 PROVIDED: 64

OCCUPANCY TYPE: R2
 CONSTRUCTION TYPE: V-B, SPRINKLERED

PROJECT TEAM

ARCHITECTURE
 SDG ARCHITECTS, INC.
 3361 WALNUT BLVD., #120
 BRENTWOOD, CA 94513
 ATTN: SCOTT PRICKETT
 (925) 634-7000

CIVIL ENGINEER
 KPFF
 45 FREMONT STREET
 SAN FRANCISCO, CA 94105
 ATTN: STEVE MURRAY / RYAN BEATON
 (415) 989-1004

LANDSCAPE ARCHITECTURE
 R3 STUDIOS
 201 4TH STREET #101B
 OAKLAND, CA 94607
 ATTN: ROMAN DESOTA
 (510) 452-4190

JOINT TRENCH
 TARRAR
 813 FIRST STREET
 BRENTWOOD, CA 94513
 ATTN: HAIDER KAMMOONAH
 (925) 240-2595

PHOTOMETRICS
 S. Y. LEE ASSOCIATES
 216 S. JACKSON ST. #101
 GLENDALE, CA 91205
 ATTN: CHRISTIAN BOLAYOG
 (818) 242-2800

BUILDING DATA

CONSTRUCTION TYPE: V-B
 OCCUPANCY CLASSIFICATIONS: R-2 (APARTMENTS), & U (PRIVATE GARAGES)

| | | |
|-----------------------------------|-------------------|--|
| A1 BUILDINGS | | |
| LIVING | 32,234 | |
| CORRIDOR, STAIRS, UTILITY & DECKS | 8826 | |
| GARAGES & STORAGE | 5608 | |
| BUILDING TOTAL | 46,668 SF | |
| A2 BUILDINGS | | |
| LIVING | 22,128 | |
| CORRIDOR, STAIRS, UTILITY & DECKS | 4,772 | |
| BUILDING TOTAL | 26,900 SF | |
| A3 BUILDINGS | | |
| LIVING | 18,440 | |
| CORRIDOR, STAIRS, UTILITY & DECKS | 4,492 | |
| GARAGES & STORAGE | 3,570 | |
| BUILDING TOTAL | 26,502 SF | |
| B1 BUILDINGS | | |
| LIVING | 26,028 | |
| CORRIDOR, STAIRS, UTILITY & DECKS | 5,988 | |
| BUILDING TOTAL | 32,016 SF | |
| B2 BUILDINGS | | |
| LIVING | 23,892 | |
| CORRIDOR, STAIRS, UTILITY & DECKS | 5,585 | |
| BUILDING TOTAL | 29,477 SF | |
| C1 BUILDINGS | | |
| LIVING | 20,820 | |
| CORRIDOR, STAIRS, UTILITY & DECKS | 4,352 | |
| COMMUNITY CENTER | 4,291 | |
| BUILDING TOTAL | 29,463 SF | |
| C2 BUILDINGS | | |
| LIVING | 24,984 | |
| CORRIDOR, STAIRS, UTILITY & DECKS | 4,858 | |
| BUILDING TOTAL | 29,842 SF | |
| D1 BUILDINGS | | |
| LIVING | 17,680 | |
| CORRIDOR, STAIRS, UTILITY & DECKS | 4,545 | |
| STORAGE | 172 | |
| BUILDING TOTAL | 22,397 SF | |
| TOTAL | 243,265 SF | |

| | |
|------|--|
| 01 | COVER SHEET |
| 02 | SITE MAP |
| 03 | STREETSCAPES |
| C001 | PRELIMINARY GRADING & DRAINAGE PLAN |
| C002 | PRELIMINARY UTILITY PLAN |
| C003 | PRELIMINARY STORMWATER CONTROL PLAN |
| C004 | DETAILS |
| PE-1 | SITE LIGHTING PHOTOMETRIC PLAN |
| JT1 | JOINT TRENCH COMPOSITE TITLE SHEET |
| JT2 | JOINT TRENCH GENERAL NOTES & DETAILS |
| JT3 | JOINT TRENCH DETAILS |
| JT4 | JOINT TRENCH SECTIONS & DETAILS |
| JT5 | JOINT TRENCH COMPOSITE PLAN |
| JT6 | JOINT TRENCH COMPOSITE PLAN |
| JT7 | JOINT TRENCH COMPOSITE PLAN |
| L001 | OVERALL SITE PLAN |
| L002 | INDEX PLAN |
| L003 | ENLARGEMENT A |
| L004 | ENLARGEMENT B |
| L005 | ENLARGEMENT C |
| L006 | SITE AMENITIES |
| L007 | SITE AMENITIES |
| L008 | SITE AMENITIES |
| L009 | PROPOSED PLANT PALETTE & NOTES |
| A1 | 1 BEDROOM UNIT PLANS |
| A2 | 2 BEDROOM UNIT PLANS |
| A3 | 3 BEDROOM UNIT PLANS |
| A4 | 4 BEDROOM UNIT PLAN |
| A5 | BUILDING A1 ELEVATIONS |
| A6 | BUILDING A1 - FIRST & SECOND FLOOR PLANS |
| A7 | BUILDING A1 - THIRD FLOOR PLAN & ROOF PLAN |
| A8 | BUILDING A2 - ELEVATIONS |
| A9 | BUILDING A2 - FIRST & SECOND FLOOR PLANS |
| A10 | BUILDING A2 - THIRD FLOOR & ROOF PLANS |
| A11 | BUILDING A3 - ELEVATIONS |
| A12 | BUILDING A3 - FIRST & SECOND FLOOR PLANS |
| A13 | BUILDING A3 - THIRD FLOOR & ROOF PLANS |
| A14 | BUILDING B1 - ELEVATIONS |
| A15 | BUILDING B1 - FIRST & SECOND FLOOR PLANS |
| A16 | BUILDING B1 - THIRD FLOOR & ROOF PLANS |
| A17 | BUILDING B2 - ELEVATIONS |
| A18 | BUILDING B2 - FIRST & SECOND FLOOR PLANS |
| A19 | BUILDING B2 - THIRD FLOOR & ROOF PLANS |
| A20 | BUILDING C1 - ELEVATIONS |
| A21 | BUILDING C1 - FIRST & SECOND FLOOR PLANS |
| A22 | BUILDING C1 - COM. CENTER FLOOR PLAN |
| A23 | BUILDING C1 - THIRD FLOOR & ROOF PLANS |
| A24 | BUILDING C2 - ELEVATIONS |
| A25 | BUILDING C2 - FIRST & SECOND FLOOR PLANS |
| A26 | BUILDING C2 - THIRD FLOOR & ROOF PLANS |
| A27 | BUILDING D1 - ELEVATIONS |
| A28 | BUILDING D1 - FIRST & SECOND FLOOR PLANS |
| A29 | BUILDING D1 - THIRD FLOOR & ROOF PLANS |
| A30 | POOL BUILDING & RAMADA |
| A31 | TRASH ENCLOSURE |
| A32 | COLOR & MATERIALS |

Baypoint Family Apartments
 Contra Costa County, CA
 November 17, 2015

Baypoint Family Apartments, LLC

1640 S. Sepulveda Blvd., Suite 425, Los Angeles, CA 90025
 310.575.3543

COVER SHEET
 01

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com



SDG Architects, Inc.



SITE LEGEND

- COMMUNITY BUILDING
- LAUNDRY
- TRASH ENCLOSURES
- MAIL CENTER
- STORAGE ROOMS
- LONG TERM BIKE STORAGE
- MAINTENANCE ROOM
- COMPACTOR ENCLOSURE

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SITE MAP
 02

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PORT CHICAGO HIGHWAY STREETSCAPE



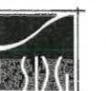
WILLOW PASS ROAD STREETSCAPE

Baypoint Family Apartments
Contra Costa County, CA
November 17, 2015

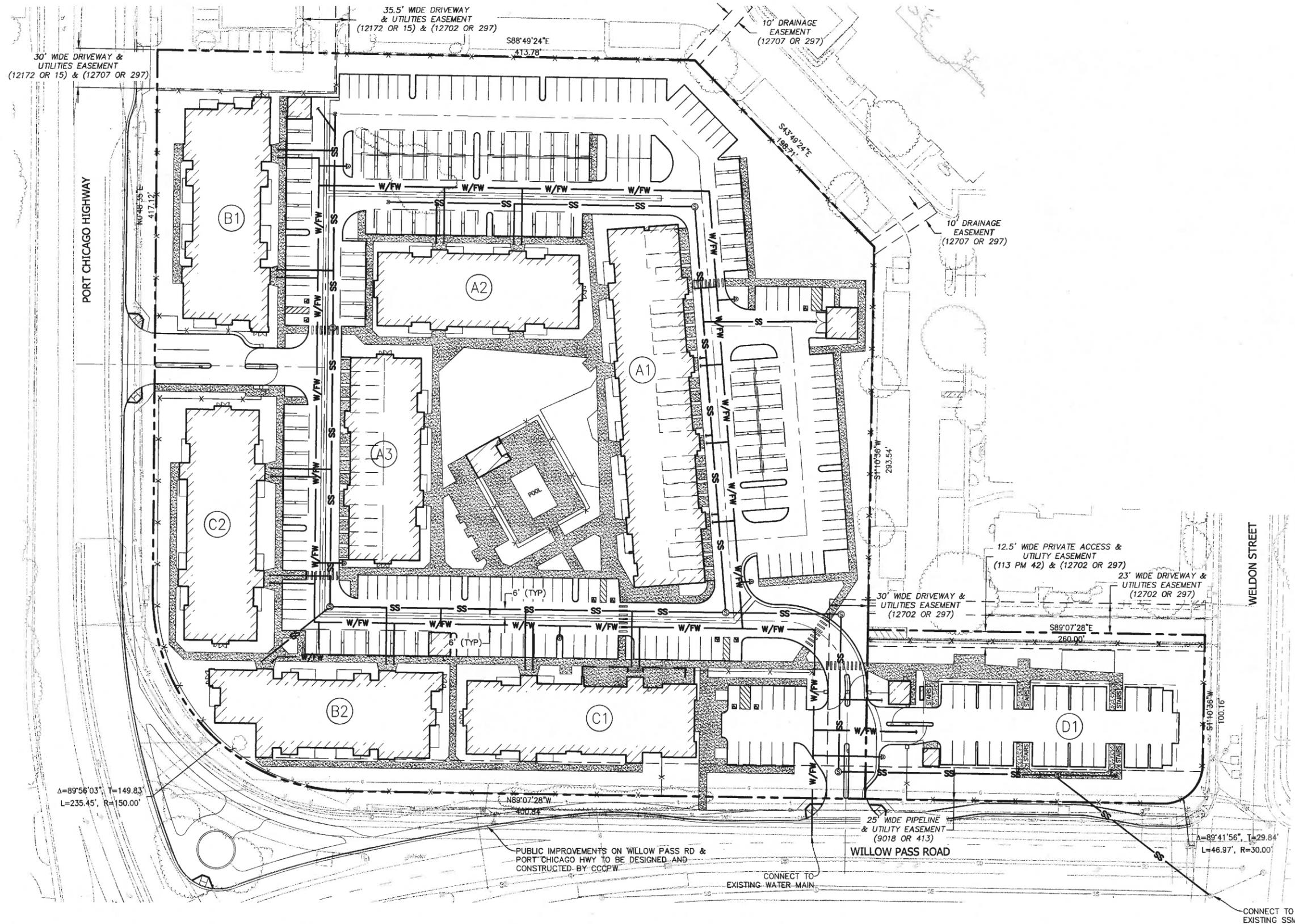
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STREETSCAPES
03

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SDG Architects, Inc.



LEGEND:

| | |
|--|---|
| | BUILDING FOOTPRINT |
| | PROPERTY LINE |
| | EASEMENT LINE |
| | CENTERLINE |
| | FENCE |
| | CURB |
| | CURB & GUTTER |
| | SANITARY SEWER MANHOLE |
| | SANITARY SEWER CLEANOUT |
| | FIRE HYDRANT |
| | BUILDING NUMBER |
| | SEPARATE DOMESTIC WATER & FIRE WATER PIPE |
| | FIRE WATER PIPE |
| | SANITARY SEWER PIPE |
| | EXISTING CABLE |
| | EXISTING ELECTRICAL |
| | EXISTING GAS |
| | EXISTING SANITARY SEWER |
| | EXISTING STORM DRAIN |
| | EXISTING STREET LIGHT |
| | EXISTING TRAFFIC LOOP |
| | EXISTING TELECOM |
| | EXISTING WATER |

- NOTES:**
1. DOMESTIC WATER AND FIRE WATER SHALL BE METERED AND BACKFLOW PROTECTED IN THE PUBLIC RIGHT-OF-WAY ALONG WILLOW PASS ROAD. SEPARATE DOMESTIC AND FIRE WATER PIPES SHALL BE LAID PARALLEL THROUGHOUT THE SITE WHERE INDICATED.

Baypoint Family Apartments
 Contra Costa County, CA
 August 4, 2015

Preliminary Utility Plan
 Sheet C002

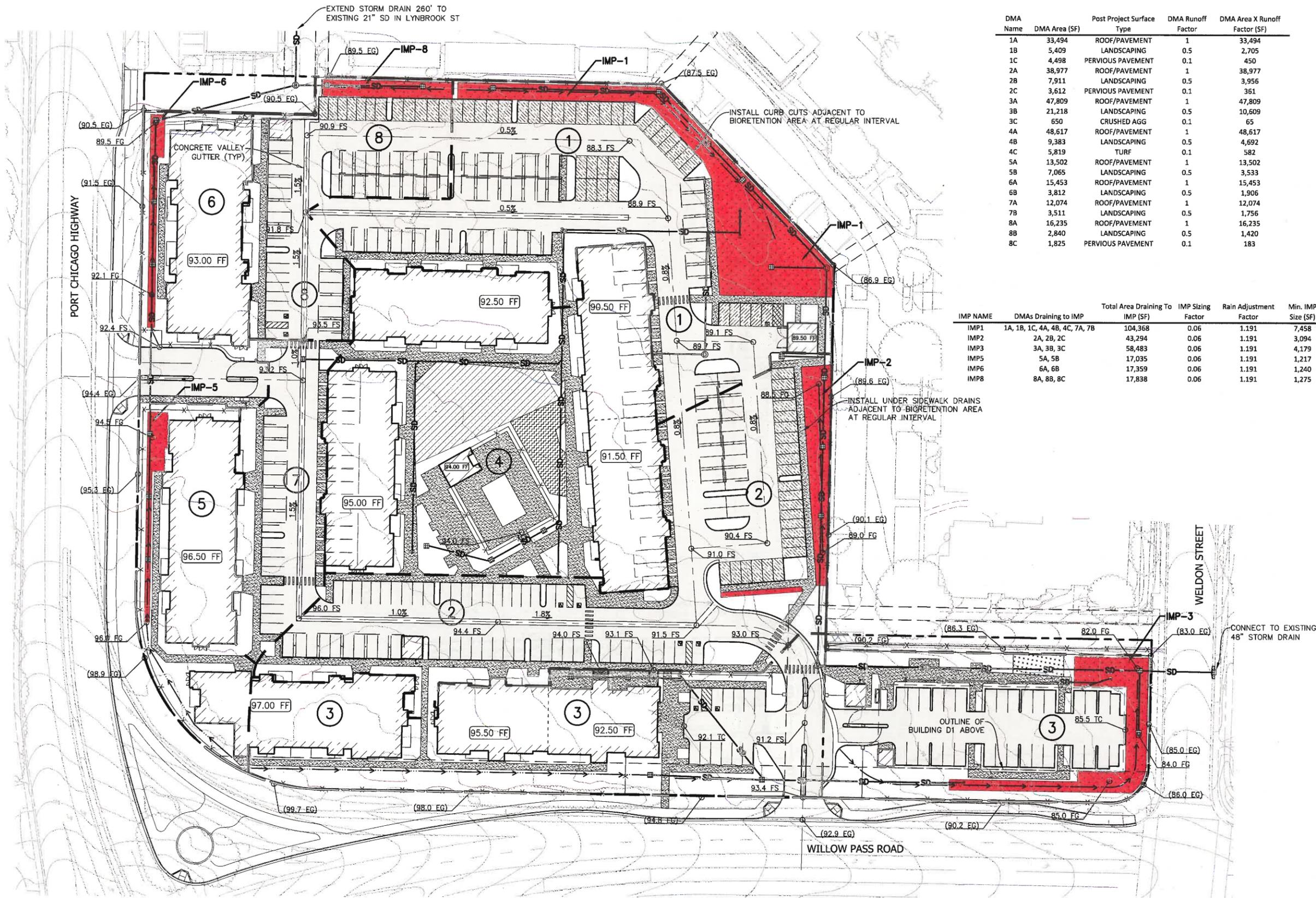
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| DMA Name | DMA Area (SF) | Post Project Surface Type | DMA Runoff Factor | DMA Area X Runoff Factor (SF) |
|----------|---------------|---------------------------|-------------------|-------------------------------|
| 1A | 33,494 | ROOF/PAVEMENT | 1 | 33,494 |
| 1B | 5,409 | LANDSCAPING | 0.5 | 2,705 |
| 1C | 4,498 | PERVIOUS PAVEMENT | 0.1 | 450 |
| 2A | 38,977 | ROOF/PAVEMENT | 1 | 38,977 |
| 2B | 7,911 | LANDSCAPING | 0.5 | 3,956 |
| 2C | 3,612 | PERVIOUS PAVEMENT | 0.1 | 361 |
| 3A | 47,809 | ROOF/PAVEMENT | 1 | 47,809 |
| 3B | 21,218 | LANDSCAPING | 0.5 | 10,609 |
| 3C | 650 | CRUSHED AGG | 0.1 | 65 |
| 4A | 48,617 | ROOF/PAVEMENT | 1 | 48,617 |
| 4B | 9,383 | LANDSCAPING | 0.5 | 4,692 |
| 4C | 5,819 | TURF | 0.1 | 582 |
| 5A | 13,502 | ROOF/PAVEMENT | 1 | 13,502 |
| 5B | 7,065 | LANDSCAPING | 0.5 | 3,533 |
| 6A | 15,453 | ROOF/PAVEMENT | 1 | 15,453 |
| 6B | 3,812 | LANDSCAPING | 0.5 | 1,906 |
| 7A | 12,074 | ROOF/PAVEMENT | 1 | 12,074 |
| 7B | 3,511 | LANDSCAPING | 0.5 | 1,756 |
| 8A | 16,235 | ROOF/PAVEMENT | 1 | 16,235 |
| 8B | 2,840 | LANDSCAPING | 0.5 | 1,420 |
| 8C | 1,825 | PERVIOUS PAVEMENT | 0.1 | 183 |

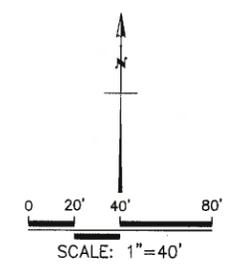
| IMP NAME | DMA's Draining to IMP | Total Area Draining To IMP (SF) | IMP Sizing Factor | Rain Adjustment Factor | Min. IMP Size (SF) | IMP Size Provided (SF) |
|----------|--------------------------------|---------------------------------|-------------------|------------------------|--------------------|------------------------|
| IMP1 | 1A, 1B, 1C, 4A, 4B, 4C, 7A, 7B | 104,368 | 0.06 | 1.191 | 7,458 | 10,329 |
| IMP2 | 2A, 2B, 2C | 43,294 | 0.06 | 1.191 | 3,094 | 3,162 |
| IMP3 | 3A, 3B, 3C | 58,483 | 0.06 | 1.191 | 4,179 | 4,219 |
| IMP5 | 5A, 5B | 17,035 | 0.06 | 1.191 | 1,217 | 1,230 |
| IMP6 | 6A, 6B | 17,359 | 0.06 | 1.191 | 1,240 | 1,243 |
| IMP8 | 8A, 8B, 8C | 17,838 | 0.06 | 1.191 | 1,275 | 1,400 |

LEGEND:

- BUILDING FOOTPRINT
- ASPHALT PAVEMENT
- PERVIOUS PAVEMENT (4/0004)
- CONCRETE PAVEMENT
- DECOMPOSED GRANITE
- TURF
- PLAYGROUND SURFACING (PAVEMENT)
- BIORETENTION AREA (5/0004)
- PROPERTY LINE
- FLOWLINE
- STORM DRAIN
- STORM DRAIN MANHOLE
- STORM DRAIN INLET
- STORM DRAIN CLEANOUT
- POP-UP EMITTER
- FINISH FLOOR ELEVATION (e.g., 90.50 FF)
- PROPOSED SPOT ELEVATION (e.g., 90.0 EG)
- EXISTING SPOT ELEVATION (e.g., 90.0 EG)
- DRAINAGE MANAGEMENT AREA (1)

NOTES:

- STORM DRAIN COLLECTS ROOF DRAINS FROM BUILDINGS A1, A2, & A3, AND COURTYARD RUNOFF.



Baypoint Family Apartments
 Contra Costa County, CA
 November 17, 2015

Preliminary Stormwater Control Plan
 Sheet C003

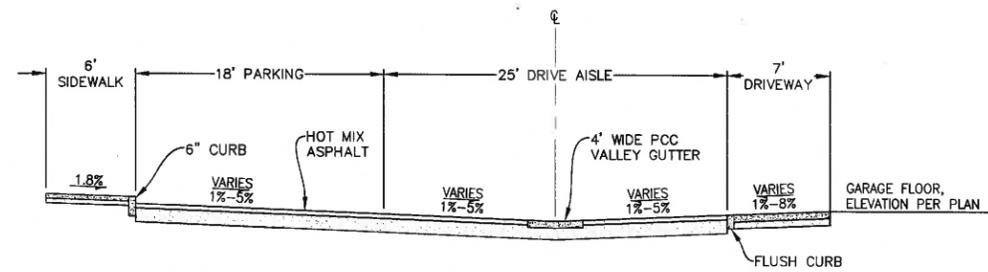
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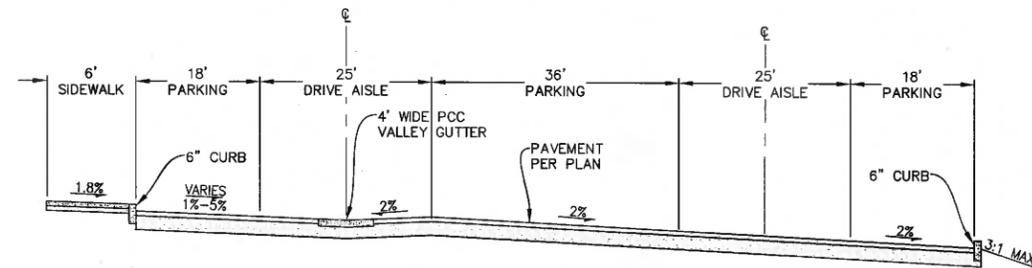


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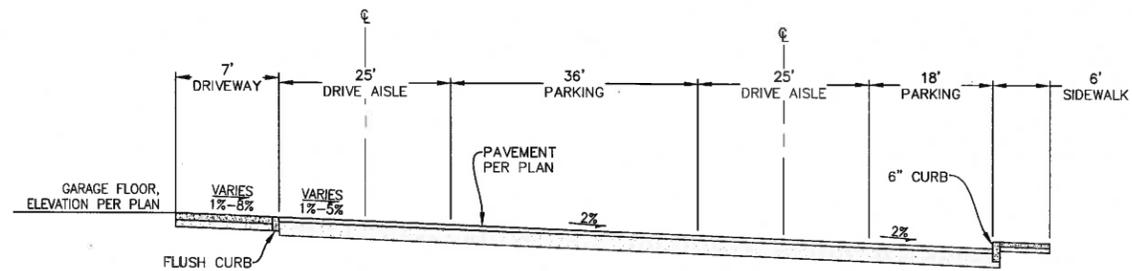




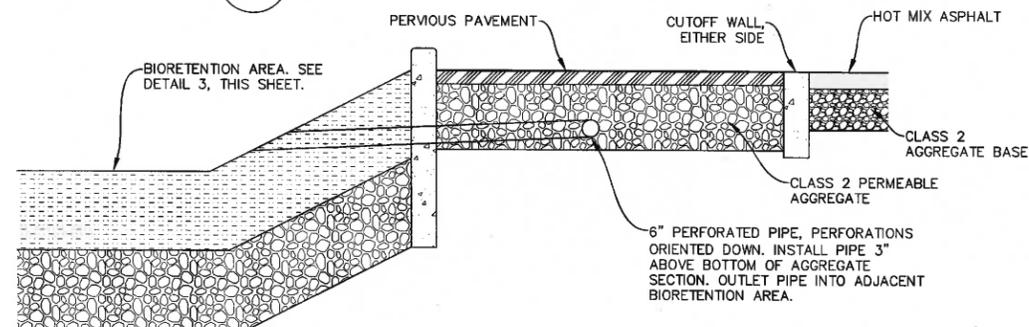
1 SECTION 1
N.T.S.



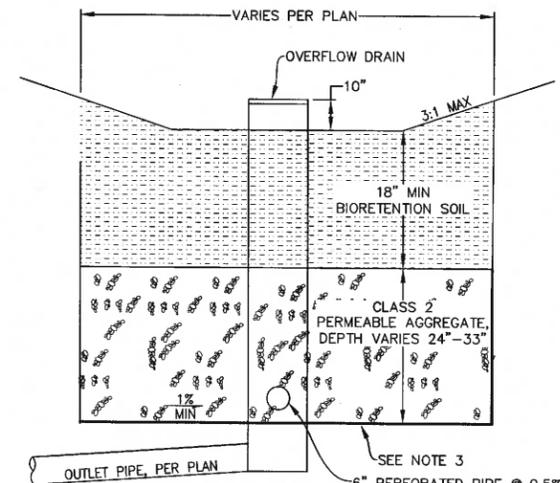
2 SECTION 2
N.T.S.



3 SECTION 3
N.T.S.

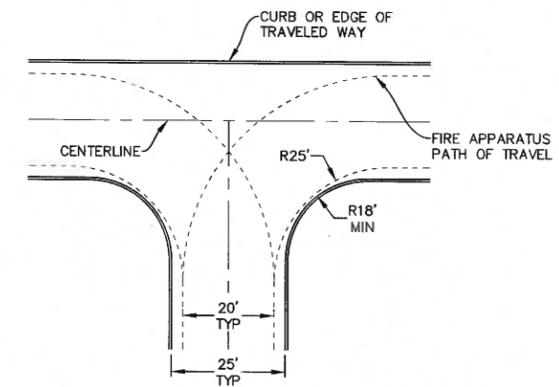


4 PERVIOUS PAVEMENT
N.T.S.



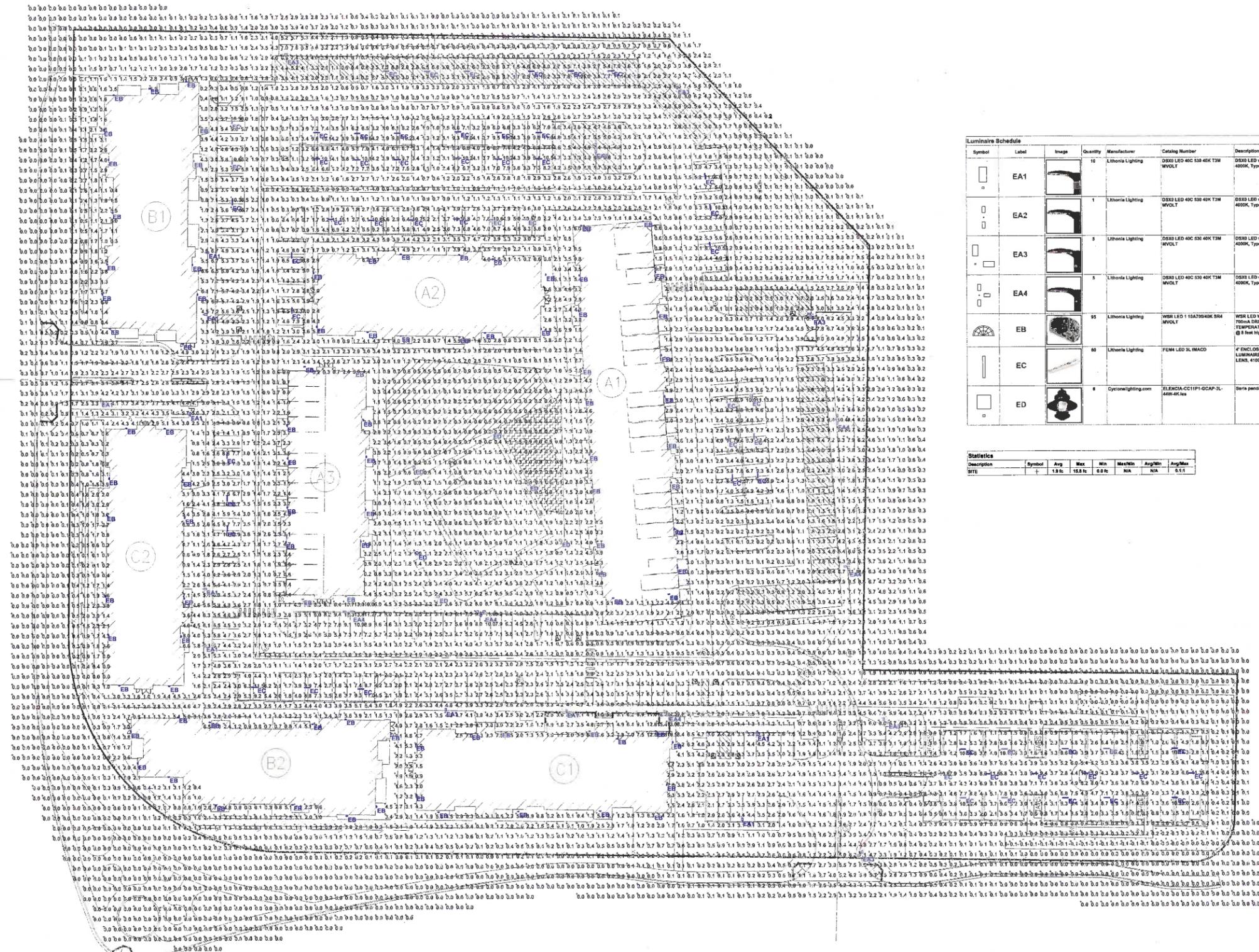
- NOTES:
1. BIORETENTION SOIL: 60%-70% SAND, 30%-40% COMPOST WITH A LONG-TERM MINIMUM PERCOLATION RATE OF 5 IN/HR.
 2. LAY PERFORATED PIPE ALONG FULL LENGTH OF BIORETENTION AREA AND CONNECT TO OVERFLOW DRAIN.

5 BIORETENTION AREA
N.T.S.



- NOTES:
1. DRIVE AISLES SHALL COMPLY WITH 2013 CALIFORNIA FIRE CODE, APPENDIX D, AS AMENDED BY COUNTY ORDINANCE NO. 2013-22.

6 FIRE ACCESS
N.T.S.



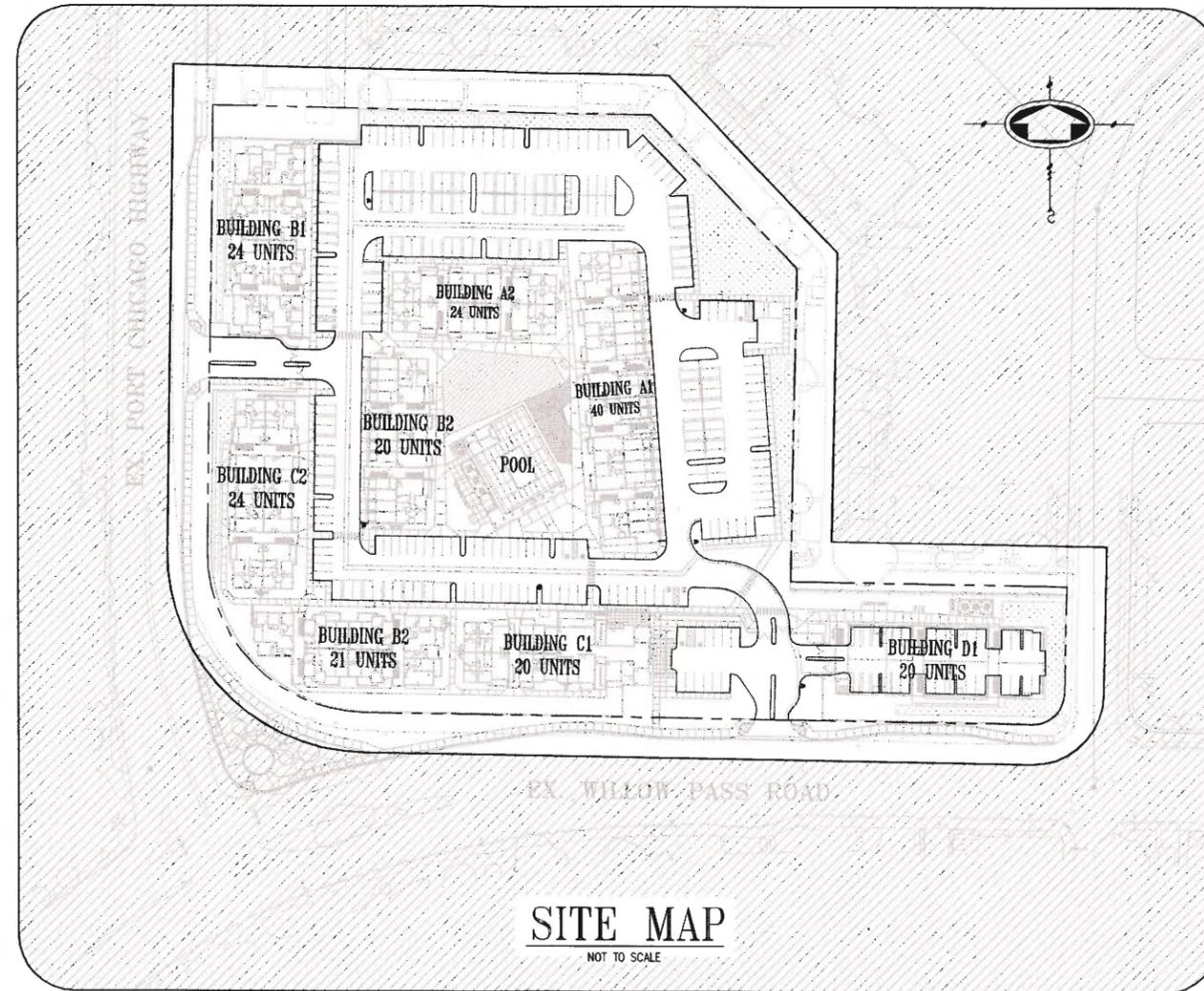
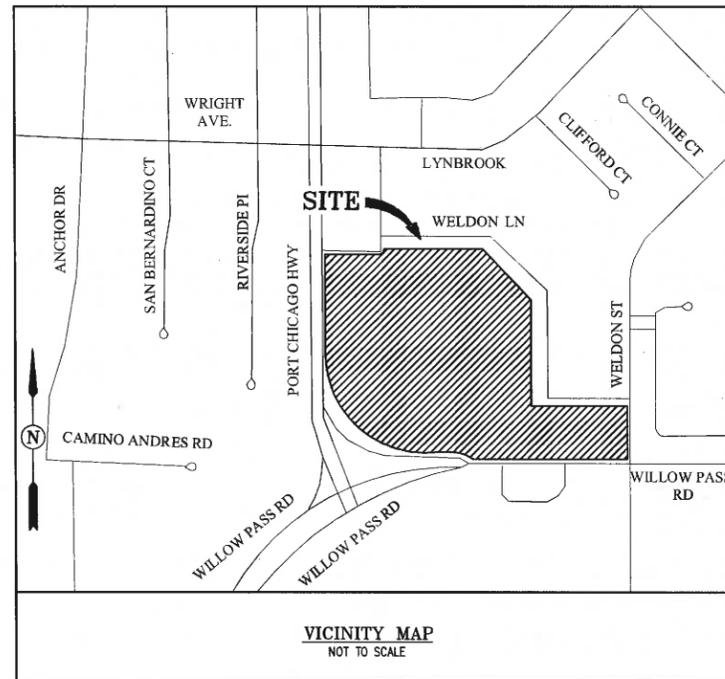
| Symbol | Label | Image | Quantity | Manufacturer | Catalog Number | Description | Lamp | Number Lamps | Lumens Per Lamp | Light Loss Factor | Wattage | |
|----------|-------|---------|----------|---------------------|--------------------------------|---|--|--------------|-----------------|-------------------|---------|------|
| [Symbol] | EA1 | [Image] | 10 | Lithonia Lighting | DS30 LED 40C 50K 40K T3M MVOLT | DS30 LED with 40 LEDs @30 mA, 4000K, Type 3 Medium Optics | LED | 1 | 8641.068 | 1 | 50 | |
| [Symbol] | EA2 | [Image] | 1 | Lithonia Lighting | DS30 LED 40C 50K 40K T3M MVOLT | DS30 LED with 40 LEDs @30 mA, 4000K, Type 3 Medium Optics | LED | 1 | 8641.068 | 1 | 138 | |
| [Symbol] | EA3 | [Image] | 3 | Lithonia Lighting | DS30 LED 40C 50K 40K T3M MVOLT | DS30 LED with 40 LEDs @30 mA, 4000K, Type 3 Medium Optics | LED | 1 | 8641.068 | 1 | 150 | |
| [Symbol] | EA4 | [Image] | 5 | Lithonia Lighting | DS30 LED 40C 50K 40K T3M MVOLT | DS30 LED with 40 LEDs @30 mA, 4000K, Type 3 Medium Optics | LED | 1 | 8641.068 | 1 | 204 | |
| [Symbol] | EB | [Image] | 55 | Lithonia Lighting | WSR LED 1 10AT104K SR4 MVOLT | WSR LED WITH 1 MODULE, 10 LEDS, 10000 LUMENS, 4000K COLOR TEMPERATURE, TYPE 4 LENS, MOUNTED @ 8 feet high | Outdoor Wall Pack Luminaire to 85 LUMENS PER LAMP CLEAR DEEP LENS, 4100K | LED | 1 | 1943.423 | 1 | 24.2 |
| [Symbol] | EC | [Image] | 60 | Lithonia Lighting | FEM LED SL MACO | FEM LED WITH 1 MODULE, 10 LEDS, 10000 LUMENS, 4000K COLOR TEMPERATURE, TYPE 4 LENS, MOUNTED @ 8 feet high | ENCLOSED & GASKETED LED LUMINAIRE WITH ACRYLIC CLEAR DEEP LENS, 4100K | LED | 1 | 3489.394 | 1 | 38.4 |
| [Symbol] | ED | [Image] | 8 | CycloneLighting.com | ELENIA-CC1P1-GCAP-SL-40w-40k | Series pendant, Mounted @ 8 feet high | 42 LED chips board | 1 | 2884.637 | 1 | 44 | |

| Statistics | | | | | | |
|-------------|--------|----------|-----------|----------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| SITE | | 1.8 f.c. | 10.8 f.c. | 0.0 f.c. | 216 | 1.8 |

SITE LIGHTING PHOTOMETRIC PLAN
SCALE: 1" = 40'



META HOUSING CORP BAY POINT APARTMENTS BAY POINT CONTRA COSTA COUNTY CALIFORNIA



LEGEND

- JT — PROPOSED JOINT TRENCH
- JTX — PROPOSED JOINT TRENCH CROSSING
- SVC — PROPOSED JOINT TRENCH SERVICE
- EX JT — EXISTING JOINT TRENCH
- GAS — PROPOSED GAS
- MP — PROPOSED MISCELLANEOUS POWER
- EX GAS — EXISTING GAS
- EX FO — EXISTING FIBER OPTIC
- ESL — EXISTING STREET LIGHT CONDUIT
- ECUG — EXISTING UNDERGROUND CATV LINES
- EELG — EXISTING UNDERGROUND ELECTRIC LINES
- EULG — EXISTING UNDERGROUND UTILITY LINES
- ETUG — EXISTING UNDERGROUND TELEPHONE LINES
- EUGH — EXISTING OVERHEAD UTILITY LINES
- EOOH — EXISTING OVERHEAD CATV LINES
- ETOH — EXISTING OVERHEAD TELEPHONE LINES
- EECH — EXISTING OVERHEAD ELECTRIC LINES
- [Symbol] — DESIGNATES UTILITY LINES TO BE REMOVED
- EXISTING PRIMARY SPLICE BOX
- EXISTING SECONDARY SPLICE BOX
- PG&E 16, PAD MOUNT TRANSFORMER
PAD SIZE—36" x 52", CABINET SIZE—36" w x 48" d x 32" h
- EXISTING JOINT/UTILITY POLE
- EXISTING TRAFFIC SIGNAL
- EXISTING ELECTROLYZER, SINGLE ARM
- ⊗ PHOTO NUMBER REFERENCE, SEE PHOTO EXHIBIT SHEET(S)

SHEET INDEX

| SHEET NO. | DESCRIPTION |
|-----------|--|
| JT1 | JOINT TRENCH COMPOSITE TITLE SHEET |
| JT2 | JOINT TRENCH GENERAL NOTES AND DETAILS |
| JT3 | JOINT TRENCH DETAILS |
| JT4 | JOINT TRENCH SECTIONS AND DETAILS |
| JT5 - JT7 | JOINT TRENCH COMPOSITE PLAN |

2,310 L.F. OF JOINT TRENCH SHALL BE INSTALLED WITH THIS JOINT TRENCH PLAN SET

- 8 APARTMENT BUILDINGS (193 TOTAL UNITS)
- 8 NEW FULL SERVICE COMPLETIONS (ELECTRIC, GAS, TELEPHONE AND CATV)
- 1 NEW ELECTRIC SERVICE COMPLETION (TRASH COMPACTOR)

| | | | | | |
|----------------------------|-----------------|---------|-----------|-----------|----------------|
| TARRAR UTILITY REP.: | KHALID TARRAR | JOB NO. | 21521 | PHONE NO. | (925) 240-2666 |
| DEVELOPER: | SCOTT NAKAATARI | JOB NO. | 21521 | PHONE NO. | (910) 575-3543 |
| PG&E ELECTRIC COORDINATOR: | ANDREA TAMBLYN | JOB NO. | 110454299 | PHONE NO. | (925) 779-7757 |
| PG&E GAS COORDINATOR: | ANDREA TAMBLYN | JOB NO. | 110454299 | PHONE NO. | (925) 779-7757 |
| TELEPHONE REP.: | ROBERT MAESTRI | JOB NO. | - | PHONE NO. | (925) 887-8110 |
| CABLE T.V. REP.: | DOUG DRUM | JOB NO. | - | PHONE NO. | (925) 271-2029 |

FILES STATUS

| DESCRIPTION: | BY: | DATE: | STATUS: |
|---------------------------------------|---------------------------|------------|---------|
| CIVIL PLANS (ELECTRONIC FILE) | KPFF | 11-18-2015 | R |
| ARCHITECTURAL PLANS (ELECTRONIC FILE) | SDG ARCHITECTS | 11-18-2015 | R |
| LANDSCAPE PLANS (ELECTRONIC FILE) | R3 STUDIOS | 11-18-2015 | R |
| GAS DESIGN | TARRAR UTILITY CONSULTANT | XX-XX-XXXX | XXXX |
| ELECTRIC DESIGN | TARRAR UTILITY CONSULTANT | XX-XX-XXXX | XXXX |
| TELEPHONE INTENT REPLY | AT&T | XX-XX-XXXX | XXXX |
| CATV INTENT REPLY | COMCAST | XX-XX-XXXX | XXXX |
| STREET LIGHT PLANS — PUBLIC | - | - | - |
| STREET LIGHT PLANS — PRIVATE | - | - | - |
| SOILS REPORT | - | - | - |

A = APPROVED • ANS = APPROVED NOT SIGNED • NA = NOT APPROVED • F = FIRST SUBMITTAL • SS = SECOND SUBMITTAL • R = RECEIVED

FOR REVIEW ONLY

COMPOSITE DRAWING BY DEVELOPER

Estimate # _____

Approved _____ Gas ADE _____ Date _____

Approved _____ Electric ADE _____ Date _____

PG & E is not responsible for the accuracy of the specifications shown on this drawing.

DEVELOPER PLEASE NOTE AND SIGN

ALL PG&E ENCLOSURES AND BOXES HAVE BEEN SET TO GRADE ACCORDING TO GRADE STAKES PROVIDED BY DEVELOPER'S ENGINEER. ALL COSTS TO RELOCATE OR READJUST BOXES AT A LATER DATE WILL BE BILLED TO THE DEVELOPER. PLEASE HAVE YOUR JOB SLIP, VERIFY THE CORRECT GRADE OF ALL ENCLOSURES AND BOXES, AND SIGN AND DATE DRAWING.

SIGNED _____ DATE _____

COMPOSITE DRAWING BY DEVELOPER

Approved _____ Telephone representative _____ Date _____

Approved _____ CATV representative _____ Date _____

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Brentwood, CA 94513
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(925) 240-7013 fax
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- Cost Analysts
- Due Diligence

JOINT TRENCH COMPOSITE TITLE SHEET

META HOUSING CORP
BAY POINT APARTMENTS
BAY POINT CALIFORNIA

| NO. | REVISIONS | BY | DATE |
|-----|-----------|----|------|
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| DATE: MAY 2015 | DATE LAST WORKED ON: 11/17/2015 |
| SCALE: NOT TO SCALE | DRAWN: HK |
| JOB NO: 21521 | CHECKED: KT |
| PRELIMINARY NOT FOR CONSTRUCTION | |
| INTENT TO CONSTRUCT | |



SHEET
JT1
OF
JT7
SHEETS

PROJECT NOTES:

- FIELD ADJUST SERVICES TO MINIMIZE INTERFERENCE WITH EXISTING FACILITIES (TYPICAL).
- CONTRACTOR SHALL PERFORM ALL TRENCHING, EXCAVATING, BACKFILLING AND OTHER WORK AS SHOWN OR NOTED ON PLANS, AND AS SPECIFIED ON UTILITY BID DOCUMENTS.
- FIELD ADJUST SPLICE BOXES TO KEEP CLEAR OF SIDEWALK, DRIVEWAYS AND EXISTING FACILITIES (TYPICAL).
- A 3 FOOT LEVEL WORKING AREA MUST BE MAINTAINED AROUND ALL ELECTRIC ENCLOSURES. PRIOR TO ENERGIZING THE SYSTEM, THE ELECTRIC UTILITY COMPANY INSPECTOR WILL DETERMINE IF RETAINING WALLS ARE REQUIRED TO MEET MINIMUM CLEARANCE BETWEEN ENCLOSURES AND THE TOPS OR TOES OF SLOPES. IF RETAINING WALLS ARE REQUIRED, THE DEVELOPER AND/OR CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE CITY/COUNTY BUILDING DEPARTMENT PRIOR TO WALL CONSTRUCTION.
- TRANSITION TO VAULTS FROM TRENCH NOT SHOWN, SEE TRANSITION DETAIL SHEET J13 (TYPICAL).
- CONTRACTOR SHALL PLACE ALL UTILITY SPLICE BOXES, ENCLOSURES & CONDUIT IN PROPER RELATIONSHIP TO FINAL GRADE (SHOWN SCHEMATICALLY).
- ALL PG&E, TELEPHONE, CABLE T.V. AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER, WATER LATERALS AND DRIVEWAYS.
- CONTRACTOR SHALL COORDINATE ALL CONNECTIONS BETWEEN PROPOSED AND EXISTING FACILITIES AS DIRECTED BY THE RESPECTIVE UTILITY COMPANY INSPECTOR. UTILITY COMPANY PERSONNEL SHALL MAKE ALL "HOT TIE-INS"; THE CONTRACTOR IS PROHIBITED FROM WORKING IN ANY ENERGIZED FACILITIES.
- THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE STREET EXCAVATION AND ENCROACHMENT PERMIT(S) FROM THE CITY/COUNTY PRIOR TO STARTING WORK IN THE PUBLIC STREET AREA.
- FIELD LOCATE JOINT TRENCH FACILITIES TO KEEP CLEAR OF SERVICE LATERALS. SERVICE LATERALS TO BE ROUTED TO AVOID SPLICE BOX (ADDITIONAL P.U.E MAY BE REQUIRED).
- RESPECTIVE UTILITY COMPANY TO OBTAIN CITY APPROVAL OF ALL ABOVE GROUND EQUIPMENT.
- UNLESS OTHERWISE SHOWN ON THE PLANS, NATURAL BENDS SHALL BE USED FOR ALL CONDUIT EXCEPT STREET LIGHT CONDUIT.
- INCIDENTAL TRENCHING TO SPLICE BOXES NOT SHOWN (TYPICAL). CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING AS REQUIRED FOR CONDUIT ROUTING TO SPLICE BOXES AND CABINETS (TYPICAL).
- ALL CONDUITS SHALL ENTER OR EXIT PERPENDICULAR TO BOX WALLS.
- ALL CONDUITS MUST BE MANDREL TESTED AND APPROVED.
- OFFSET SPLICE BOXES TO ROUTE TELEPHONE/FIBER OPTIC CONDUIT AS NEEDED (TYPICAL).
- PULL ROPES SHALL BE PLACED IN ALL EMPTY CONDUITS AS REQUIRED BY EACH UTILITY COMPANY.
- ALL PG&E SPLICE BOXES ADJACENT TO TRANSFORMER SHALL BE 26" IN DEPTH (TYPICAL).
- ALL CONDUITS NOT ENTERING SPLICE BOXES OR ENCLOSURES SHALL BE CAPPED.
- COORDINATE TIE-IN WITH UTILITY COMPANY AS REQUIRED.
- THE STREET LIGHT SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" AND LIGHT SCHEDULE AS SHOWN ON THESE PLANS.
- ALL EXISTING DUCTS TO BE USED IN THESE PLANS SHALL BE "VERIFIED" BY PULLING A MANDREL THROUGH THE ENTIRE EXISTING LENGTH PRIOR TO CONNECTION.
- EDGE OF SPLICE BOXES & PEDESTALS SHALL BE 5' FROM EDGE OF FIRE HYDRANT AND 3' FROM STREET LIGHT (TYPICAL). CONTRACTOR TO AVOID DISTURBING FIRE HYDRANT THRUST BLOCK.
- ALL UTILITY SUBSTRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" SHOWN ON THESE PLANS.
- MAINTAIN 3' CLEARANCE AND LEVEL AREA AROUND PRIMARY SPLICE BOXES & XFMRs.
- DUE TO UNCERTAINTIES OF THE EXACT LOCATION OF EXISTING FACILITIES, FIELD LOCATION OF PROPOSED FACILITIES MAY BE REQUIRED. CONFIRM WITH VARIOUS UTILITIES FOR EXACT PLACEMENT.
- FOR CLARITY - BOXES/PEDESTALS ARE SHOWN AT LARGER SIZE THAN ACTUAL. FIELD ADJUST TO KEEP CLEAR OF DRIVEWAYS (TYPICAL).
- ALL SERVICE FACILITIES SHALL BE EXTENDED TO EITHER THE PROPERTY LINE OR TO POSITION SHOWN ON THE PLANS, AND THEN CAPPED, BURIED AND LOCATION STAKED.
- THESE PLANS WERE PREPARED UTILIZING PLANS RECEIVED FROM KPFF (415) 989-1004.

JOINT TRENCH AND UTILITY BOX LOCATION

THIS AREA RESERVED FOR STREET SECTIONS
TO BE PLACED AT A LATER TIME

GENERAL NOTES:

- ALL JOINT TRENCH CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH PG&E UTILITY OPERATIONS UO STANDARD SS453.
- ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND SATISFACTION OF ALL PARTICIPATING UTILITIES AND CITY INSPECTORS.
- BACKFILL SELECTION SHALL BE SUBJECT TO THE APPROVAL OF THE RESPECTIVE UTILITY COMPANIES, THE SOILS ENGINEER AND THE CITY AND/OR COUNTY WHERE THE PROJECT IS LOCATED. CONSULT PARTICIPATING UTILITIES, SOILS ENGINEER, AND THE CITY FOR APPROVED BACKFILL MATERIAL. COMPACTION TO MEET LOCAL AGENCIES REQUIREMENTS.
- THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES AND A SAND CUSHION MINIMUM OF 4" MAY BE REQUIRED AS A PAD ON WHICH UTILITY FACILITIES CAN REST.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND NOTIFY ALL PARTICIPATING UTILITY INSTALLATIONS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING TARRAR UTILITY CONSULTANTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTENCE AND/OR PRECISE LOCATION OF ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. TARRAR UTILITY CONSULTANTS MAKES NO WARRANTY WHATSOEVER THAT THE EXISTING UNDERGROUND UTILITIES AND/OR STRUCTURES DEPICTED ON THE PLANS HAVE BEEN ACCURATELY LOCATED OR THAT THERE ARE NO OTHER UNDERGROUND UTILITIES AND STRUCTURES IN ADDITION TO WHAT HAS BEEN SHOWN. CALL U.S.A. A MINIMUM OF 48 HOURS PRIOR TO STARTING CONSTRUCTION. FOR CALIFORNIA NORTH, (KERN COUNTY AND NORTHERLY, AND NEVADA) CALL (800)227-2600. FOR CALIFORNIA SOUTH, (SAN BERNARDINO COUNTY AND SOUTHERLY) CALL (800)422-4133.
- CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES AND WITH THE REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, O.S.H.A. AND ANY OTHER GOVERNMENTAL AGENCY RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT AND LABOR PERSONNEL.
- THE DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TO BE COMPLEMENTARY TO EACH OTHER. ANYTHING SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, OR MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, SHALL BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH. IF DISCREPANCY IS FOUND, NOTIFY TARRAR UTILITY CONSULTANTS PRIOR TO STARTING WORK.
- TRENCH AND CONDUIT LAYOUTS ARE SHOWN SCHEMATICALLY.
- TRENCHING OR SUBSTRUCTURE EXCAVATION MAY NECESSITATE OPERATION OVER, UNDER, OR ADJACENT TO OTHER UNDERGROUND UTILITIES (STORM, SEWER, WATER, ETC...). THE CONTRACTOR IS RESPONSIBLE TO LOCATE, PROSPECT, EXPOSE AND PROTECT ALL ADJACENT OR CROSSING UNDERGROUND UTILITIES. THIS WORK TO PROTECT THOSE UTILITIES IS NOT CONSIDERED AS EXTRA WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW IMPROVEMENT PLANS, IN CONJUNCTION WITH THIS PLAN, AND BID THE WORK ACCORDINGLY.
- THE QUANTITIES SHOWN ON THESE PLANS ARE ONLY ESTIMATES OF WHAT WILL ACTUALLY BE REQUIRED FOR THE CONSTRUCTION OF THE OVERALL PROJECT. FINAL QUANTITIES MAY VARY ACCORDING TO CHANGES, ADDITIONS, DELETIONS OR OMISSIONS ON THE ORIGINAL PLAN.
- VERIFY ALL SUBSTRUCTURE EXCAVATION DIMENSIONS WITH SUPPLIER(S) BEFORE BIDDING.
- TARRAR UTILITY CONSULTANTS ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHOULD REVIEW THE PROJECT SITE PRIOR TO SUBMITTING ITS BID.
- THE CONTRACTOR IS REQUIRED TO EXCAVATE BELL HOLE(S) AT TIE-IN LOCATIONS AS DIRECTED BY PARTICIPATING UTILITY.
- CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AS-BUILT DRAWINGS AFTER INSTALLATION OF PG&E'S GAS AND ELECTRIC SYSTEMS (PRIOR TO "HOT TIE-INS").
- THE CITY INSPECTOR SHALL BE NOTIFIED TWO WORKING DAYS PRIOR TO COMMENCEMENT OF WORK. COORDINATE WITH THE INSPECTOR ANY SERVICES TO BE ABANDONED.
- THE CONTRACTOR IS TO VERIFY THE RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.
- PG&E'S GENERAL TERM AND CONDITIONS FOR GAS AND ELECTRIC EXTENSION AND SERVICE CONSTRUCTION BY "APPLICANT" (EFFECTIVE 07/1/95) TO BE UTILIZED FOR ALL TRENCHING, BACKFILLING, AND INSTALLATION WORK.
- IN THE EVENT OF DISPUTES OR DISAGREEMENT OVER ANY INSTALLATIONS, DESIGNS, PLANS OR DRAWINGS, THE SPECIFICATIONS AND REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANIES AND THEIR INSPECTORS SHALL TAKE PRECEDENCE. IN CASE OF DISCREPANCIES WITHIN THE DRAWINGS AND SPECIFICATIONS HEREIN, THE CONTRACTOR SHALL CONSULT TARRAR UTILITY CONSULTANTS FOR INTERPRETATION BEFORE WORK IS STARTED.
- TARRAR UTILITY CONSULTANTS HEREIN, ASSUMES NO RESPONSIBILITY WHATSOEVER FOR THE QUALITY, QUANTITY OR TIMING OF WORK TO BE PERFORMED BY THE CONTRACTOR, UTILITY COMPANY CONSTRUCTION CREWS, OR OTHER SUB-CONTRACTOR OF DEVELOPER.
- ALL TRENCHING, BACKFILLING AND INSTALLATION WORK IS TO BE IN ACCORDANCE WITH THE STANDARD PRACTICES AND SPECIFICATIONS OF EACH UTILITY COMPANY PARTICIPATING IN THE UTILITY TRENCHES WITHIN THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POINTS OF ACCESS THAT ARE AGREEABLE TO ADJACENT LAND USES AND TENANTS AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING WHAT INSPECTIONS WILL BE REQUIRED FOR APPROVAL OF THE WORK AND FOR COORDINATING ALL SUCH INSPECTIONS. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS PRIOR NOTICE TO THE CITY, SOILS ENGINEER, UTILITY COMPANIES OR ANY OTHER INDIVIDUALS OR PUBLIC AGENCIES, THAT THE WORK IS READY FOR INSPECTION.
- THE CONTRACTOR SHALL NOTIFY DEVELOPER 48 HOURS PRIOR TO THE NEED FOR SURVEY STAKING. THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ALL CONSTRUCTION STAKING SET BY THE DEVELOPER'S SURVEYORS AND WILL BE BACK CHARGED FOR ANY RE-STAKING THAT IS REQUIRED. ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO AND PAID FOR BY THE CONTRACTOR.
- ALL TRANSFORMERS AND TRANSFORMER PADS ARE TO BE INSTALLED PER PG&E SPECIFICATIONS. PROTECTIVE BOLLARDS ARE TO BE PLACED WHERE NEEDED.
- THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
- KEEP ALL BOXES AND PEDESTALS WITHIN PUBLIC UTILITY EASEMENTS OR RIGHT OF WAY, AS SHOWN.
- ALL SAND BACKFILL MUST HAVE TESTING OF PH LEVEL AS WELL AS SAND EQUIVALENT. SEE CITY OF BAY POINT REQUIREMENTS.
- THE PROPOSED CONSTRUCTION OPERATION MAY TAKE PLACE AT OR NEAR FENCE LINES, PROPERTY LINES AND PROPERTY IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THESE AREAS AND FOR MAINTAINING THESE AREAS AND FACILITIES AT ALL TIMES DURING THE CONSTRUCTION OPERATION.
- THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITION AND SHALL DEFEND AND HOLD THE DEVELOPER AND TARRAR UTILITY CONSULTANTS HARMLESS FROM ANY ALLEGED CLAIMS OR LIABILITIES, EXCEPT THOSE ARISING FROM SOLE NEGLIGENCE OF THE DEVELOPER OR TARRAR UTILITY CONSULTANTS.
- THE APPROXIMATE LOCATIONS OF ALL EXISTING UTILITY COMPANY UNDERGROUND LINES, POLES BOXES, ETC., WERE OBTAINED FROM A REVIEW OF AVAILABLE UTILITY COMPANY RECORDS, REPRESENTATIONS OF UTILITY COMPANY PERSONAL, OR FIELD OBSERVATIONS. NEITHER THE DEVELOPER NOR TARRAR UTILITY CONSULTANTS ASSUME ANY RESPONSIBILITY FOR VARIANCES BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. NO EXTRA PAYMENT WILL BE MADE TO THE CONTRACTOR FOR ANY ADDITIONAL TRENCHING, BOX EXCAVATIONS, MATERIALS, ETC., THAT MAY BE REQUIRED TO COMPLETE THIS PROJECT IN THE EVENT AN EXISTING TIE-IN POINT SUBSTRUCTURE IS EITHER NON-EXISTING OR IS NOT SHOWN ON THE PLANS IN ITS ACTUAL FIELD POSITION. IT IS THE CONTRACTOR'S OBLIGATION AND RESPONSIBILITY TO SAFELY LOCATE ALL EXISTING UNDERGROUND FACILITIES BY SURFACE MARKING AND/OR HAND EXCAVATION PRIOR TO STARTING CONSTRUCTION.
- "DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE TO OBTAIN A CITY OF BAY POINT ENCROACHMENT PERMIT FOR ALL WORK DONE IN THE PUBLIC RIGHT OF WAY. DEVELOPER AND/OR CONTRACTOR IS ALSO RESPONSIBLE TO PROVIDE JOINT TRENCH PLANS TO THE CITY OF BAY POINT AT THE TIME OF APPLICATION FOR THE ENCROACHMENT PERMIT."

ABBREVIATION LIST

| | | | | | |
|-----------|-----------------------------------|--------|---|-------------|----------------------------|
| B/C | BACK OF CURB | H.P.S. | HIGH PRESSURE SODIUM | RT | RETAINING WALL |
| B/W | BACK OF WALK | IRR. | IRRIGATION CONTROLLER | R/W | RIGHT OF WAY |
| BTU | BRITISH THERM UNITS | J.T. | JOINT TRENCH | SCH. | SCHEDULE |
| CB | CATCH BASIN | KV | KILO-VOLTS | SD | STORM DRAIN |
| CL | CENTERLINE | LE | LANDSCAPE EASEMENT | SHT. | SHEET |
| CAT. | CATALOG | LF | LINEAR FOOT/FEET | S/W | SIDE WALK |
| C OR CATV | CABLE TELEVISION | MH | MANHOLE | SS | SANITARY SEWER |
| CFH | CUBIC FEET PER HOUR | MIN. | MINIMUM | SSE | SANITARY SEWER EASEMENT |
| C.I.P. | CAPITOL IMPROVEMENT PROJECT | MPOE | MINIMUM POINT OF ENTRY | ST. LT.-S/L | STREET LIGHT |
| CL | CENTER LINE | N.T.S. | NOT TO SCALE | SUBD'Y | SUBDIVISION |
| CU | COPPER | O.D. | OUTER DIAMETER | SqR. | SQUARE FOOTAGE |
| E | ELECTRIC | O.H. | OVER HEAD | T | TELEPHONE |
| EP | EDGE OF PAVEMENT | PUE | PRIVATE INGRESS, EGRESS, AND UTILITY EASEMENT | TUC | TARRAR UTILITY CONSULTANTS |
| EVAE | EMERGENCY VEHICLE ACCESS EASEMENT | P | PROPERTY LINE | TYP. | TYPICAL |
| EX | EXISTING | P.S. | POWER SUPPLY | T/S | TRAFFIC SIGNAL |
| F/C | FACE OF CURB | P.S. | PROJECT | U.G. | UNDERGROUND |
| FH | FIRE HYDRANT | PROJ. | PROJECT | U.O.N. | UNLESS OTHERWISE NOTED |
| FUT. | FUTURE | PSDE | PRIVATE STORM DRAIN EASEMENT | V | VOLT |
| F.O. | FIBER OPTIC | PSE | PUBLIC SERVICE EASEMENT | W | WATT |
| G | GAS | PVAV | PRIVATE VEHICLE ACCESS WAY | WT | WATER |
| GALV. | GALVANIZE | P.V.C. | POLY VINYL CHLORIDE | W/ | WITH |
| G.E. | GENERAL ELECTRIC | PWE | PUBLIC WATER LINE EASEMENT | W/O | WITHOUT |
| GRD. | GROUND | PWR | POWER | WLE | WATER LINE EASEMENT |
| H.O.A. | HOME OWNERS ASSOCIATION | PUE | PUBLIC UTILITY EASEMENT | XFMR | TRANSFORMER |

JOINT TRENCH STREET SECTIONS

NOT TO SCALE
NOTE: SEE PLANS FOR CONFIGURATIONS AND ARRANGEMENTS.
* UNLESS OTHERWISE SHOWN

WITHIN ROADWAY SECTION
(95% RELATIVE COMPACTION FOR THE TOP 6"
BELOW ROAD SUBGRADE AND 90% BELOW THAT)

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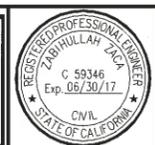
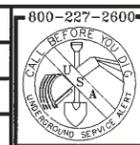
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- Cost Analysis
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JOINT TRENCH GENERAL NOTES AND DETAILS

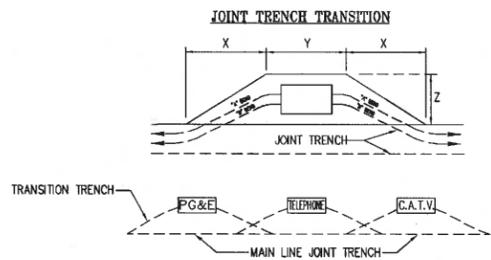
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| INTENT TO CONSTRUCT | |



SHEET
JT2
OF
JT7
SHEETS



| BEND | PRIMARY BOX SIZE | DISTANCE (when conduit enters box) | | | NOTES |
|------|------------------|------------------------------------|-----|-----|--|
| | | "X" | "Y" | "Z" | |
| "A" | 3' x 5' | 24" | 7" | 5" | BEND IS 60° RADIUS WITH AN ANGLE OF 10 DEG. USE 2-5 COUPLINGS WITH 1-5' CONDUIT SECTION FOR EACH BEND SHOWN. |
| | 4'-6" x 8'-6" | 24" | 11" | 7" | |
| "B" | 3' x 5' | 32" | 7" | 5" | BEND IS 30° RADIUS WITH AN ANGLE OF 15 DEG. USE 3-5 COUPLINGS WITH 2-2 1/2' CONDUIT SECTION FOR EACH BEND SHOWN. |
| | 4'-6" x 8'-6" | 32" | 11" | 7" | |

NOTE:

- CONTRACTOR TO EXCAVATE TRANSITIONS FROM MAIN-LINE TRENCH TO VAULTS AS REQUIRED BY EACH UTILITY.
- TRANSITIONS NOT SHOWN ON COMPOSITE DRAWING FOR CLARITY.
- CONTRACTOR TO INCLUDE COST OF TRANSITIONS IN VAULT EXCAVATION COST.

DETAIL 1 TYPICAL PRIMARY BOX EXCAVATION USING CONDUIT
N.T.S. JT3

CONSTRUCTION LABOR AND MATERIAL RESPONSIBILITY

PUBLIC UTILITY SYSTEM (JOINT TRENCH)

- TRENCHING: EXCAVATE, BACKFILL AND COMPACT
- GAS MATERIAL: P.G.&E. ELECTRIC
- ELECTRIC CABLE: P.G.&E. GAS
- ELECTRIC CONDUIT: TELEPHONE
- ELECTRIC SERVICE BOXES: CONTRACTOR
- ELECTRIC TAP ENDS: CONTRACTOR
- ELECTRIC SWITCH PADS: CONTRACTOR
- ELECTRIC TAP ENDS: CONTRACTOR
- TELEPHONE CONDUIT: CONTRACTOR
- TELEPHONE CABLE: CONTRACTOR
- TELEPHONE SPlice BOX: CONTRACTOR
- TELEPHONE INTER. PADS: CONTRACTOR
- C.A.T.V. CONDUITS: CONTRACTOR
- C.A.T.V. SPlice BOXES: CONTRACTOR

STREET LIGHTING SYSTEM

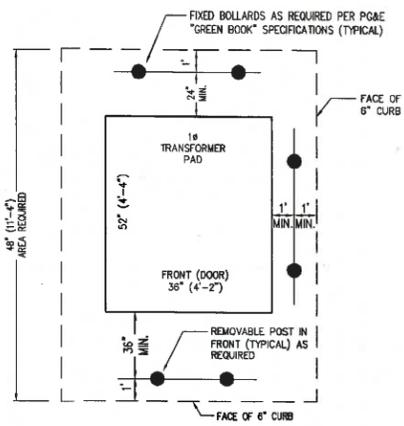
- WIRE: CONTRACTOR
- CONDUIT: CONTRACTOR
- BASES: CONTRACTOR
- LUMINAIRES: CONTRACTOR
- SPlice BOXES: CONTRACTOR
- POLES & ARMS: CONTRACTOR

SCHEDULE: L&M

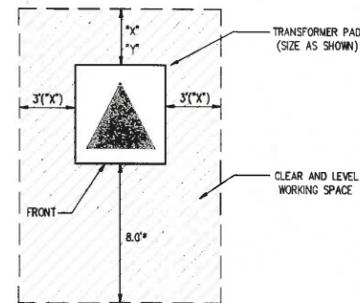
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| INSTALL IN JOINT TRENCH: | NO |
| INSTALL IN SEPARATE TRENCH: | YES |
| CONDUIT SIZE: | 2" |
| CONDUIT TYPE: | SCH. 40 |
| WIRE SIZE: | #8 |
| TYPE: | CU |

ADDITIONAL NOTES:
DEVELOPER TO SUPPLY AND INSTALL GAS & ELECTRIC FACILITIES UNDER THE COMPETITIVE BIDDING PROVISIONS OF PG&E GREEN BOOK RULES 15, 16 AND 20.

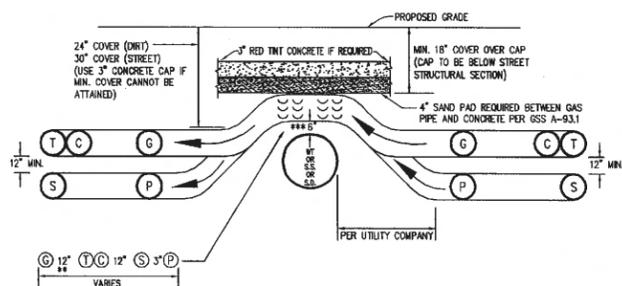
DESIGNATES THE WORK TO BE PERFORMED BY THE CONTRACTOR AND EACH UTILITY COMPANY.



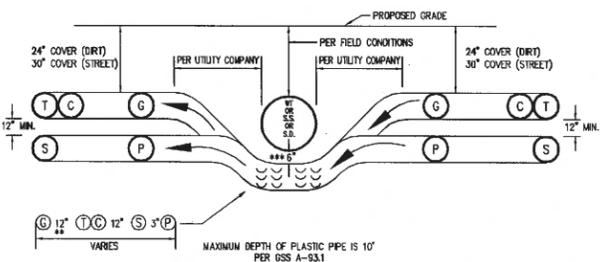
3 PG&E 10 TRANSFORMER DETAIL
JT3 (PHYSICAL PROTECTION REQUIREMENTS IN PARKING LOT, TRAVELLED WAY, ETC.)
NOT TO SCALE



4 PG&E TRANSFORMER DETAIL
JT3 NOT TO SCALE



JOINT TRENCH OVER WATER, SANITARY SEWER OR STORM DRAIN
CHOICE 1 (PREFERRED METHOD)



JOINT TRENCH UNDER WATER, SANITARY SEWER OR STORM DRAIN
CHOICE 2 (OPTIONAL METHOD)

- SEE MINIMUM COVER & CLEARANCE CHART
- WITH MUTUAL AGREEMENT, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE & CATV).
- 6" MINIMUM REQUIRED BY PG&E-ADDITIONAL CLEARANCE MAY BE REQUIRED BY CITY OR COUNTY

DETAIL 2 OVER UNDER DETAILS
N.T.S. JT3

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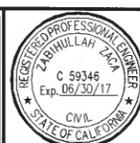


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JOINT TRENCH DETAILS
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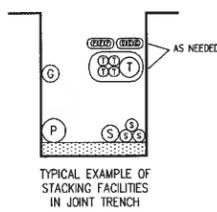
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| DATE: MAY 2015 | DATE LAST WORKED ON: 11/17/2015 |
| SCALE: NOT TO SCALE | DRAWN: HK CHECKED: KT |
| JOB NO: 21521 | PRELIMINARY NOT FOR CONSTRUCTION |
| INTENT TO CONSTRUCT | |



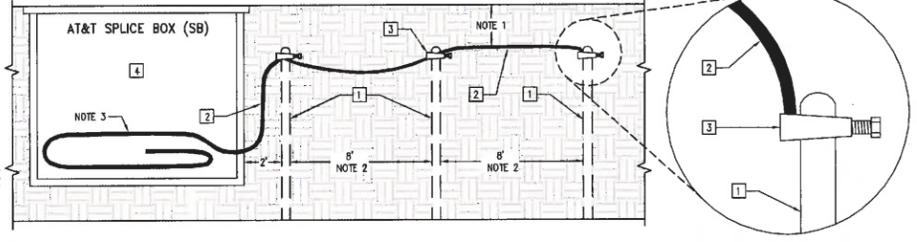
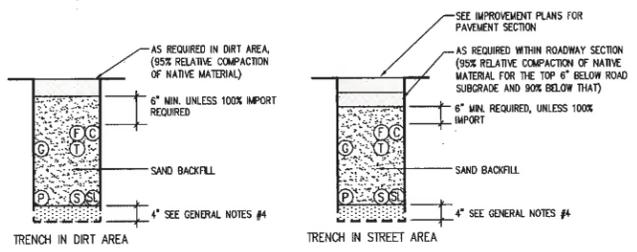
SHEET
JT3
OF
JT7
SHEETS

FOR REVIEW ONLY

| JOINT TRENCH MINIMUM COVER AND CLEARANCES | | | | | | | | | | | | |
|---|-----|-----|-----|------|-----|-----|------|-----|-----|-----|---------------|--|
| MINIMUM SEPARATION FROM | | | | | | | | | | | | |
| UTILITY | G | T | TD | C | S | P | SL | SLP | F | FE | MINIMUM COVER | |
| G (GAS)* | - | 12" | 12" | 6" | 12" | 12" | 6" | 12" | 12" | 24" | 30" IN STREET | |
| T (TELEPHONE) DUCT | 12" | - | 1" | 12" | 12" | 12" | 12" | 1" | 12" | 24" | 30" IN STREET | |
| TD (TELEPHONE) DIRECT BURY | 12" | 1" | - | 1" | 12" | 12" | 12" | 1" | 12" | 24" | 30" IN STREET | |
| C (CABLE T.V.) | 12" | 1" | - | 1" | 12" | 12" | 12" | 1" | 12" | 24" | 30" IN STREET | |
| S (ELECT. SECONDARY) | 6" | 12" | 12" | 1.5" | 3" | 12" | 1.5" | 12" | 12" | 24" | 30" IN STREET | |
| P (ELECT. PRIMARY) | 12" | 12" | 12" | 3" | 3" | 12" | 3" | 12" | 12" | 30" | 36" IN STREET | |
| SL (PUBLIC AND PRIVATE-STREET LIGHT)** | 12" | 12" | 12" | 12" | 12" | 12" | - | 12" | 12" | 24" | 30" IN STREET | |
| SLP (P.G.E.-STREET LIGHT) | 6" | 12" | 12" | 1.5" | 3" | 12" | 1.5" | 12" | 12" | 24" | 30" IN STREET | |
| FE (FOREIGN ELECTRIC SOURCES, NON PG&E) | 12" | 12" | 12" | 12" | 12" | 12" | 12" | - | 12" | 24" | 30" IN STREET | |
| F (FIBER OPTIC) | 12" | 1" | 1" | 1" | 12" | 12" | 12" | - | 12" | 24" | 30" IN STREET | |



- LEGEND**
- MEETS UTILITY TRENCH ALLOTMENT
 - EXCEEDS UTILITY TRENCH ALLOTMENT
 - GAS
 - ELECTRIC PRIMARY
 - ELECTRIC SECONDARY
 - TELEPHONE (DUCT OR DIRECT BURY)
 - CATV
 - STREET LIGHT (PUBLIC OR PRIVATE)
 - STREET LIGHT (PG&E)
 - FOREIGN ELECTRIC
 - FIBER OPTIC



- LEGEND**
1. 8' LENGTH x 5/8" DIAMETER GROUND ROD POLES
 2. BARE CONTINUOUS SOLID NUMBER 6 AWG WIRE
 3. GROUND CLAMP
 4. TELEPHONE SPLICE BOX
- NOTES**
1. MINIMUM DEPTH = 12 INCHES
 2. GROUND BEDS MAY BE PLACED IN ANY CONFIGURATION AS LONG AS THE 8 FOOT SEPARATION BETWEEN GROUND RODS IS MAINTAINED AND THE 2 FOOT SEPARATION FROM THE SB WALL IS NOT ENCRoACHED UPON.
 3. BARE #6 GROUND WIRE TO ENTER THROUGH SIDEWALL OR BOTTOM OF SB AND WRAP SB ONCE.
- DETAIL 1 AT&T AERIAL AND BURIED
N.T.S. JT4 GROUND BED DESIGN

JOINT TRENCH NOTES:

1. TRENCH COVER & CLEARANCES SHOWN ARE MINIMUMS ONLY AND MAY REQUIRE ALTERATIONS TO SUIT FIELD CONDITIONS.
2. IT IS RECOMMENDED THAT ALL FACILITIES ARE TO BE A MINIMUM OF 12" BELOW SUB-BASE DISTURBANCE.
3. * WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED, SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
4. * WHERE 6" GAS MAIN IS LOCATED IN THE JOINT TRENCH A 12" MINIMUM SEPARATION FROM GAS MAIN TO ALL UTILITIES WILL BE REQUIRED.
5. ** WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, STREET LIGHT SEPARATION MAY BE REDUCED TO 0" BETWEEN STREET LIGHT AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
6. TRENCH CONFIGURATIONS SHOWN ARE FOR INSTALLATION WHERE EACH OCCUPANT IS UTILIZING HIS ENTIRE SPACE ALLOCATION. OTHER CONFIGURATIONS OR REDUCED DIMENSIONS MAY BE USED, PROVIDED THAT MINIMUM COVER AND CLEARANCES ARE MAINTAINED.
7. THE CONTRACTOR IS TO ADJUST TRENCH DEPTHS AT ALL JOINT TRENCH LATERAL CROSSINGS TO MAINTAIN REQUIRED CLEARANCES BETWEEN ALL PARTICIPATING UTILITIES.
8. TRENCH SECTIONS ARE SHOWN SCHEMATICALLY AND INDICATE AREAS OF OCCUPANCY ONLY; THEY DO NOT REFLECT SIZE OR QUANTITY OF FACILITIES TO BE INSTALLED.
9. TRENCH FOOTAGES PER SECTION ARE APPROXIMATE. SECTIONS ARE DESIGNED TO ACCOMMODATE ALL REQUIRED FACILITIES AS INDICATED ON EACH TRENCH PARTICIPANT'S CONSTRUCTION DRAWINGS.
10. THE CONTRACTOR SHALL VERIFY TRENCH FOOTAGES FOR ACCURACY PRIOR TO EXCAVATION AND TAKE NECESSARY PRECAUTION CROSSING WATER AND SEWER FACILITIES.
11. THE CONTRACTOR SHALL REFER TO THE COMPOSITE, CONDUIT, AND/OR EACH RESPECTIVE UTILITY INSTALLATION PLAN FOR THE NECESSARY CONDUIT CABLE AND/OR PIPE TO BE INSTALLED IN THIS PROJECT.
12. TYPE "M2" TRENCH SHALL BE INSTALLED AFTER CURB AND GUTTER INSTALLATION. CONTRACTOR SHALL COORDINATE ADDITIONAL MOVE-INS NECESSARY TO COMPLETE THE SERVICES TO THE DWELLING UNITS WITH THE DEVELOPER, ALL AGENCIES AND THE UTILITY COMPANIES. THE COST OF THESE MOVE-INS SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR TRENCHING.
13. THE AVERAGE TRENCH DEPTHS SHOWN ARE BASED ON THE MINIMUM UTILITY COMPANY REQUIREMENTS FOR DEPTH AND SEPARATION. CONTRACTOR SHALL ADJUST TRENCH WIDTH & DEPTH AS REQUIRED TO ADEQUATELY CLEAR EXISTING UNDERGROUND FACILITIES AND MAINTAIN MINIMUM UTILITY CLEARANCES. ALL TRENCHES OVER 60" DEEP MUST COMPLY WITH OSHA REQUIREMENTS. (SEE THE JOINT TRENCH MINIMUM COVER AND CLEARANCE TABLE)
14. CONTRACTOR SHALL USE SAND BEDDING AND SHADING AS REQUIRED BY THE UTILITY COMPANIES. ALL TRENCH SECTIONS SHOWN HEREON INCLUDE A 4" THICK BEDDING LAYER (UON).
15. ALL TRENCHING AND BACKFILLING TO BE DONE IN ACCORDANCE WITH THE CITY OF BAY POINT ENGINEERING STANDARDS AND SPECIFICATIONS.
16. ALL PG&E, TELEPHONE, CABLE, AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER AND WATER LATERALS AND DRIVEWAYS. ALL UTILITY VAULTS, BOXES, PEDESTALS, ETC. MUST MAINTAIN A 5' MINIMUM CLEARANCE FROM FIRE HYDRANTS, AND 3' MINIMUM FROM STREETLIGHTS.

THIS AREA RESERVED FOR JOINT TRENCH SECTIONS TO BE PLACED AT A LATER TIME

JOINT TRENCH OCCUPANCY GUIDE

| TRENCH SECTION | A* | B* | C* | D* | E* | F* | G* | H* | I | J | K | L | M | N | O | P | Q | R | S | T | U | V | W | |
|----------------|----|----|----|----|----|----|----|----|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| GAS | X | X | X | X | | | | | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| TELEPHONE | X | X | X | X | X | | | | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| CABLE T.V. | X | X | X | X | X | | | | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| ELECTRIC SEC. | X | X | X | X | X | X | X | X | | | | | | X | X | X | X | X | X | X | X | X | X | X |
| ELECTRIC PRI. | X | X | X | X | X | X | X | X | | | | | | X | X | X | X | X | X | X | X | X | X | X |
| FIBER OPTICS | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

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- PG&E Elec Design
- M.E.P. Design
- Cost Analysts
- Due Diligence

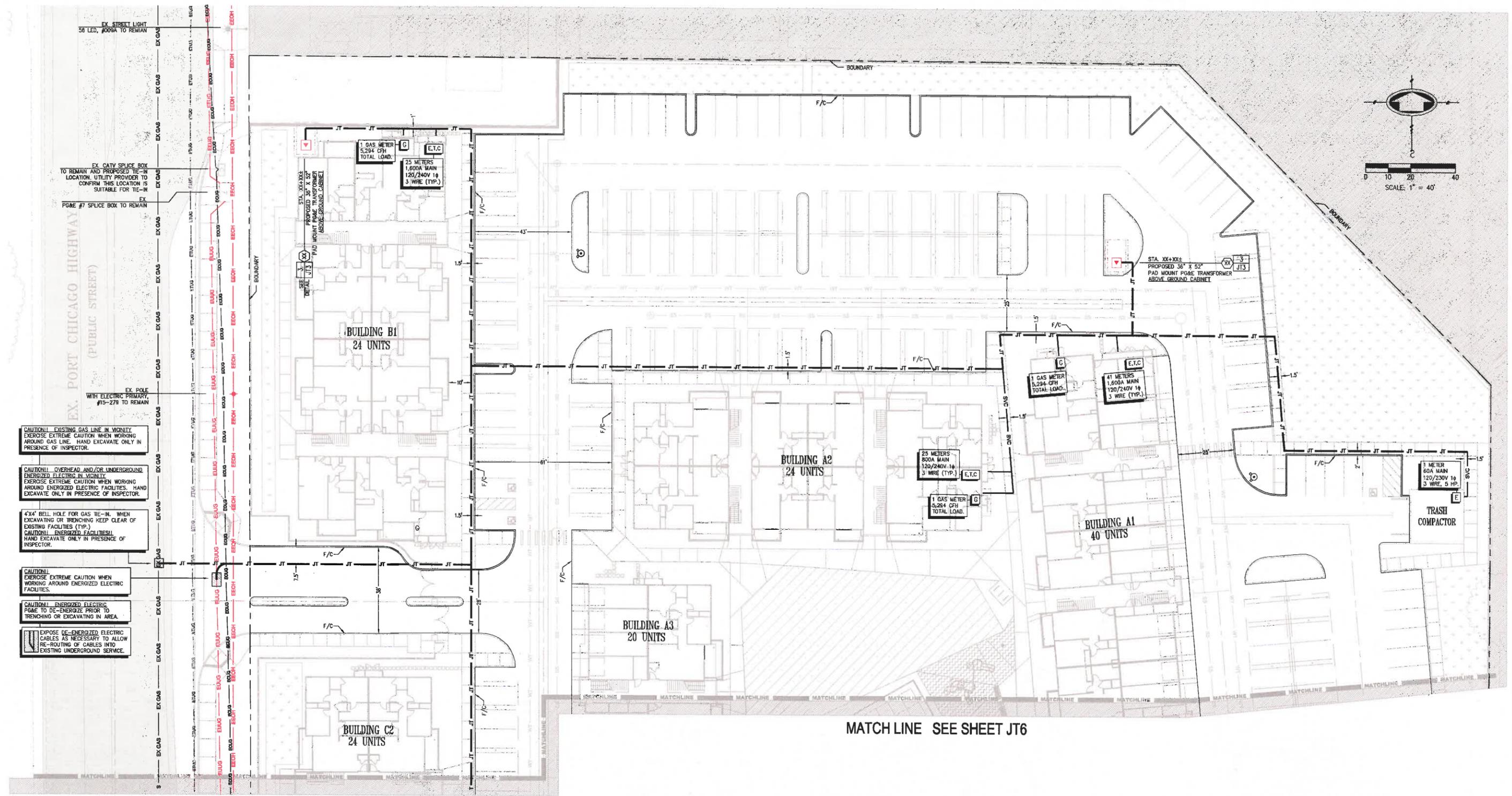
JOINT TRENCH SECTIONS AND DETAILS
META HOUSING CORP
BAY POINT APARTMENTS
BAY POINT CALIFORNIA

| NO. | REVISIONS | BY | DATE |
|-----|-----------|----|------|
| | | | |
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JT4
OF
JT7
SHEETS



- CAUTION!! EXISTING GAS LINE IN MOUND. EXERCISE EXTREME CAUTION WHEN WORKING AROUND GAS LINE. HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.
- CAUTION!! OVERHEAD AND/OR UNDERGROUND ENERGIZED ELECTRIC IN MOUND. EXERCISE EXTREME CAUTION WHEN WORKING AROUND ENERGIZED ELECTRIC FACILITIES. HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.
- 4" BELL HOLE FOR GAS RE-IN. WHEN EXCAVATING OR TRENCHING KEEP CLEAR OF EXISTING FACILITIES (TYP.) CAUTION!! ENERGIZED FACILITIES! HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.
- CAUTION!! EXERCISE EXTREME CAUTION WHEN WORKING AROUND ENERGIZED ELECTRIC FACILITIES.
- CAUTION!! ENERGIZED ELECTRIC PG&E TO DE-ENERGIZE PRIOR TO TRENCHING OR EXCAVATING IN AREA.
- EXPOSE DE-ENERGIZED ELECTRIC CABLES AS NECESSARY TO ALLOW RE-ROUTING OF CABLES INTO EXISTING UNDERGROUND SERVICE.

MATCH LINE SEE SHEET JT6

MATCH LINE SEE SHEET JT6

| JOINT TRENCH OCCUPANCY GUIDE | | A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P | Q | R | S | T | U | V | W |
|------------------------------|--|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| GAS | | X | X | X | X | | | | | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| TELEPHONE | | X | X | X | X | | | | | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| CABLE TV | | X | X | X | X | | | | | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| ELECTRIC SEC. | | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| ELECTRIC PRI. | | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |

CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING AROUND ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.

CAUTION !! CAUTION !! CAUTION !!
 EX JOINT TRENCH AND EX GAS AND ALL OTHER UTILITY LOCATIONS ARE SHOWN BASED UPON INFORMATION PROVIDED BY OTHERS AND FIELD OBSERVATION. JOINT TRENCH CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EXISTING FACILITIES PRIOR TO ANY JOINT TRENCH CONSTRUCTION. POTHOLE IF NECESSARY. CONTACT U.S.A. DIG ALERT 24 HOURS IN ADVANCE

SERVICE TERMINATION LEGEND

E.T.C. ELECTRIC, TELEPHONE, CATV CLOSET

G GAS CLOSET

NOTE: JOINT TRENCH CONTRACTOR TO TIE-IN TO CONDUIT STUBS INSTALLED BY THE BUILDING CONTRACTOR. ADJUST SERVICE TRENCH ROUTE AS NECESSARY.

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JOINT TRENCH COMPOSITE PLAN
 META HOUSING CORP
 BAY POINT APARTMENTS
 BAY POINT CALIFORNIA

| NO. | REVISIONS | BY | DATE |
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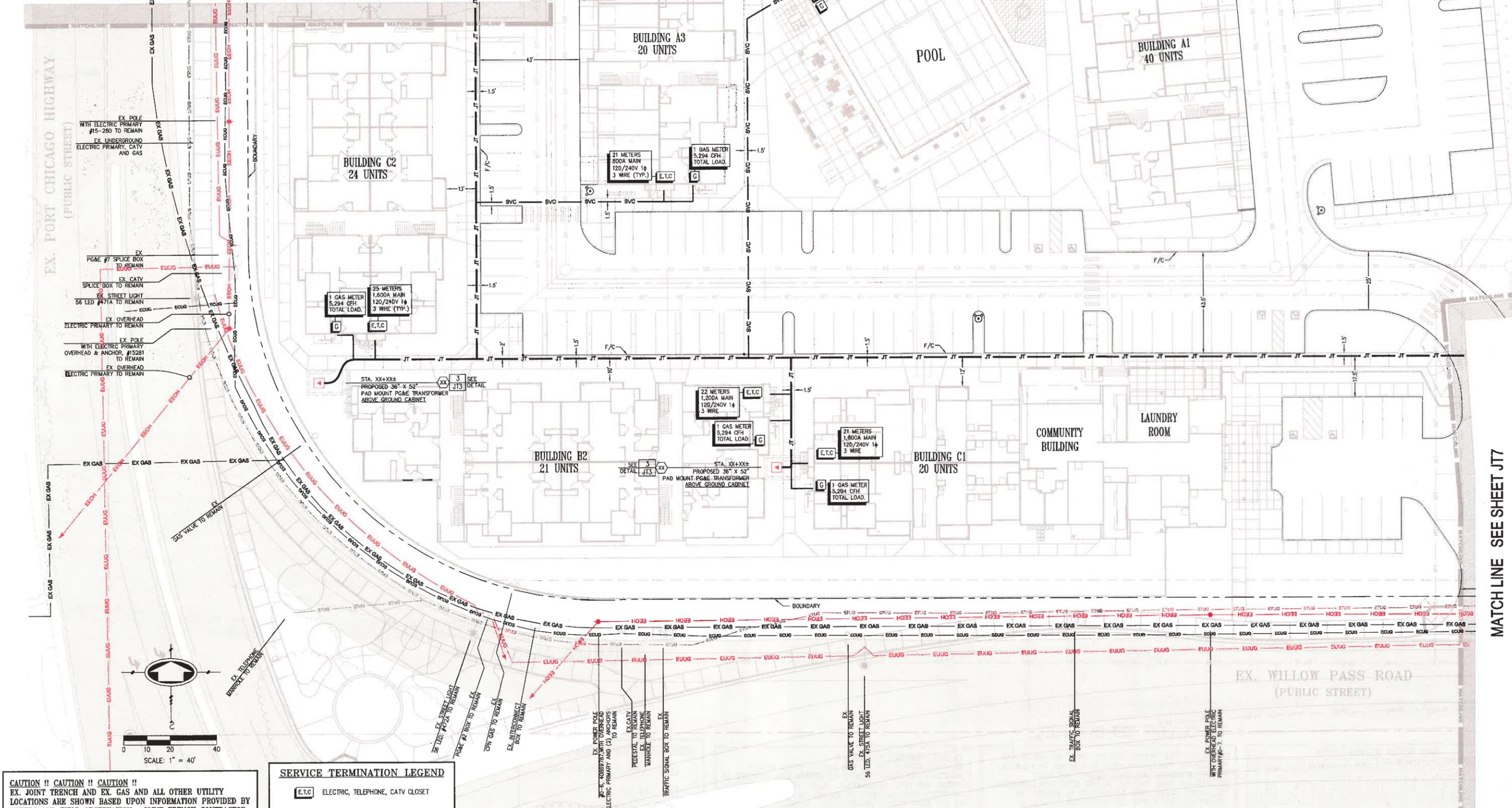
SHEET JT5 OF JT7 SHEETS

| JOINT TRENCH OCCUPANCY GUIDE | | A* | B* | C* | D* | E* | F* | G* | H* | I* | J* | K* | L* | M* | N* | O* | P* | Q* | R* | S* | T* | U* | V* | W* |
|------------------------------|--|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|
| GAS | | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| TELEPHONE | | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| CABLE TV | | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| ELECTRIC SEC. | | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |
| ELECTRIC PRI. | | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X | X |

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MATCH LINE SEE SHEET JT5

MATCH LINE SEE SHEET JT5



MATCH LINE SEE SHEET JT7

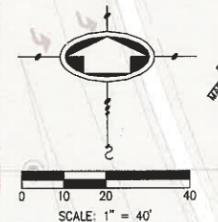
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SERVICE TERMINATION LEGEND

[E.T.C.] ELECTRIC, TELEPHONE, CATV CLOSET

[G] GAS CLOSET

NOTE: JOINT TRENCH CONTRACTOR TO TIE-IN TO CONDUIT STUBS INSTALLED BY THE BUILDING CONTRACTOR. ADJUST SERVICE TRENCH ROUTE AS NECESSARY.



JOINT TRENCH COMPOSITE PLAN
 META HOUSING CORP
 BAY POINT APARTMENTS
 BAY POINT CALIFORNIA

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SHEET
JT6
 OF
JT7
 SHEETS

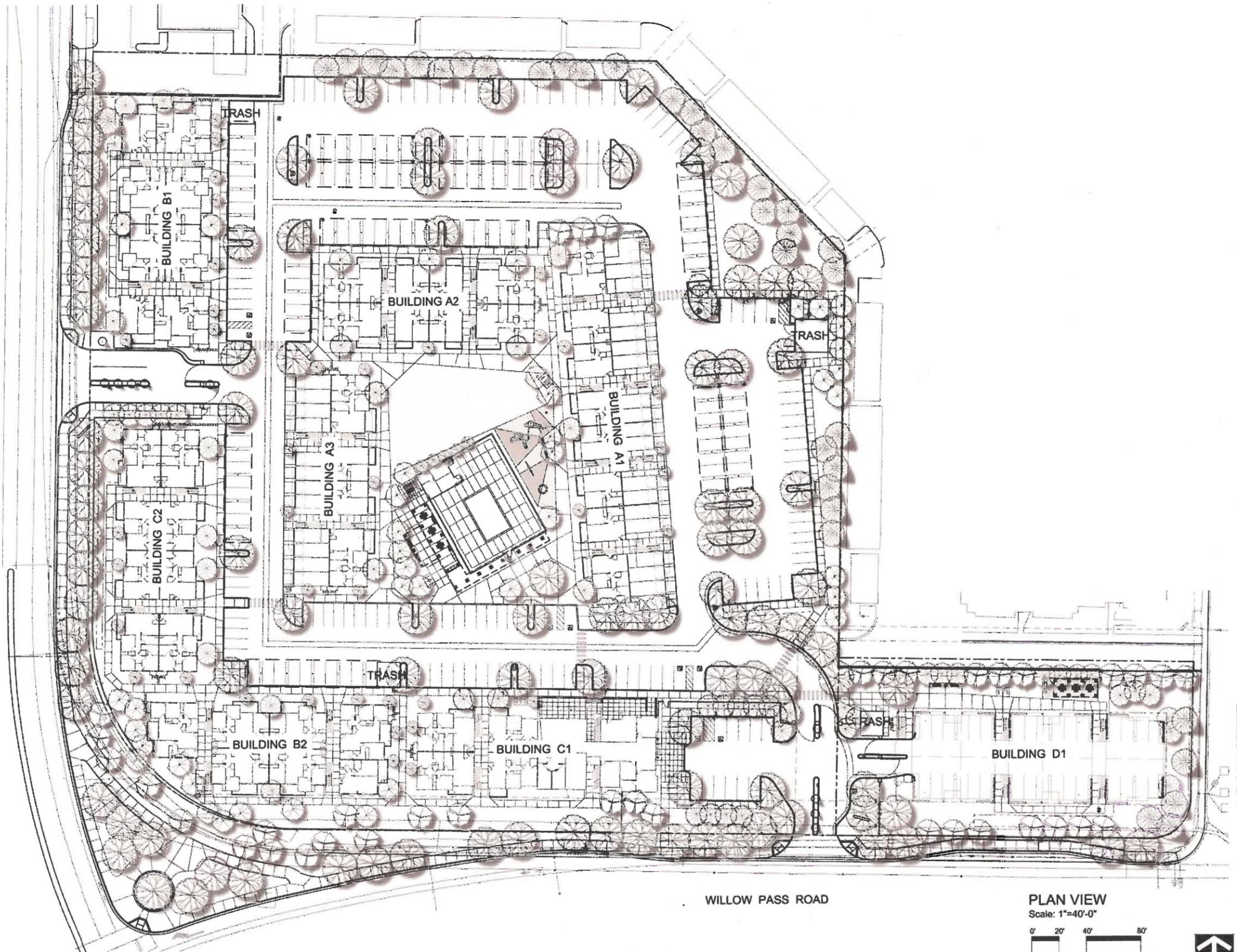
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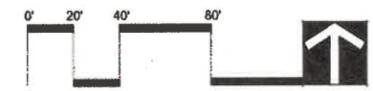
PORT CHICAGO HIGHWAY



WILLOW PASS ROAD

WELDON STREET

PLAN VIEW
Scale: 1"=40'-0"



Baypoint Family Apartments
Contra Costa County, CA
November 17, 2015

Overall Site Plan
L001

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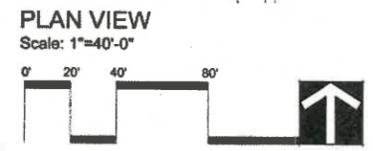
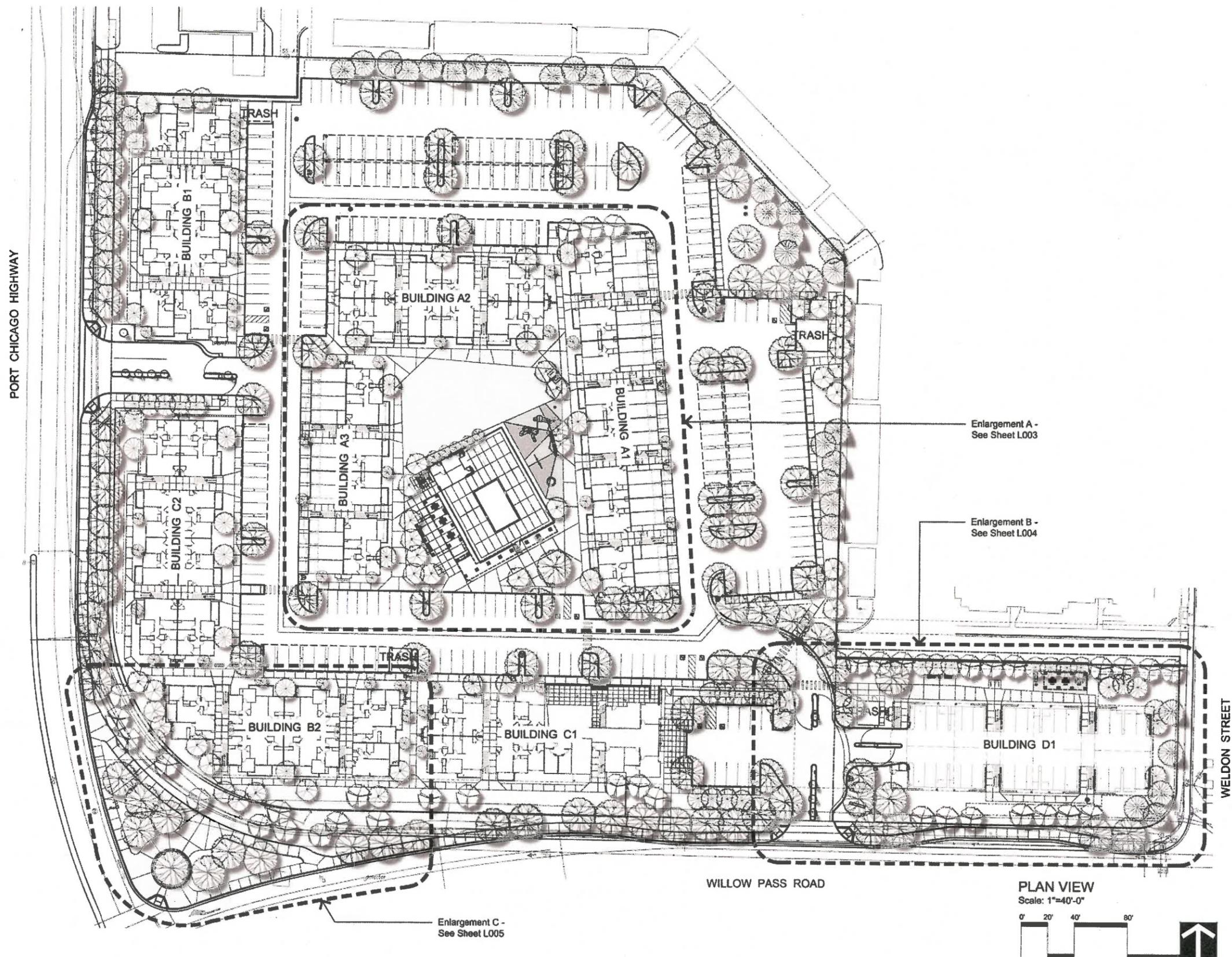
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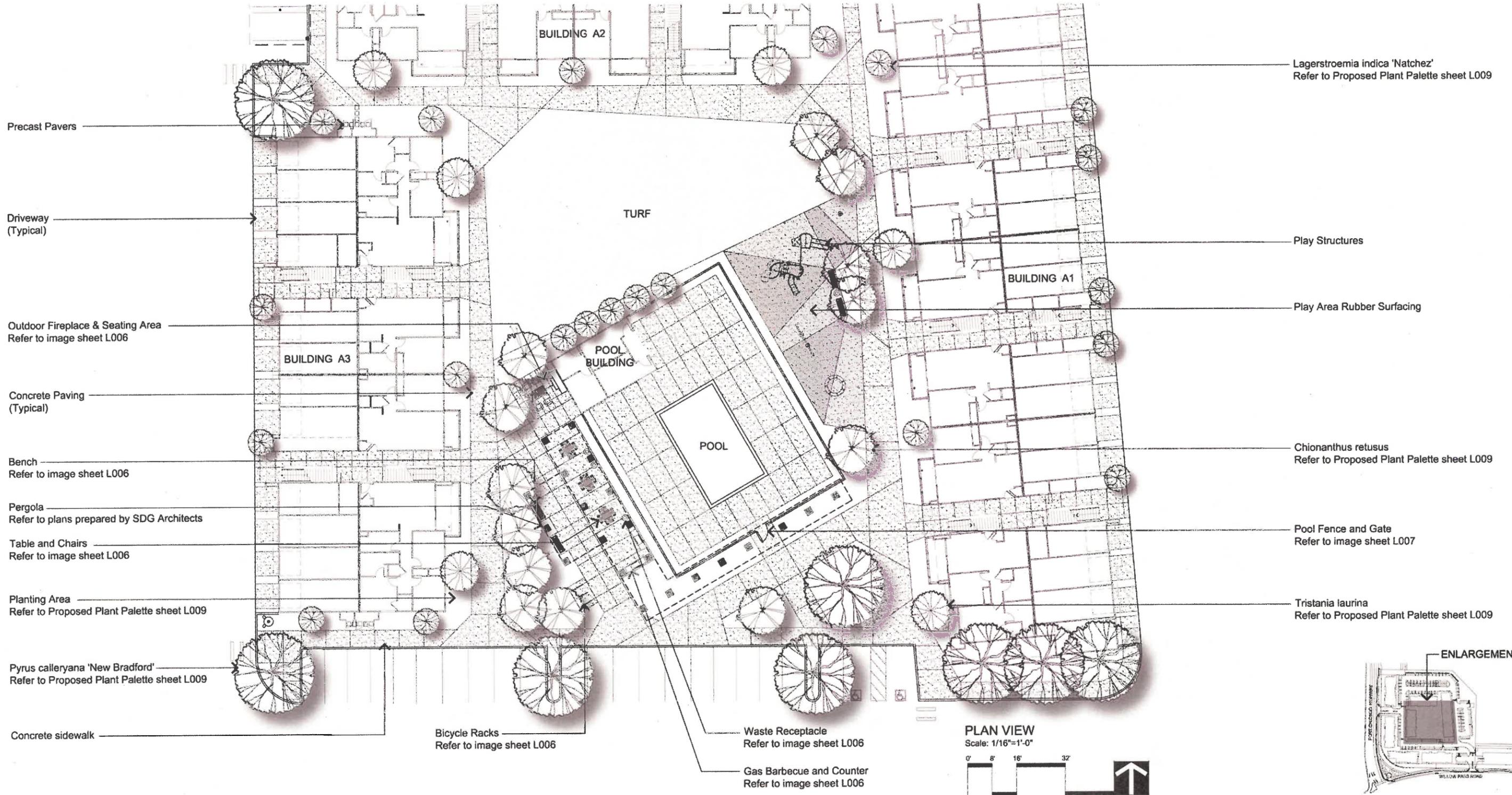
Index Plan
L002

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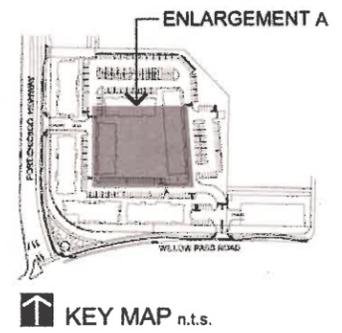
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PLAN VIEW
Scale: 1/16"=1'-0"
0' 8' 16' 32'



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Enlargement A
L003

Arbutus marina
Refer to Proposed Plant Palette sheet L009

Concrete Paving
(Typical)

Podocarpus 'Maki'
Refer to Proposed Plant Palette sheet L009

Vehicular Gates
Refer to image sheet L007

Precast Pavers

Call Box

Planting Area
Refer to Proposed Plant Palette sheet L009

Pyrus calleryana 'New Bradford'
Refer to Proposed Plant Palette sheet L009

Project Entry Sign
Refer to image sheet L006

Waste Receptacle
Refer to image sheet L006

Bench
Refer to image sheet L006

Decomposed Granite Paving

Gas Barbecue and Counter
Refer to image sheet L006

Pergola
Refer to image sheet L007

Table and Chairs
Refer to image sheet L006

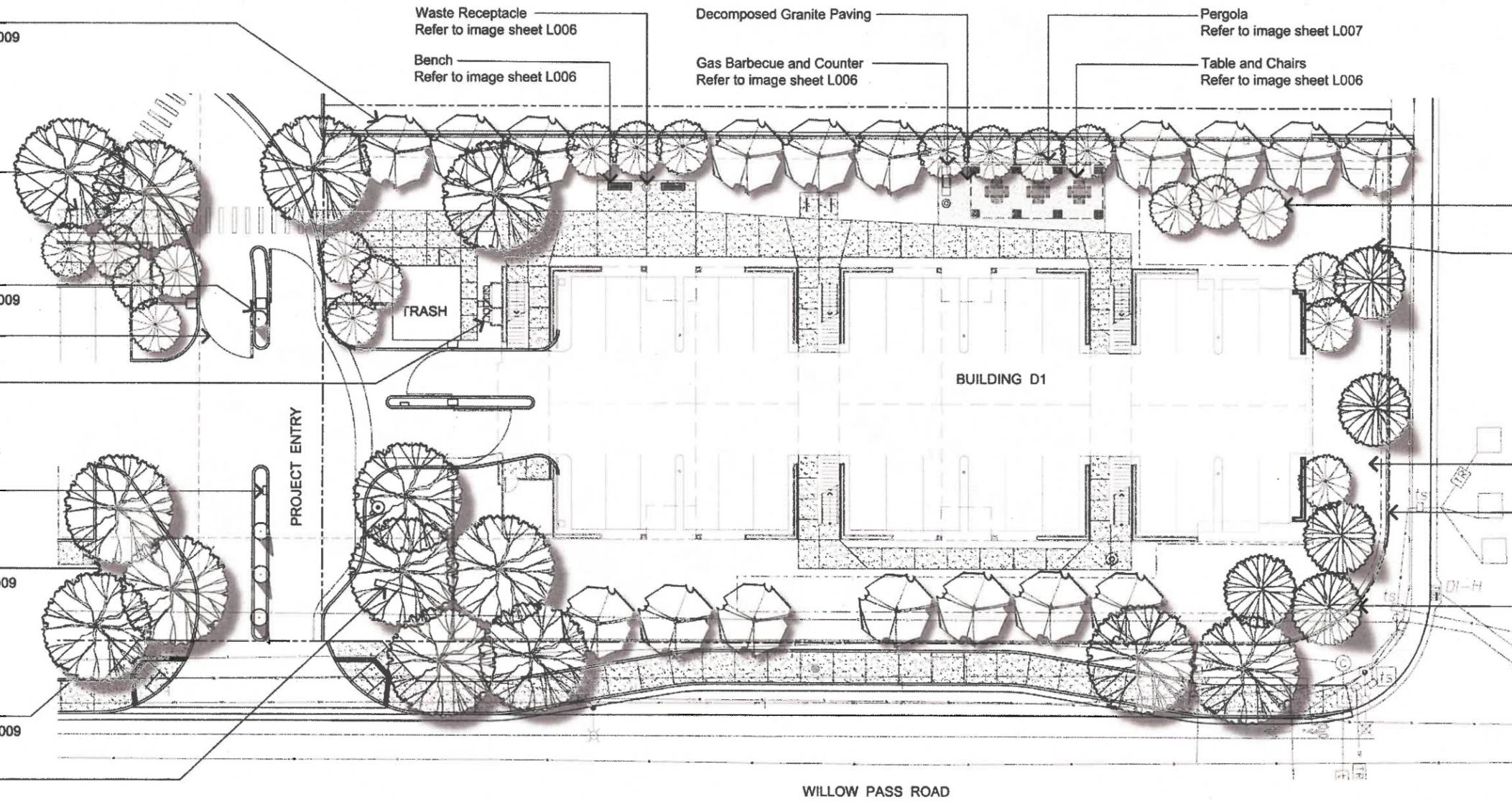
Tristania laurina
Refer to Proposed Plant Palette sheet L009

Pedestrian/Bicycle Security Gate
Refer to image sheet L007

Storm water treatment planting
Refer to Proposed Plant Palette sheet L009

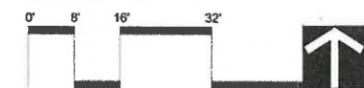
Perimeter Security Fence
Refer to image sheet L007

Carpinus betulius fastigiata
Refer to Proposed Plant Palette sheet L009

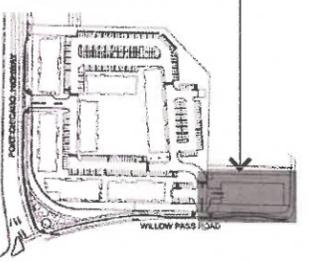


PLAN VIEW

Scale: 1/16"=1'-0"



ENLARGEMENT B



KEY MAP n.t.s.

Baypoint Family Apartments
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November 17, 2015

Enlargement B
L004

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Enlargement C
L005



Bench Concept

Color to be black



Waste Receptacle Concept

Color to be black



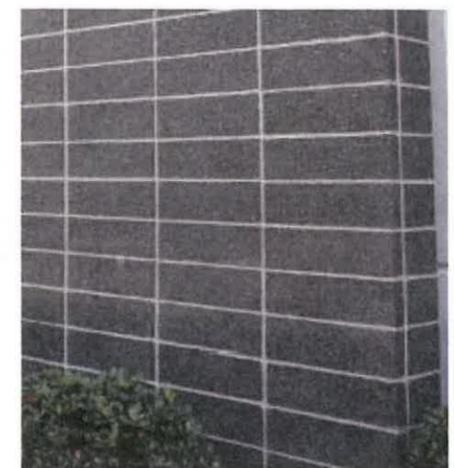
Table and Chairs Concept

Recycled plastic color to be walnut, steel color to be black



Bicycle Rack

Color to be black



Decorative CMU Concept



Gas Barbecue and Counter Concept



Outdoor Fireplace Concept



Project Entry Sign

SCALE: 1/2" = 1'-0"

Baypoint Family Apartments
Contra Costa County, CA
November 17, 2015

Baypoint Family Apartments, LLC

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Site Amenities
L006

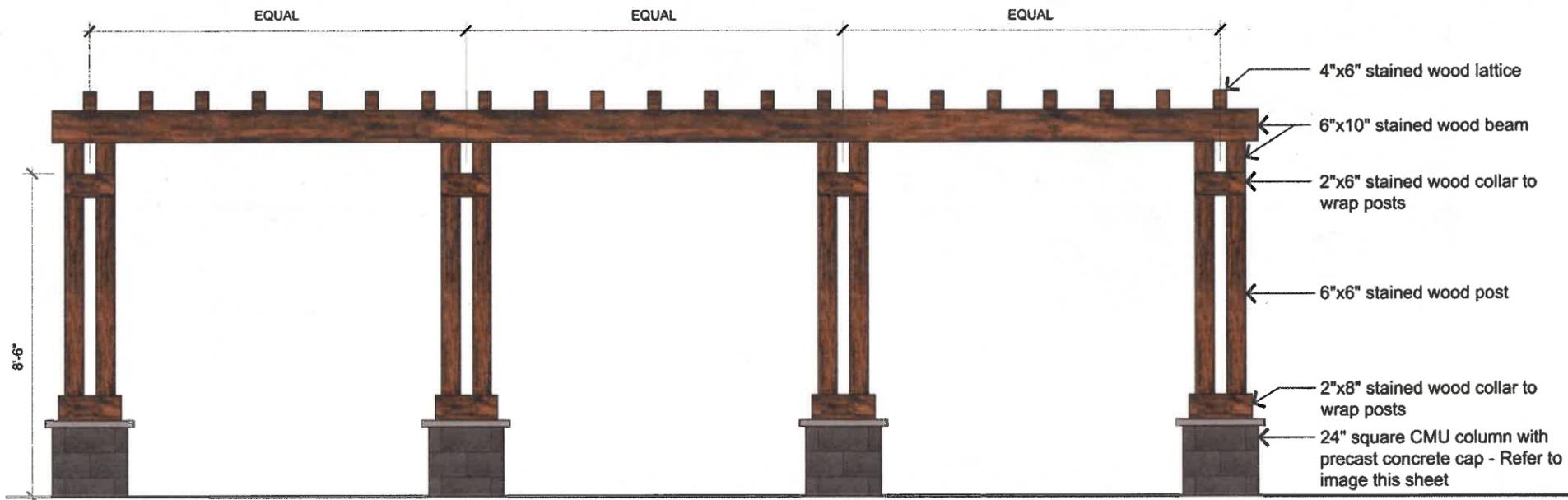
PLANNING URBAN DESIGN
LANDSCAPE ARCHITECTURE
201 4th street suite 1010, oakland, ca 94607
phone: 510.452.4190 www.r3studios.com



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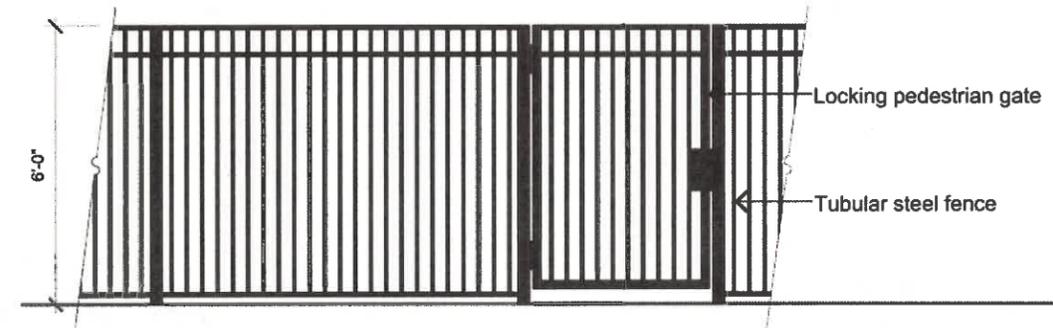


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Pergola Concept

SCALE: 1/2" = 1'-0"



Pool Fence & Gate Concept

SCALE: 1/2" = 1'-0"



Perimeter Security Fence & Vehicular Gate Concept

SCALE: 1/2" = 1'-0"

Baypoint Family Apartments
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 November 17, 2015

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Site Amenities
 L007

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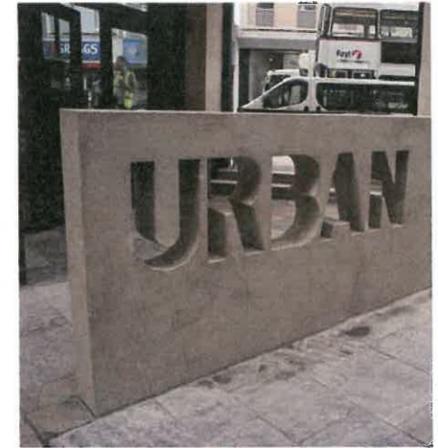
Concrete Seatwall Concept



Inset Metal Panel with Lettering Concept



Raised Metal Lettering Concept



Formed Inset Lettering Concept



Concrete Planter and Seatwall Concept

SCALE: 1/2" = 1'-0"

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Site Amenities
 L008

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PROPOSED PLANT PALETTE

| SYMBOL | BOTANICAL NAME | COMMON NAME | MINIMUM CONTAINER SIZE | EXPOSURE | COMMENTS | WUCOLS |
|---------------|---------------------------------|---------------------------|------------------------|-----------|-------------|--------|
| TREES: | | | | | | |
| | ARBUTUS 'MARINA' | NCN | 24" BOX | N/A | STANDARD | M |
| | CARPINUS BETULIUS FASTIGIATA | HORNBEAM | 24" BOX | N/A | STANDARD | M |
| | CHIONANTHUS RETUSUS | NCN | 24" BOX | SUN/SHADE | STANDARD | L |
| | LAGERSTROEMIA INDICA 'NATCHEZ' | WHITE-FLOWER CRAPE MYRTLE | 24" BOX | SUN/SHADE | STANDARD | L |
| | PODOCARPUS 'MAKI' | COLUMN FERN PINE | 24" BOX | SUN/SHADE | COLUMN FORM | M |
| | PYRUS CALLERYANA 'NEW BRADFORD' | FLOWERING PEAR | 24" BOX | N/A | STANDARD | M |
| | TRISTANIA LAURINA | NCN | 24" BOX | N/A | STANDARD | L |

| FOUNDATION SHRUBS: | | | | | | |
|---------------------------|-------------------------------------|--------------------|----------|-----------------|--|---|
| | ARBUTUS UNEDO 'COMPAKTA' | STRAWBERRY TREE | 5 GALLON | SUN | | L |
| | EURYOPS PECTINATUS | EURYOPS | 5 GALLON | SUN | | L |
| | CORREA SPECIES | AUSTRALIAN FUCHSIA | 5 GALLON | SUN/ PART SHADE | | L |
| | PITTOSPORUM SPECIES | NCN | 5 GALLON | PART SHADE | | M |
| | RAPHIOLEPIS INDICA 'SPRING RAPTURE' | INDIAN HAWTHORN | 5 GALLON | SUN/ PART SHADE | | L |
| | COPROSMA SPECIES | COPROSMA | 5 GALLON | SUN/ PART SHADE | | L |

| INTERMEDIATE SHRUBS: | | | | | | |
|-----------------------------|---------------------------|--------------------|----------|-----------|--|---|
| | LAVANDULA SPECIES | LAVENDER | 5 GALLON | SHADE/SUN | | L |
| | DIETES BICOLOR | FORTNIGHT LILY | 5 GALLON | SHADE/SUN | | L |
| | LIRIOPE GIGANTEA | LIRIOPE | 5 GALLON | SHADE/SUN | | M |
| | MYRTUS SPECIES | MYRTLE | 5 GALLON | SHADE/SUN | | L |
| | PHORMIUM SPECIES | NEW ZEALAND FLAX | 5 GALLON | SUN | | L |
| | CALLISTEMON 'LITTLE JOHN' | DWARF BOTTLE BRUSH | 5 GALLON | SUN/SHADE | | L |
| | ROSA SPECIES | SHRUB ROSE | 5 GALLON | SUN | | M |

| FOREGROUND SHRUBS: | | | | | | |
|---------------------------|---|-------------------|----------|-----------|--|---|
| | AGAPANTHUS ORIENTALIS 'DELFINA'S BLUSH' | LILY OF THE NILE | 1 GALLON | SHADE/SUN | | M |
| | HEMEROCALLIS HYBRIDS 'RED/ORANGE MIX 50/50' | EVERGREEN DAYLILY | 1 GALLON | SUN | | M |
| | ANIGOZANTHUS SPECIES | KANGAROO PAWS | 1 GALLON | SUN | | L |
| | LAVANDULA 'HIDCOTE' | LAVENDER | 1 GALLON | SUN | | M |
| | LIRIOPE MUSCARI 'BIG BLUE' | BIG BLUE LILY | 1 GALLON | SHADE | | M |
| | PHORMIUM SPECIES (DWARF) | NEW ZEALAND FLAX | 1 GALLON | SUN | | L |

| GROUNDCOVERS: | | | | | | |
|----------------------|----------------------------------|-----------------------|----------|-----------|--|---|
| | TEUCRIUM LUCIDRYS | GERMANDER | 1 GALLON | SUN/SHADE | | L |
| | GREVILLEA LANIGERA 'COASTAL GEM' | NCN | 1 GALLON | SUN/SHADE | | L |
| | LANTANA 'GOLD RUSH' | YELLOW LANTANA | 1 GALLON | SUN | | L |
| | CISTUS SUNSET | ROCKROSE | 1 GALLON | SUN | | L |
| | ROSA 'WHITE DRIFT' | WHITE ROSE | 2 GALLON | SUN | | M |
| | ROSA 'PINK DRIFT' | PINK GROUNDCOVER ROSE | 2 GALLON | SUN | | L |
| | ZAUSCHNERIA SPECIES | CALIFORNIA FUCHSIA | 1 GALLON | SUN | | L |

| GRASSES: | | | | | | |
|-----------------|------------------------------|----------------|----------|-----|--|---|
| | CALAMAGROTIS 'KARL FOERSTER' | REED GRASS | 1 GALLON | SUN | | L |
| | FESTUCA MAIREI | ATLAS FESCUE | 1 GALLON | SUN | | L |
| | MISCANTHUS SPECIES | SILVER GRASS | 1 GALLON | SUN | | L |
| | PENNISETUM SETACEUM | FOUNTAIN GRASS | 1 GALLON | SUN | | L |

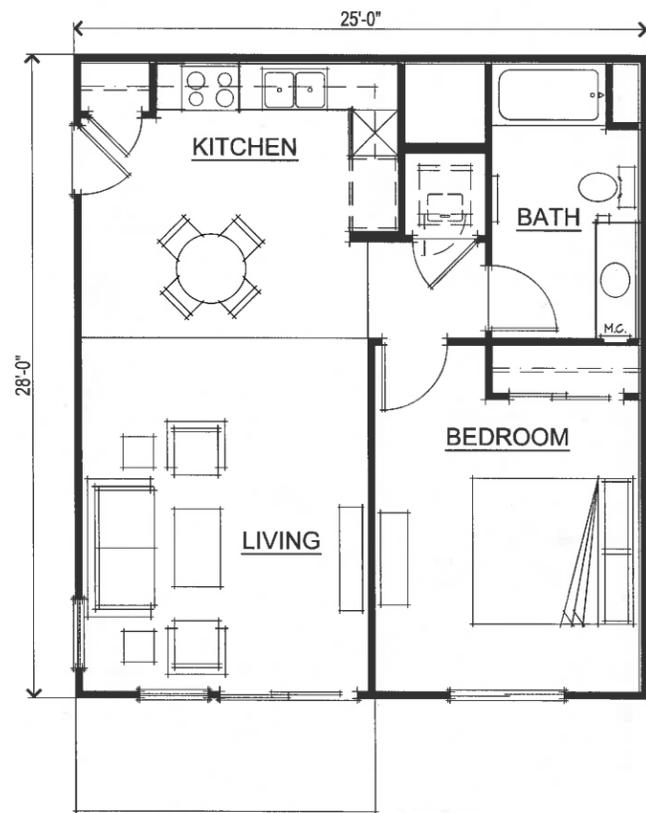
| VINES: | | | | | | |
|---------------|-----------------------------|-----------------|----------|-----------|--|---|
| | PARTHENOCISSUS TRICUSPIDATA | BOSTON IVY | 5 GALLON | SUN/SHADE | | M |
| | CAMPIS SPECIES | TRUMPET CREEPER | 5 GALLON | SUN | | M |
| | HARDENBERGIA SPECIES | NCN | 5 GALLON | SUN | | M |
| | ROSA SPECIES | ROSE | 5 GALLON | SUN | | M |

STORM WATER TREATMENT SHRUBS AND GRASSES: 1 GALLON MIX EVENLY

| SPECIES/COMMON NAME | | | | | | |
|----------------------------|---|--|--|--|--|--|
| | ARISTIDA PURPUREA - PURPLE THREE-AWN | | | | | |
| | BOUTELOUA GRACIS - BLUE GRAMA | | | | | |
| | FESTUCA CALIFORNICA - CALIFORNIA FESCUE | | | | | |
| | LEYMUS CONDENSATUS - GIANT WILD RYE | | | | | |
| | MELICA CALIFORNICA - CALIFORNIA MELIC | | | | | |
| | JUNCUS SPECIES - RUSH | | | | | |

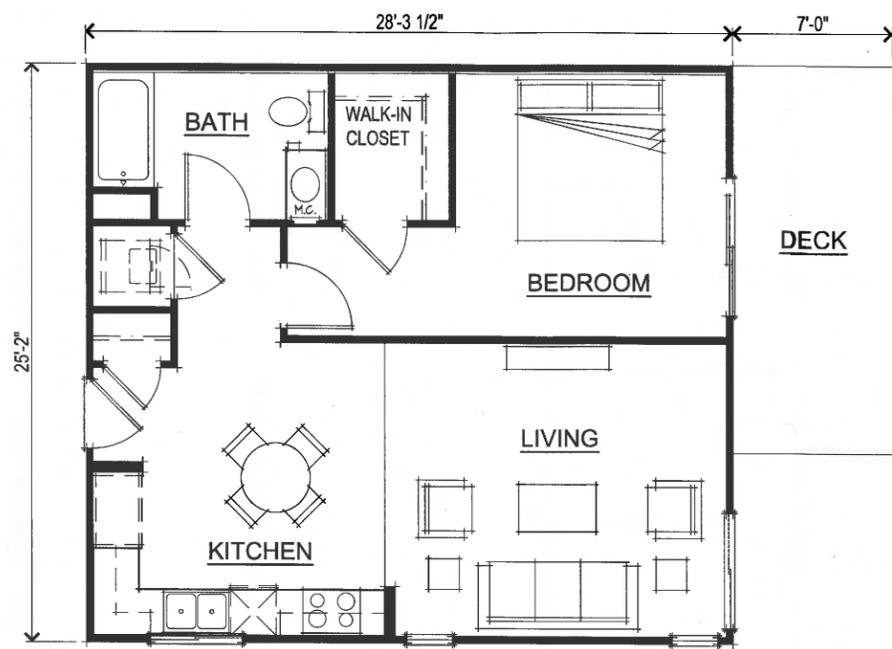
IRRIGATION NOTE:
A FULLY AUTOMATIC IRRIGATION SYSTEM SHALL BE PROPOSED FOR THE PROJECT UTILIZING WATER CONSERVING METHODS. IRRIGATION SHALL BE INSTALLED THROUGHOUT THE BIO-RETENTION AREAS TO PROVIDE SUPPLEMENTAL IRRIGATION IN THE DRY MONTHS WITH REDUCED IRRIGATION DURING SEASONAL RAINFALL OR WET MONTHS.

MINIMUM TREE CLEARANCE NOTE:
1. SMALL TREES (15' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 6' FROM BUILDINGS AND A MINIMUM OF 2' FROM EDGES OF PAVING, CURBS OR WALLS.
2. MEDIUM TREES (25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 10' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
3. LARGE TREES (ABOVE 25' TALL/WIDE) SHALL BE PLACED A MINIMUM OF 15' FROM BUILDINGS AND A MINIMUM OF 3' FROM PAVING, CURBS OR WALLS.
4. 5' MINIMUM FROM JOINT TRENCH, WATER LINES, WATER METERS AND FIRE HYDRANTS.
5. 8' MINIMUM FROM SANITARY SEWER AND STORM DRAINS.



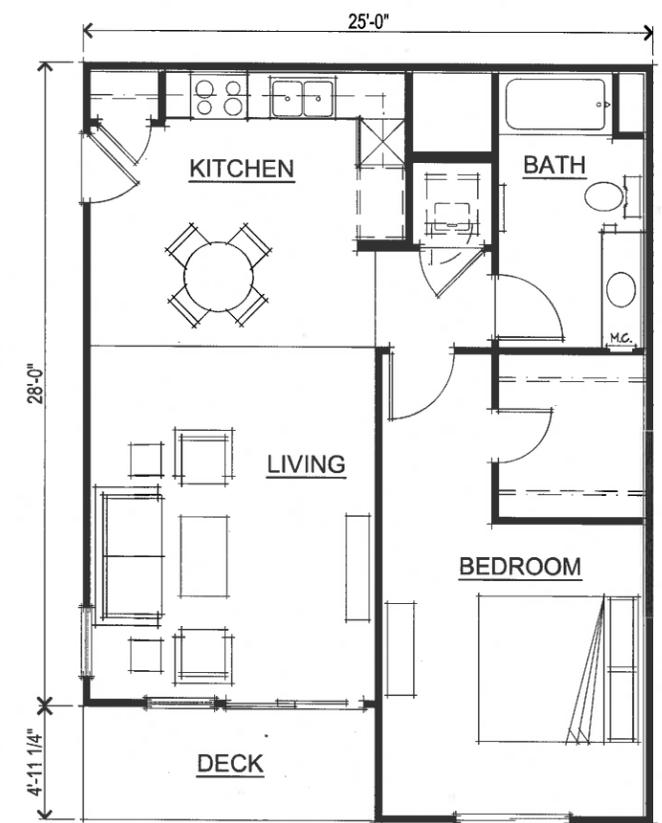
UNIT 1A
AT BUILDING A1, A2, A3, & D1

| SQUARE FOOTAGES | |
|-----------------|-------------|
| TOTAL LIVING | 700 SQ. FT. |

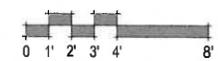


UNIT 1B
AT BUILDING B1 & B2

| SQUARE FOOTAGES | |
|-----------------|-------------|
| TOTAL LIVING | 712 SQ. FT. |



UNIT 1C
AT BUILDING D1

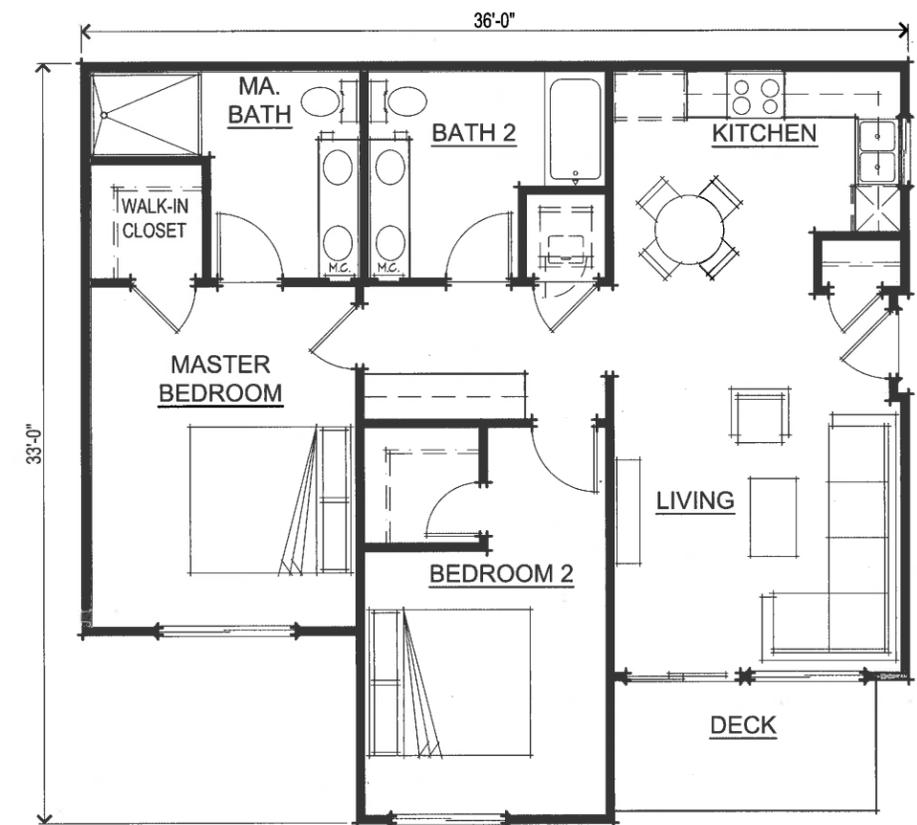


| SQUARE FOOTAGES | |
|-----------------|-------------|
| TOTAL LIVING | 760 SQ. FT. |

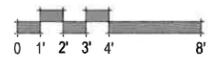


UNIT 2A
AT BUILDINGS C1 & C2

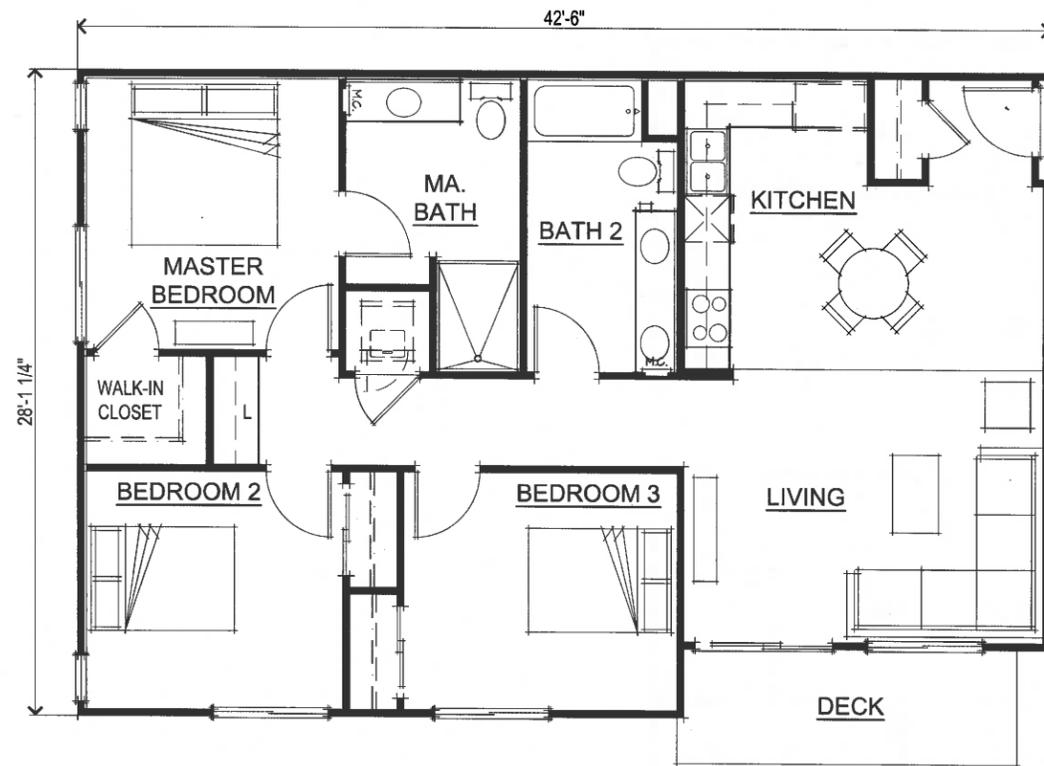
| SQUARE FOOTAGES | |
|-----------------|-------------|
| TOTAL LIVING | 938 SQ. FT. |



UNIT 2B
AT BUILDING D1



| SQUARE FOOTAGES | |
|-----------------|--------------|
| TOTAL LIVING | 1008 SQ. FT. |



UNIT 3A

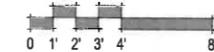
AT BUILDINGS A1, A2, A3, C1, C2, & D1

| SQUARE FOOTAGES | |
|-----------------|--------------|
| TOTAL LIVING | 1144 SQ. FT. |

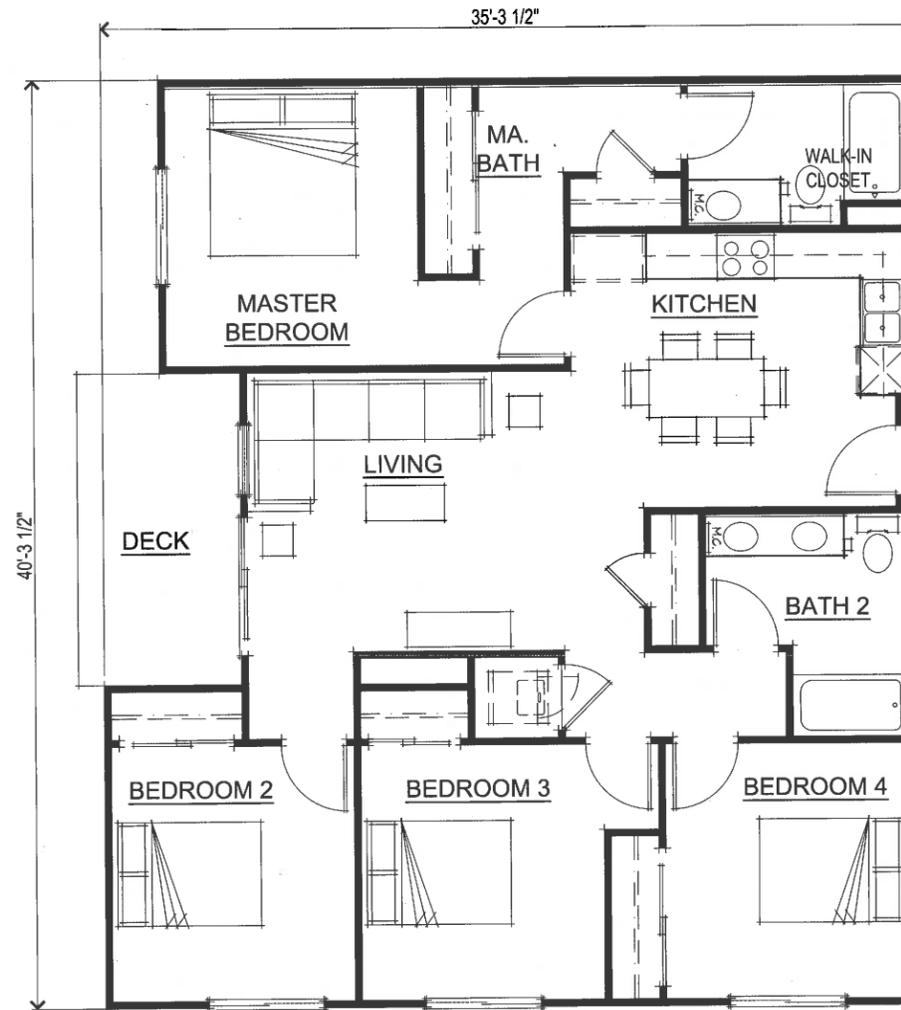


UNIT 3B

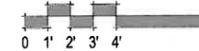
AT BUILDINGS B1 & B2



| SQUARE FOOTAGES | |
|-----------------|--------------|
| TOTAL LIVING | 1161 SQ. FT. |



UNIT 4
AT BUILDINGS B1 & B2



| SQUARE FOOTAGES | |
|-----------------|--------------|
| TOTAL LIVING | 1304 SQ. FT. |



LEFT ELEVATION



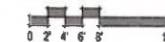
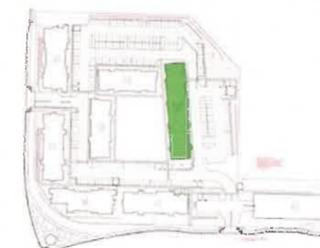
RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION



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Contra Costa County, CA
November 13, 2015

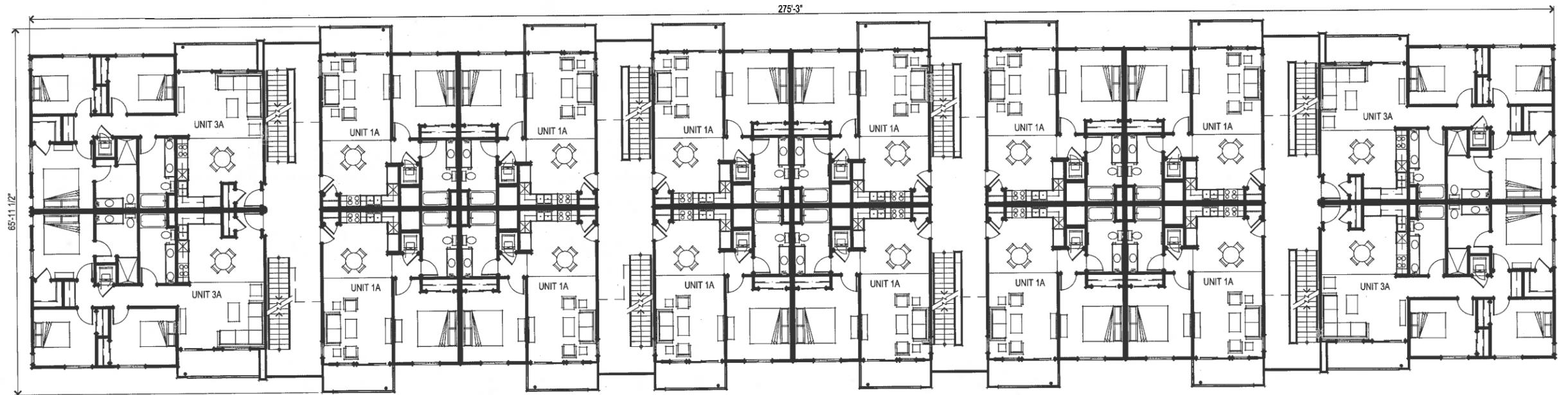
Baypoint Family Apartments, LLC

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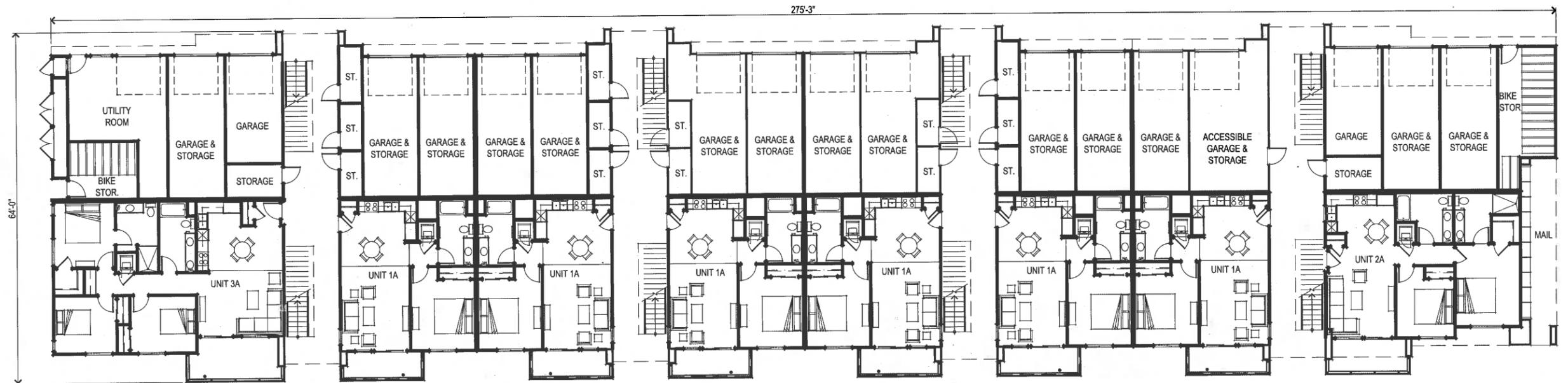
BUILDING A1 - ELEVATIONS
A5

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SECOND FLOOR PLAN



0 2 4 6 8 16' FIRST FLOOR PLAN

| SQUARE FOOTAGES | |
|--------------------|---------------|
| TOTAL LIVING | 32234 SQ. FT. |
| TOTAL DECK | 2676 SQ. FT. |
| TOTAL COMMON | 6068 SQ. FT. |
| TOTAL GARAGE | 4457 SQ. FT. |
| TOTAL STORAGE | 910 SQ. FT. |
| TOTAL UTILITY | 82 SQ. FT. |
| TOTAL BIKE STORAGE | 241 SQ. FT. |
| TOTAL | 46668 SQ. FT. |

Baypoint Family Apartments
 Contra Costa County, CA
 November 17, 2015

BUILDING A1 - FIRST AND SECOND FLOOR PLANS

A6

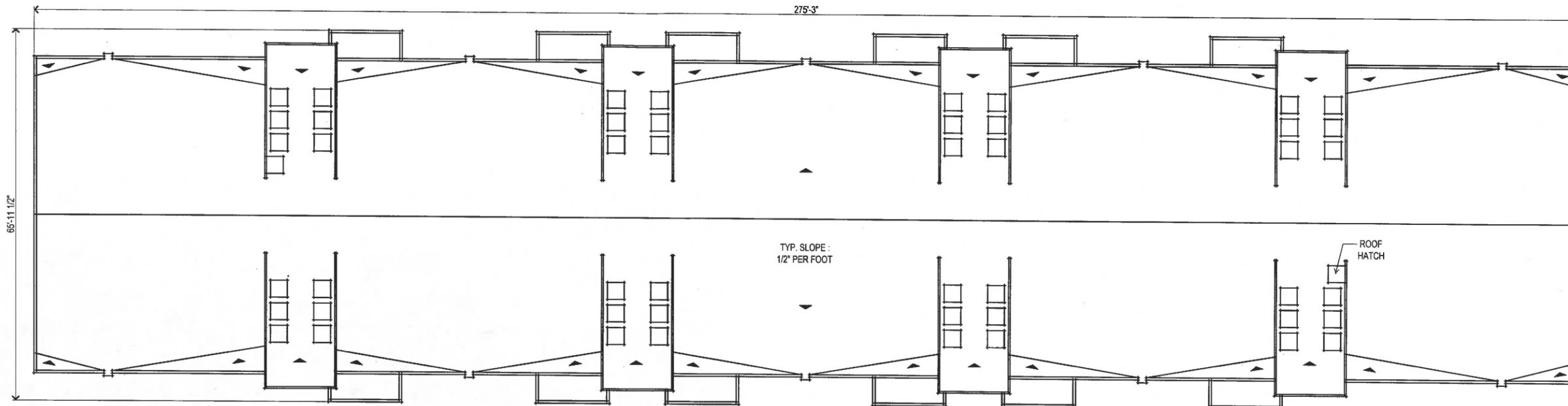
Baypoint Family Apartments, LLC

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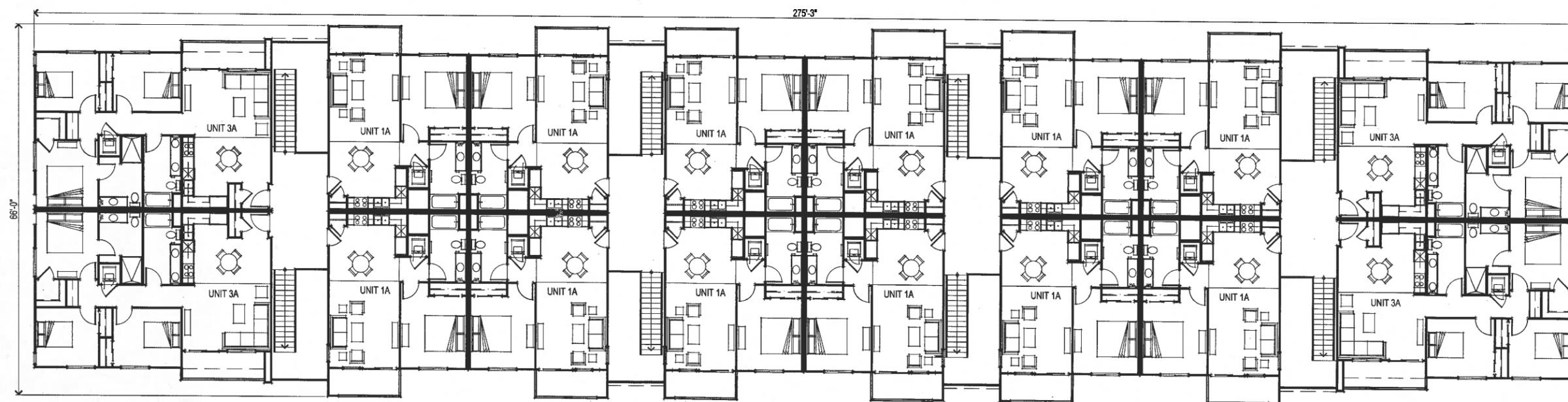
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ROOF PLAN



THIRD FLOOR PLAN

BUILDING A1 - THIRD FLOOR AND ROOF PLANS

A7

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 Contra Costa County, CA
 November 17, 2015

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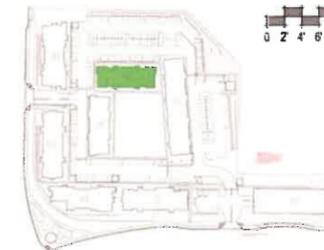
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FRONT & REAR ELEVATIONS



RIGHT & LEFT ELEVATIONS



Baypoint Family Apartments
 Contra Costa County, CA
 November 17, 2015

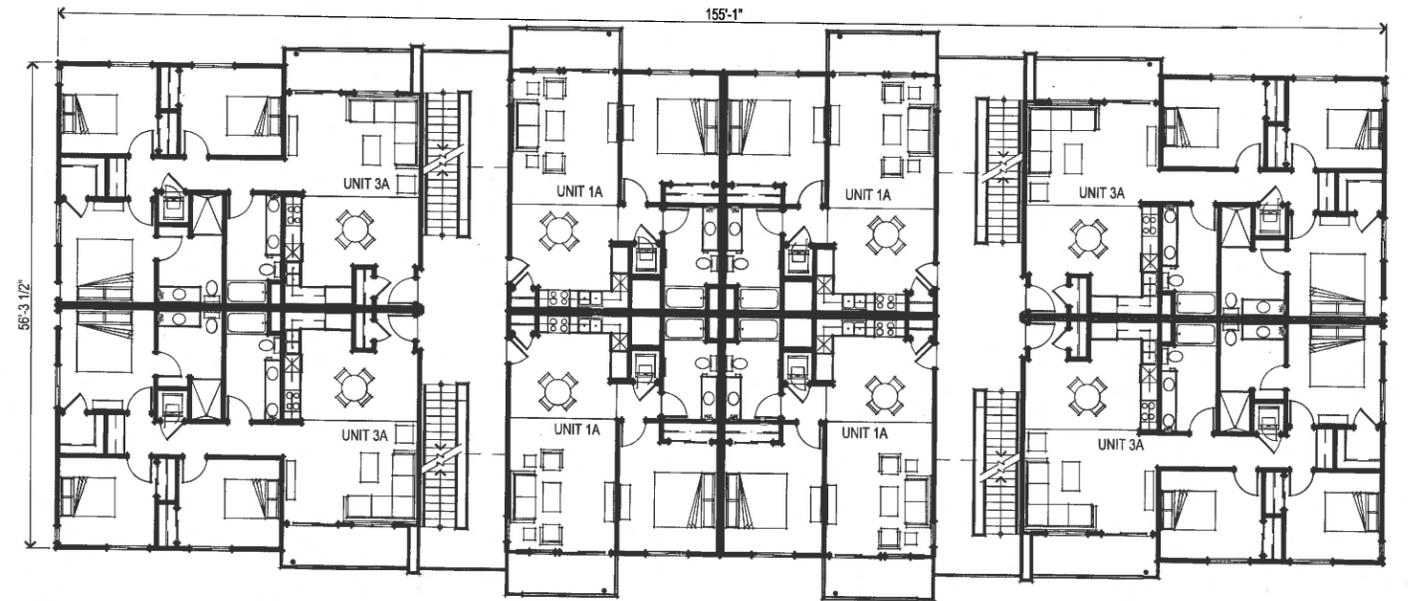
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BUILDING A2 - ELEVATIONS
 A8

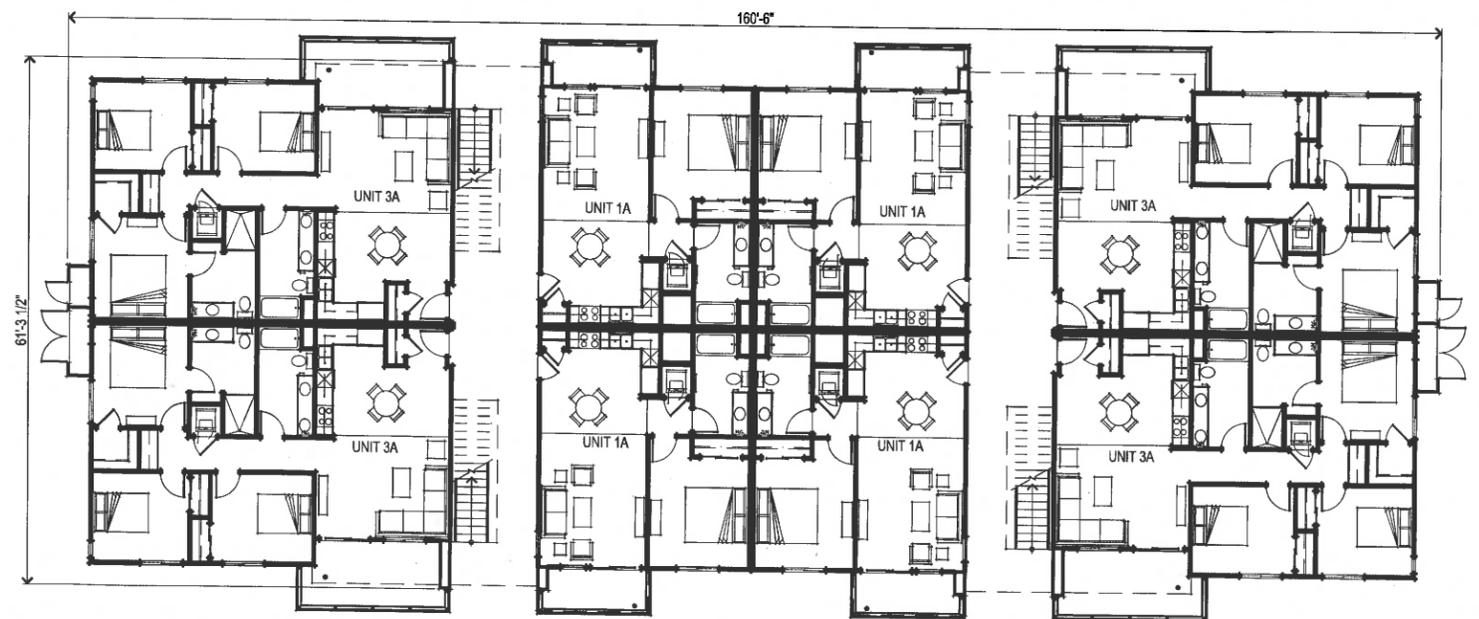
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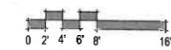
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SECOND FLOOR PLAN



FIRST FLOOR PLAN



| SQUARE FOOTAGES | |
|-----------------|---------------|
| TOTAL LIVING | 22128 SQ. FT. |
| TOTAL DECK | 1656 SQ. FT. |
| TOTAL COMMON | 3038 SQ. FT. |
| TOTAL UTILITY | 78 SQ. FT. |
| TOTAL | 26900 SQ. FT. |

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 Contra Costa County, CA
 November 17, 2015

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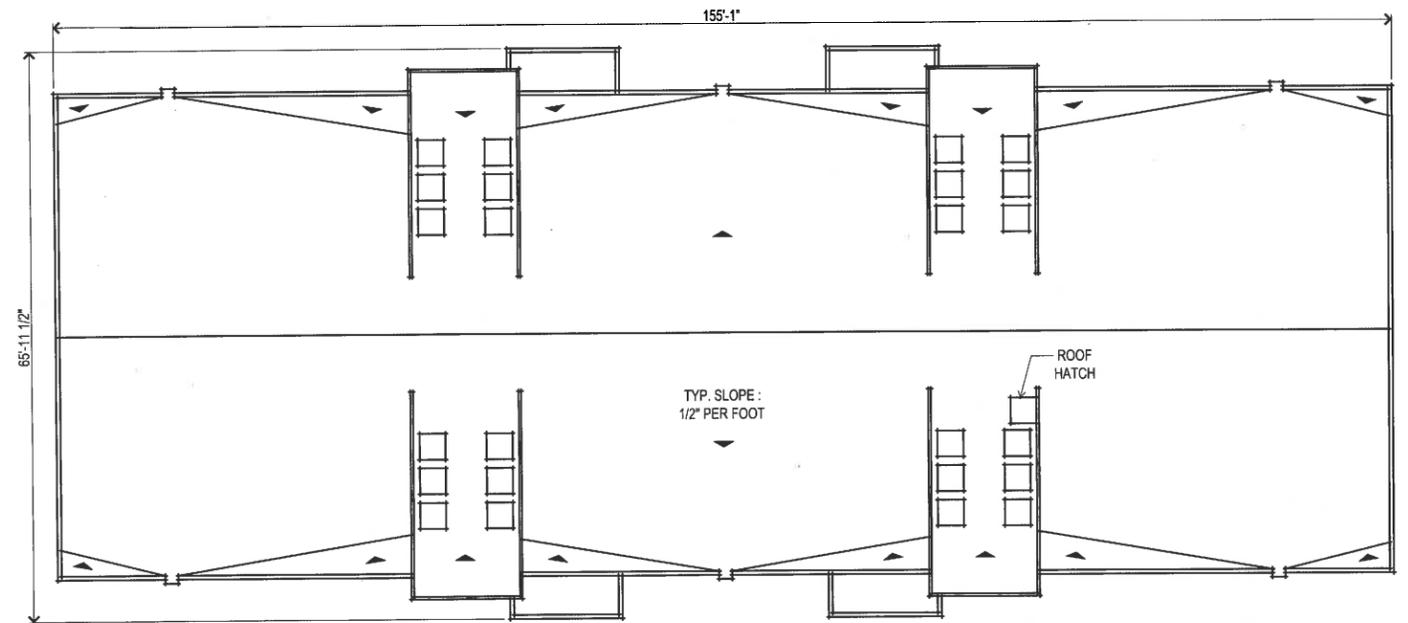
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BUILDING A2 - FIRST AND SECOND FLOOR PLANS

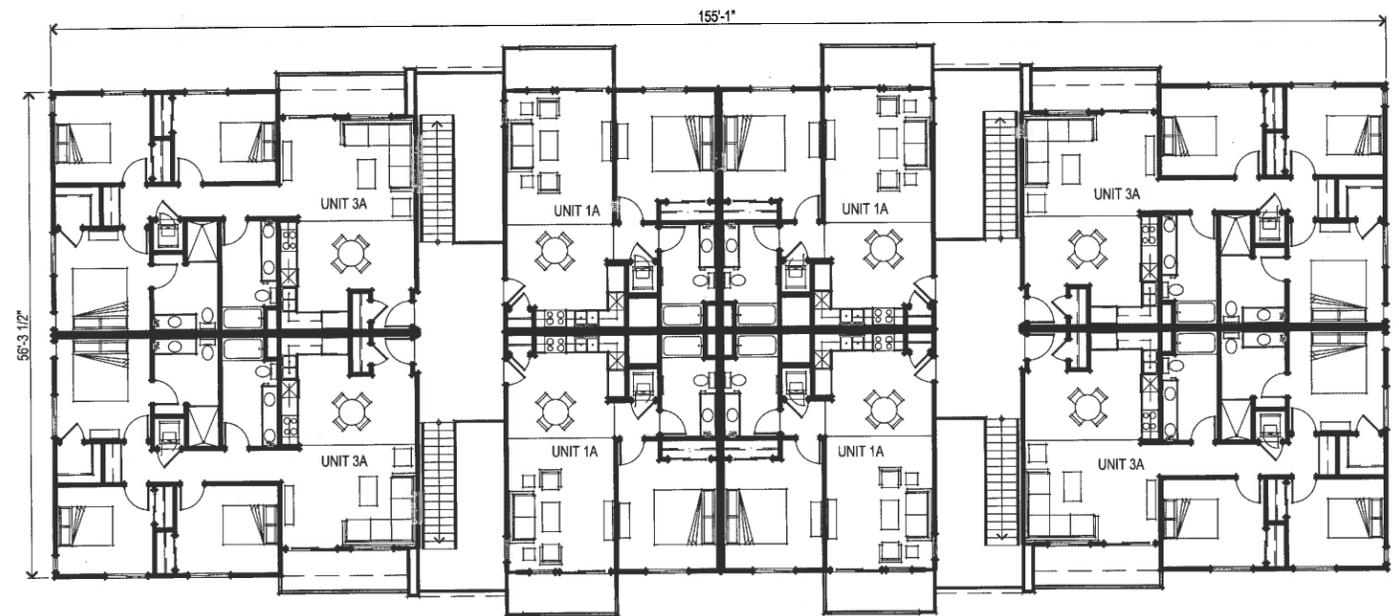
A9

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ROOF PLAN



0 2 4 6 8 16' THIRD FLOOR PLAN

BUILDING A2 - THIRD FLOOR AND ROOF PLANS

A10

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 November 17, 2015

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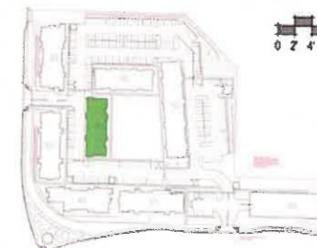
FRONT ELEVATION



SIDE ELEVATIONS



REAR ELEVATION



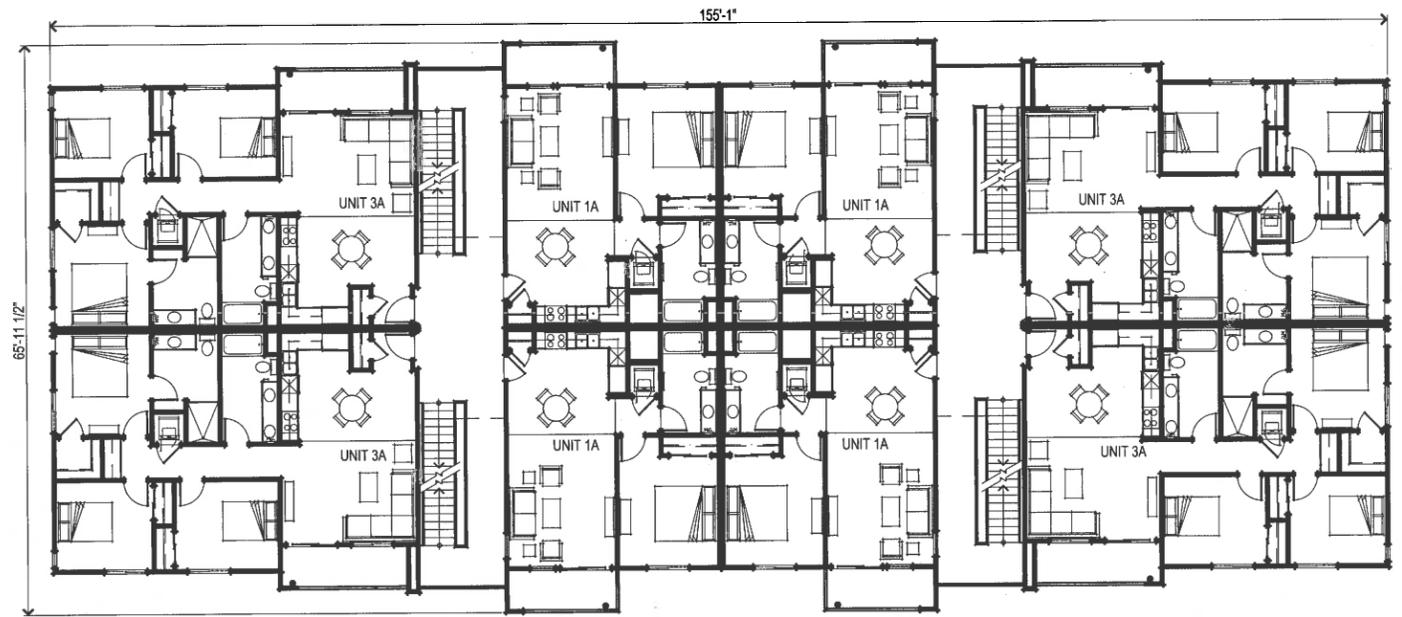
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 November 17, 2015

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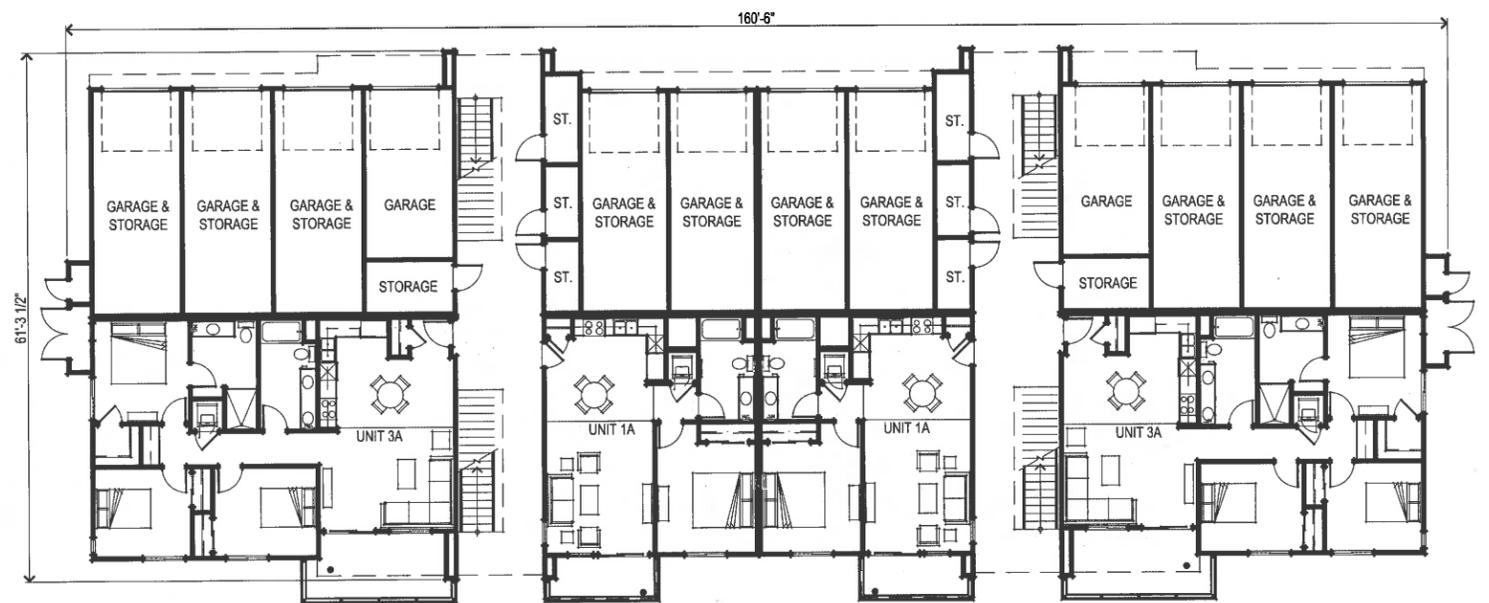
BUILDING A3 - ELEVATIONS
 A11

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SECOND FLOOR PLAN



FIRST FLOOR PLAN

| SQUARE FOOTAGES | |
|-----------------|---------------|
| TOTAL LIVING | 18440 SQ. FT. |
| TOTAL DECK | 1380 SQ. FT. |
| TOTAL COMMON | 3034 SQ. FT. |
| TOTAL GARAGE | 3172 SQ. FT. |
| TOTAL STORAGE | 398 SQ. FT. |
| TOTAL UTILITY | 78 SQ. FT. |
| TOTAL | 26502 SQ. FT. |

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 November 17, 2015

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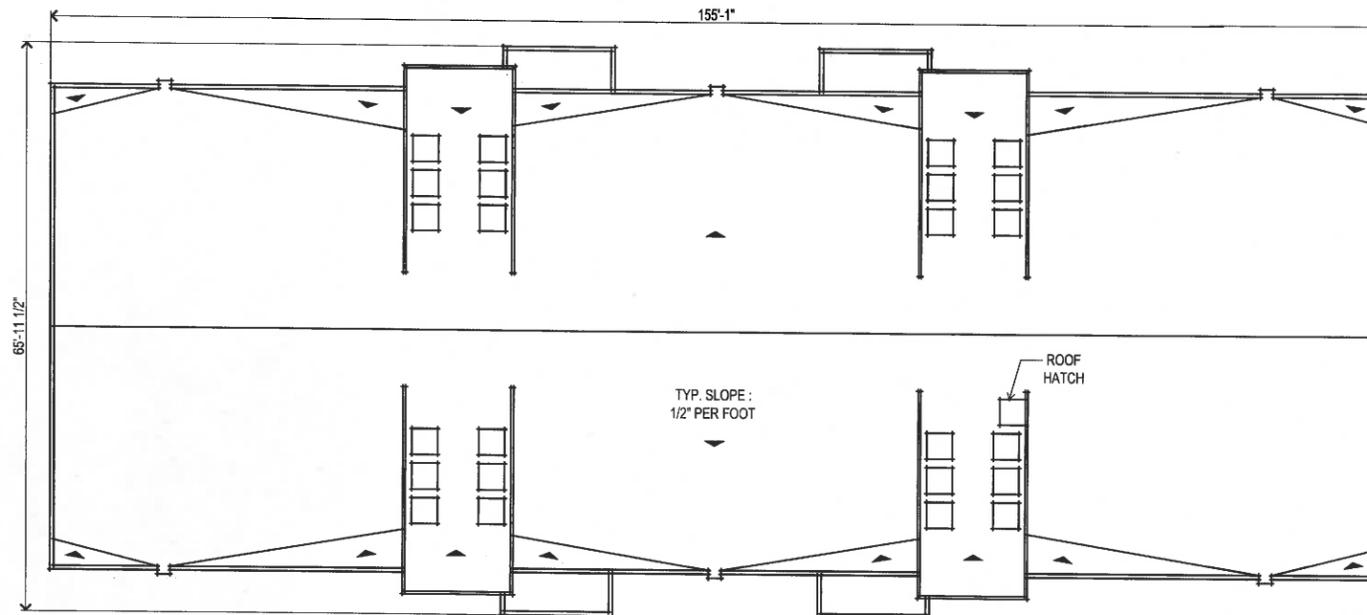
BUILDING A3 - FIRST AND SECOND FLOOR PLANS

A12

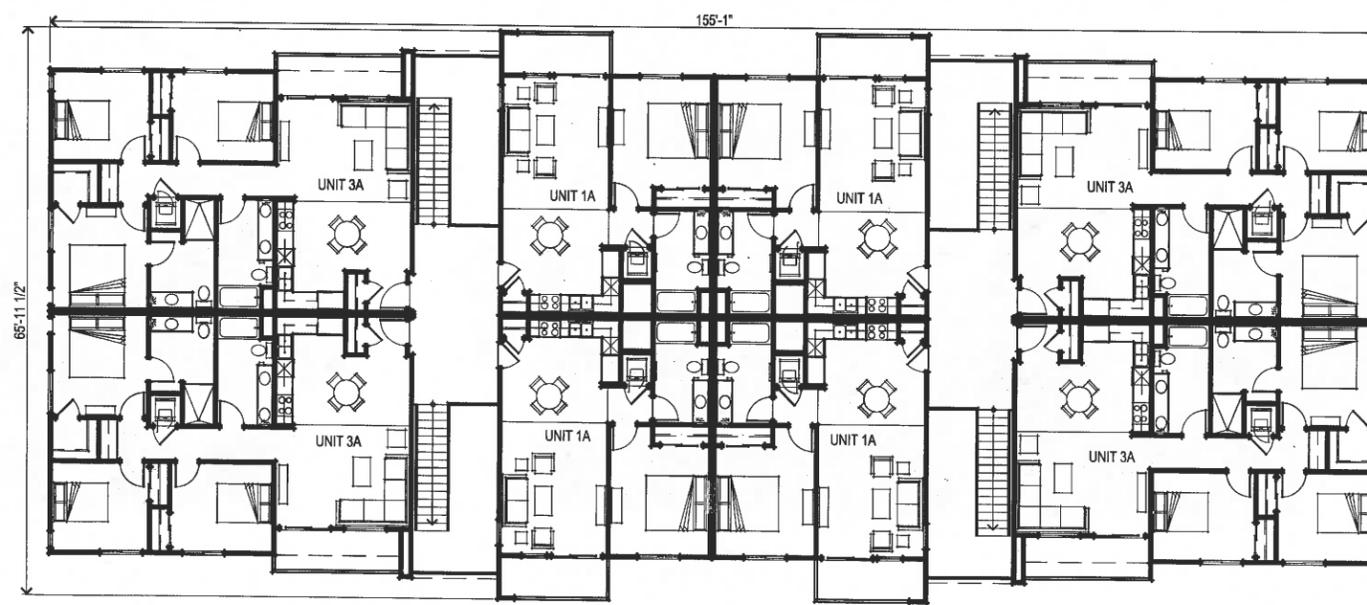
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ROOF PLAN



THIRD FLOOR PLAN

BUILDING A3 - THIRD FLOOR AND ROOF PLANS

A13

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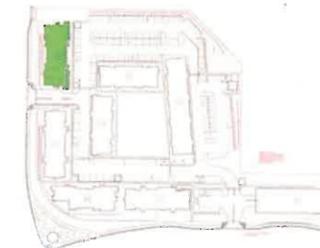




FRONT ELEVATION



SIDE ELEVATION



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 November 17, 2015

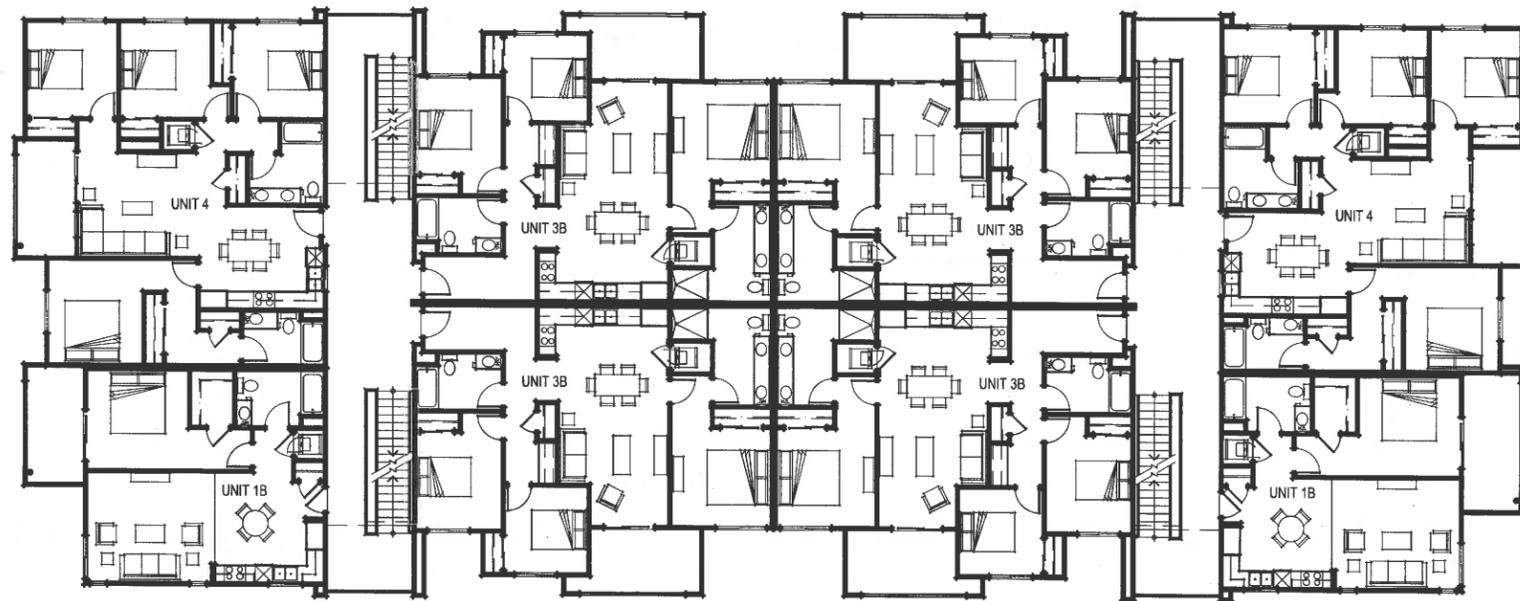
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BUILDING B1 - ELEVATIONS
 A14

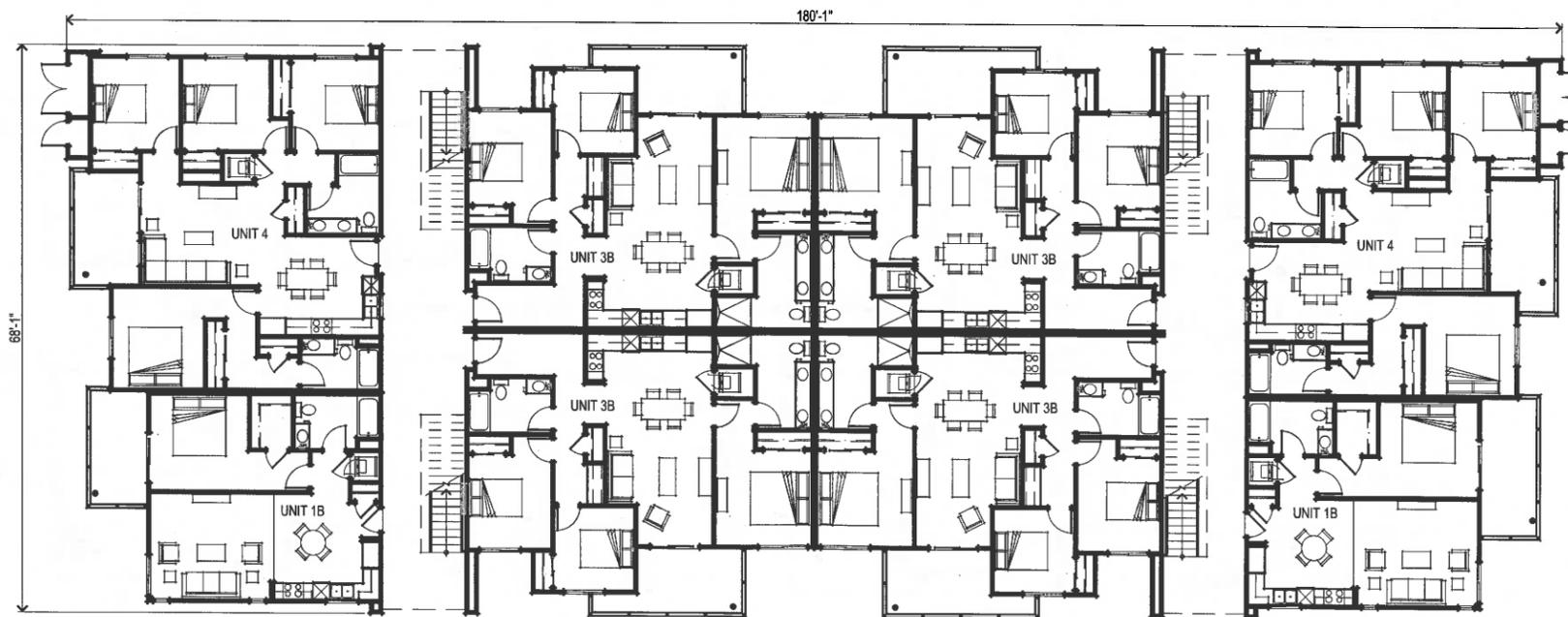
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SECOND FLOOR PLAN



FIRST FLOOR PLAN



| SQUARE FOOTAGES | |
|-----------------|----------------------|
| TOTAL LIVING | 26028 SQ. FT. |
| TOTAL DECK | 2616 SQ. FT. |
| TOTAL COMMON | 3296 SQ. FT. |
| TOTAL UTILITY | 76 SQ. FT. |
| TOTAL | 32016 SQ. FT. |

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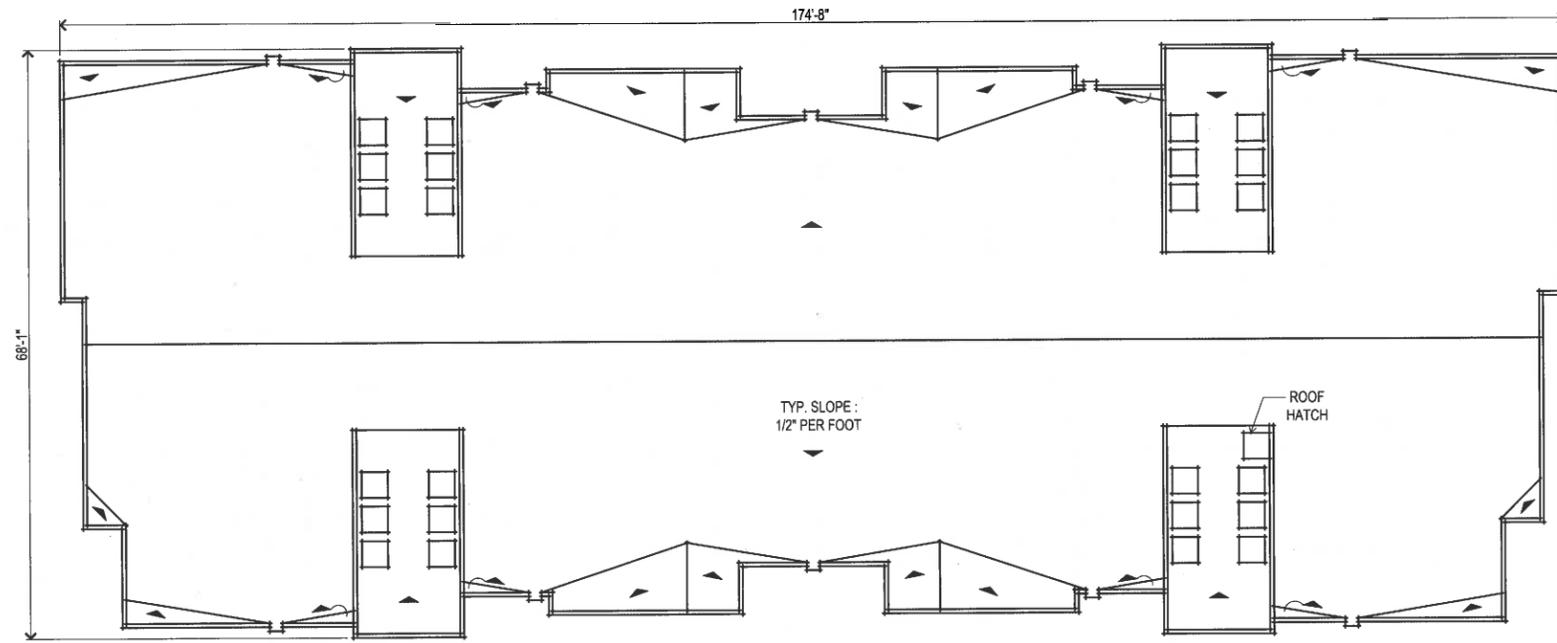
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BUILDING B1 - FIRST AND SECOND FLOOR PLANS
 A15

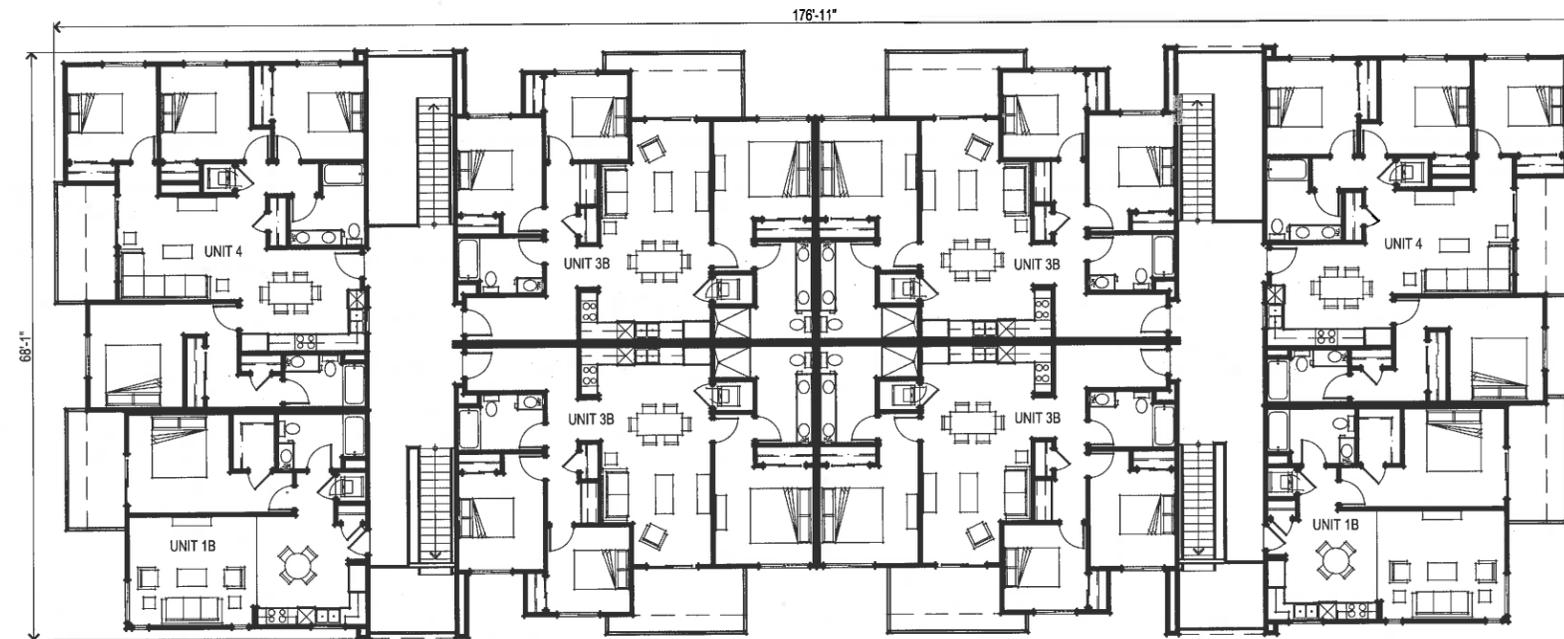
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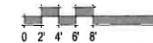
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ROOF PLAN



THIRD FLOOR PLAN





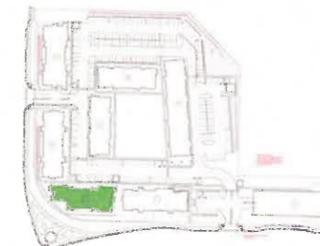
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



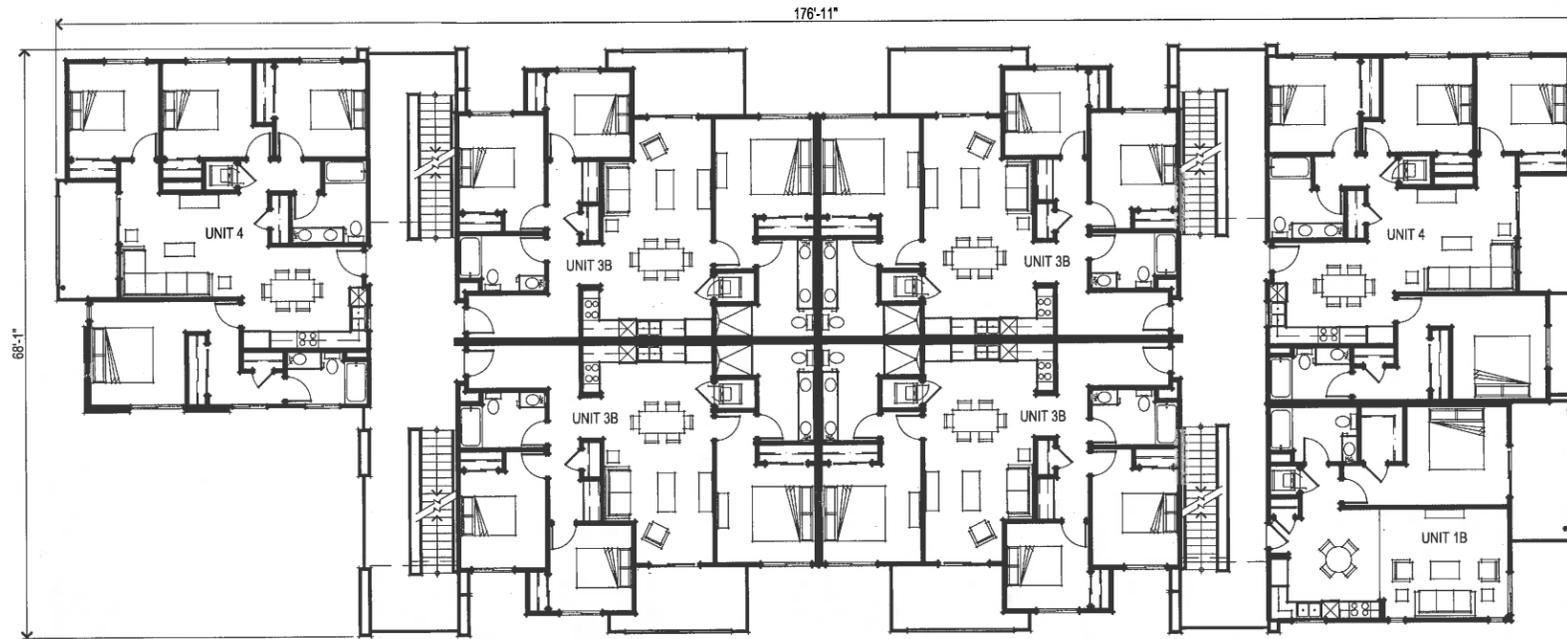
Baypoint Family Apartments
 Contra Costa County, CA
 November 17, 2015

Baypoint Family Apartments, LLC
 1640 S. Sepulveda Blvd., Suite 425, Los Angeles, CA 90025
 310.575.3543

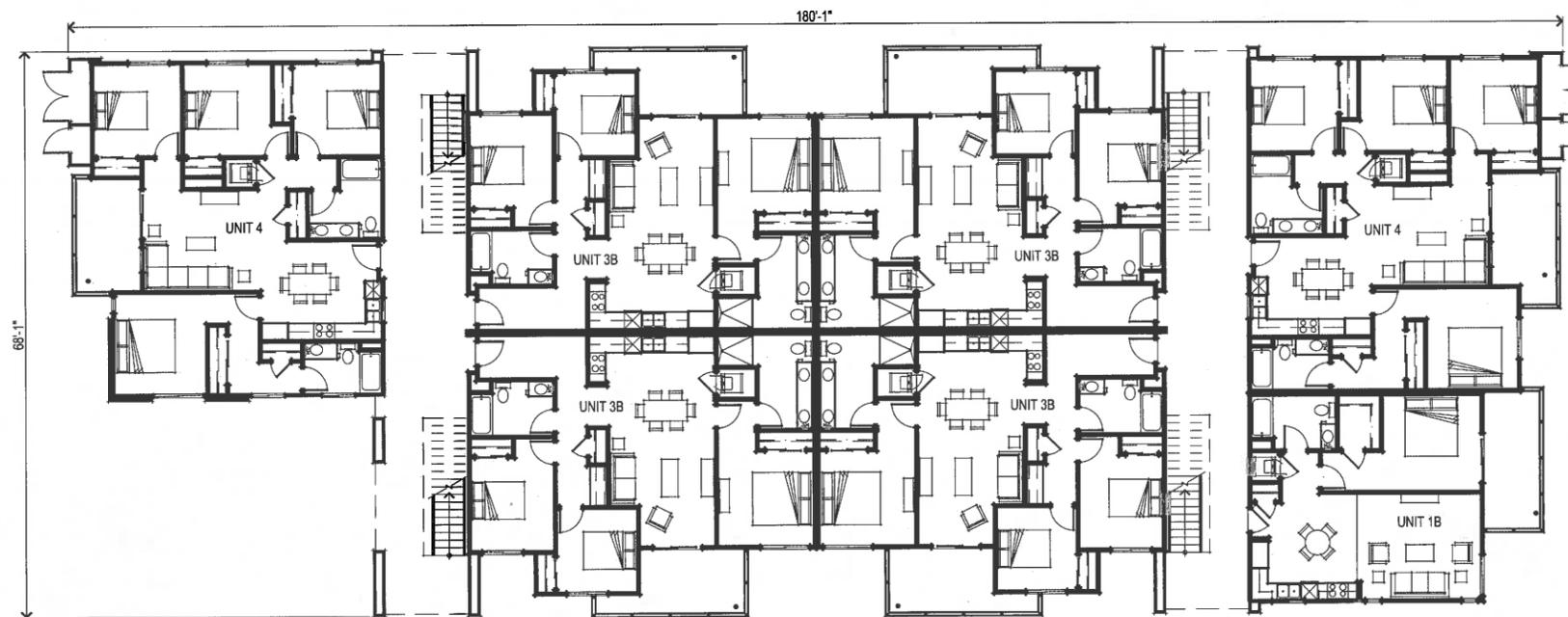
BUILDING B2 - ELEVATIONS
 A17

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
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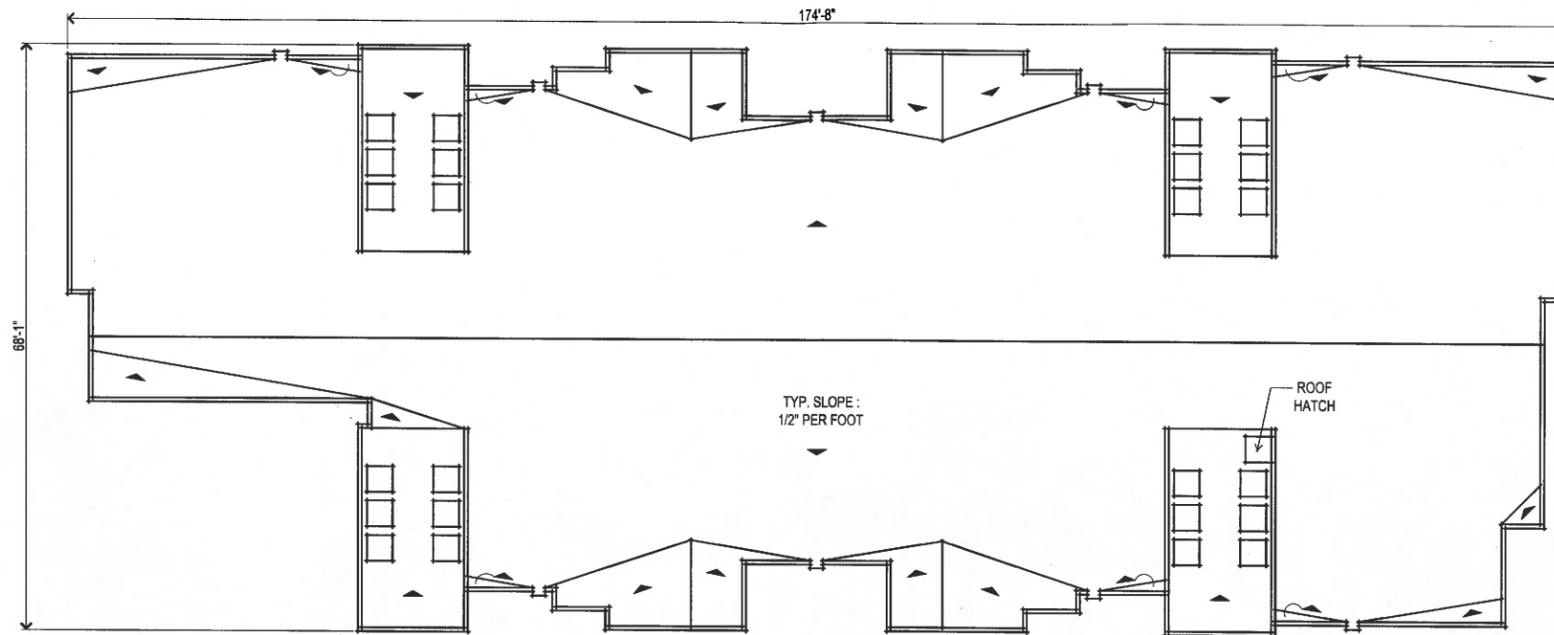
SECOND FLOOR PLAN



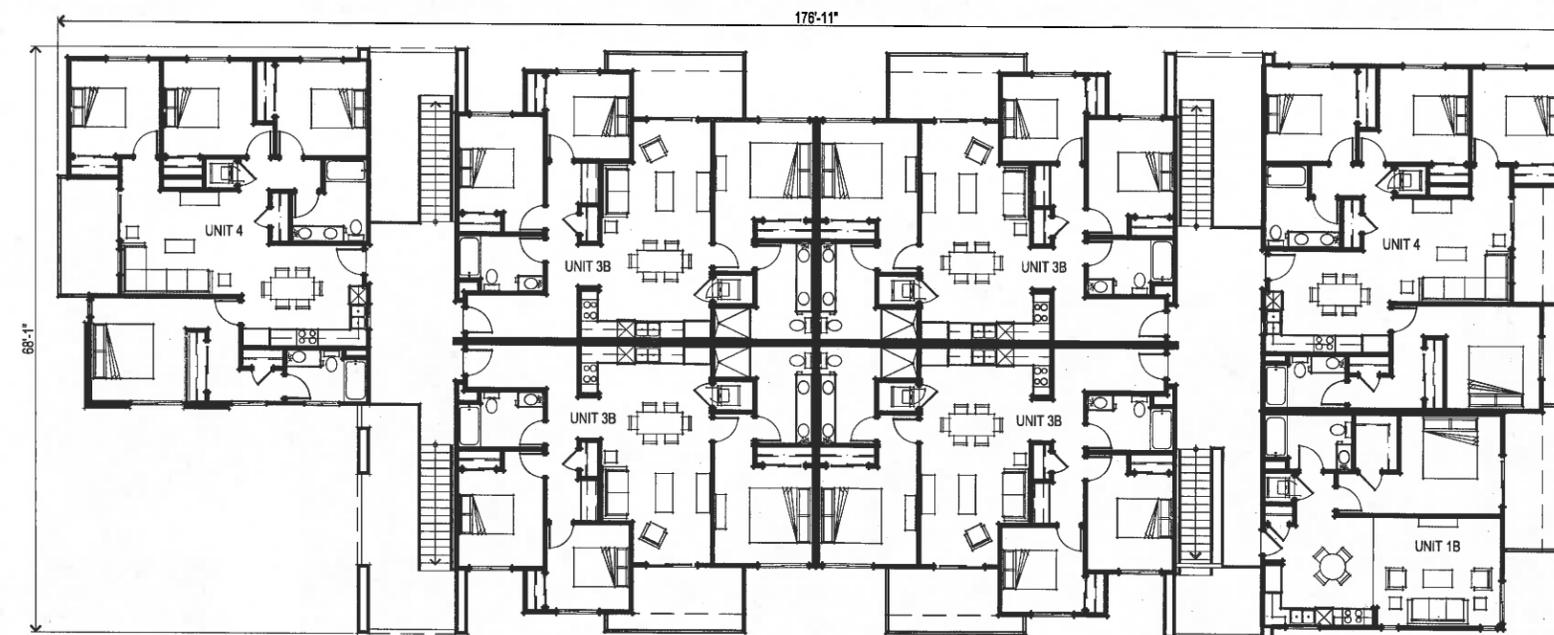
FIRST FLOOR PLAN



| SQUARE FOOTAGES | |
|-----------------|---------------|
| TOTAL LIVING | 23892 SQ. FT. |
| TOTAL DECK | 2250 SQ. FT. |
| TOTAL COMMON | 3254 SQ. FT. |
| TOTAL UTILITY | 76 SQ. FT. |
| TOTAL | 29477 SQ. FT. |



ROOF PLAN



THIRD FLOOR PLAN

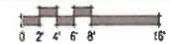




FRONT ELEVATION



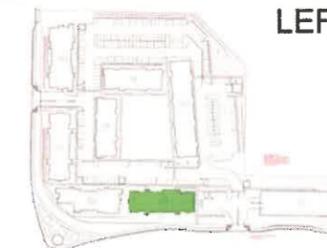
RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION



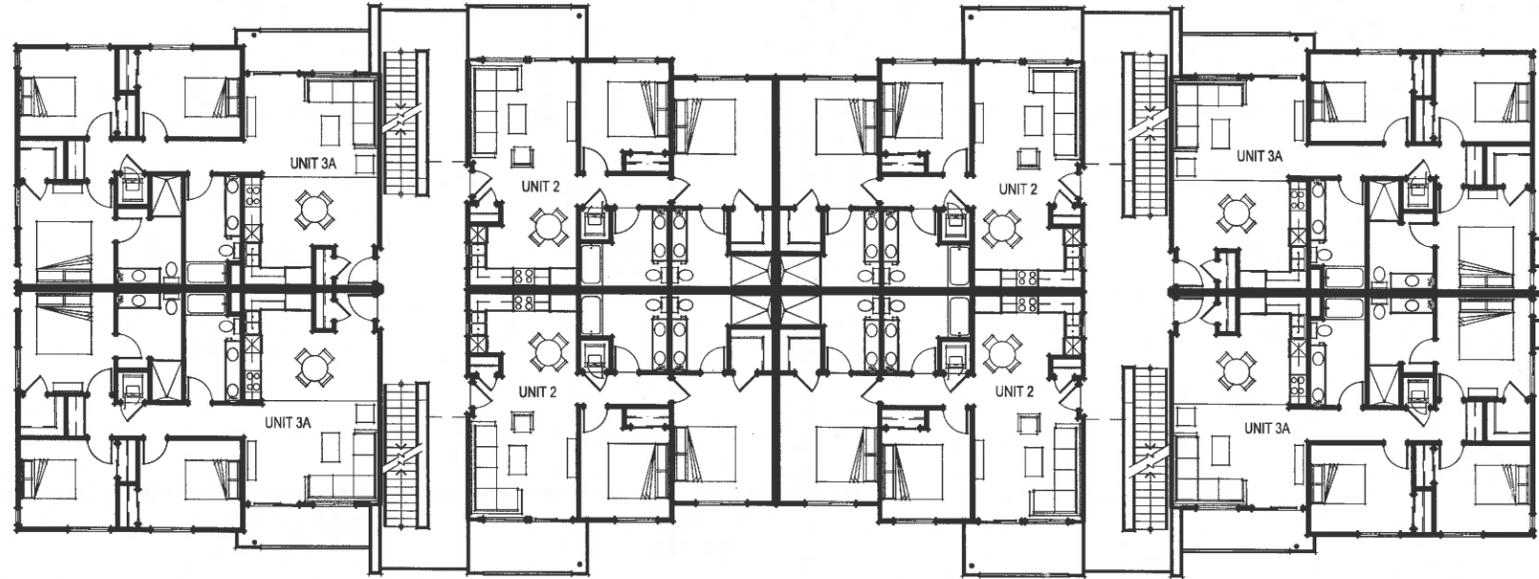
BUILDING C1 - ELEVATIONS
A20

Baypoint Family Apartments
Contra Costa County, CA
November 17, 2015

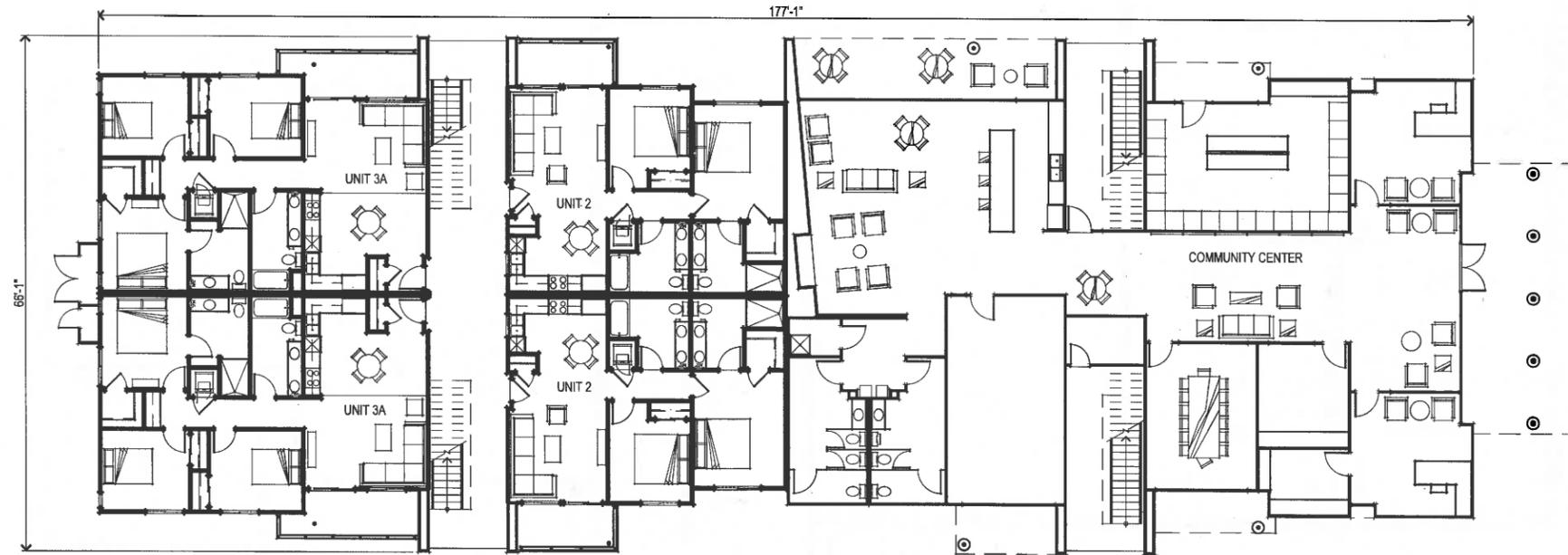
Baypoint Family Apartments, LLC
1640 S. Sepulveda Blvd., Suite 425, Los Angeles, CA 90025
310.575.3543

3361 Walnut Blvd, Suite 120 Brentwood, CA 94513
925.634.7000
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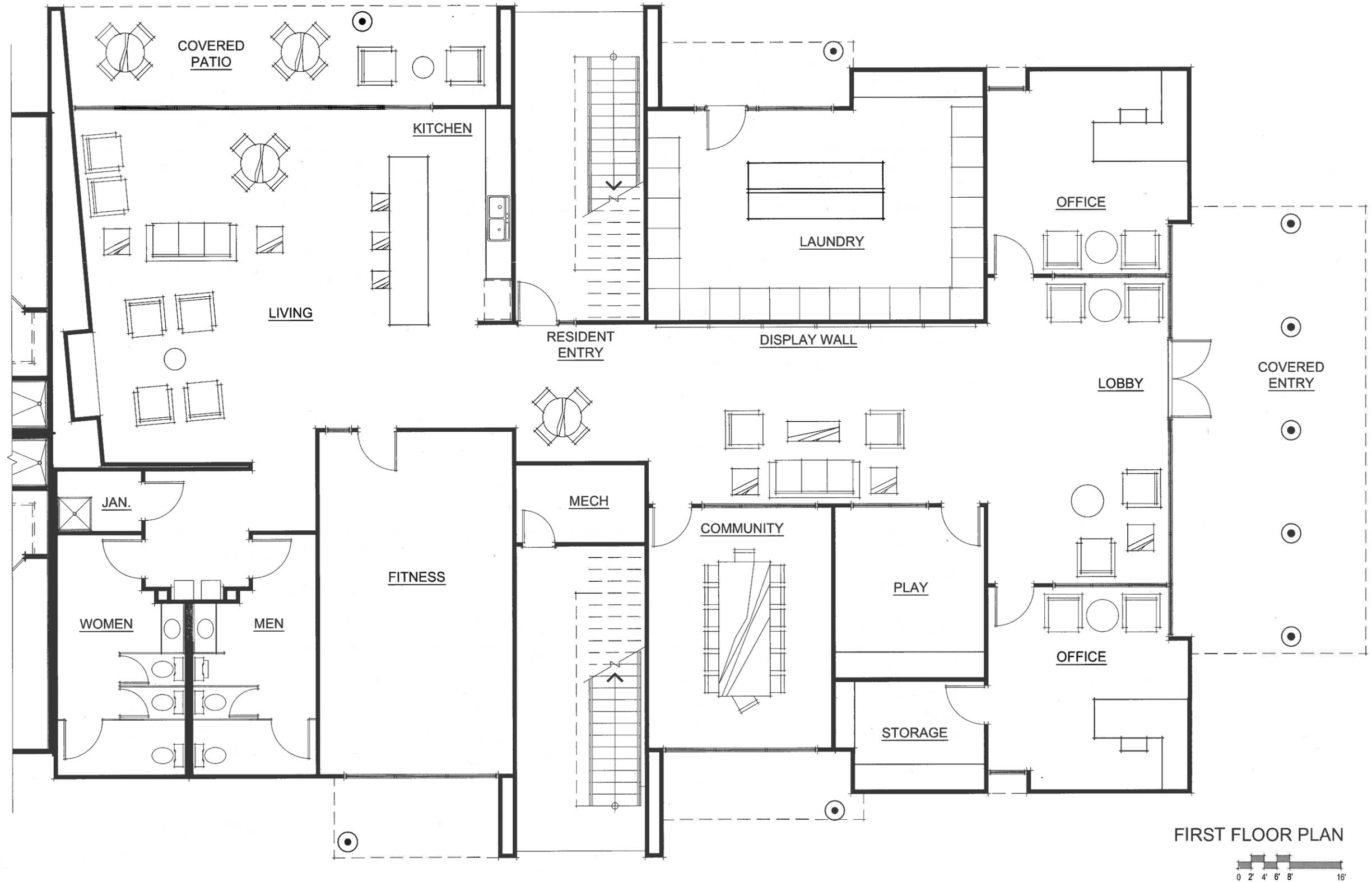


SECOND FLOOR PLAN

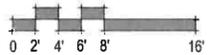


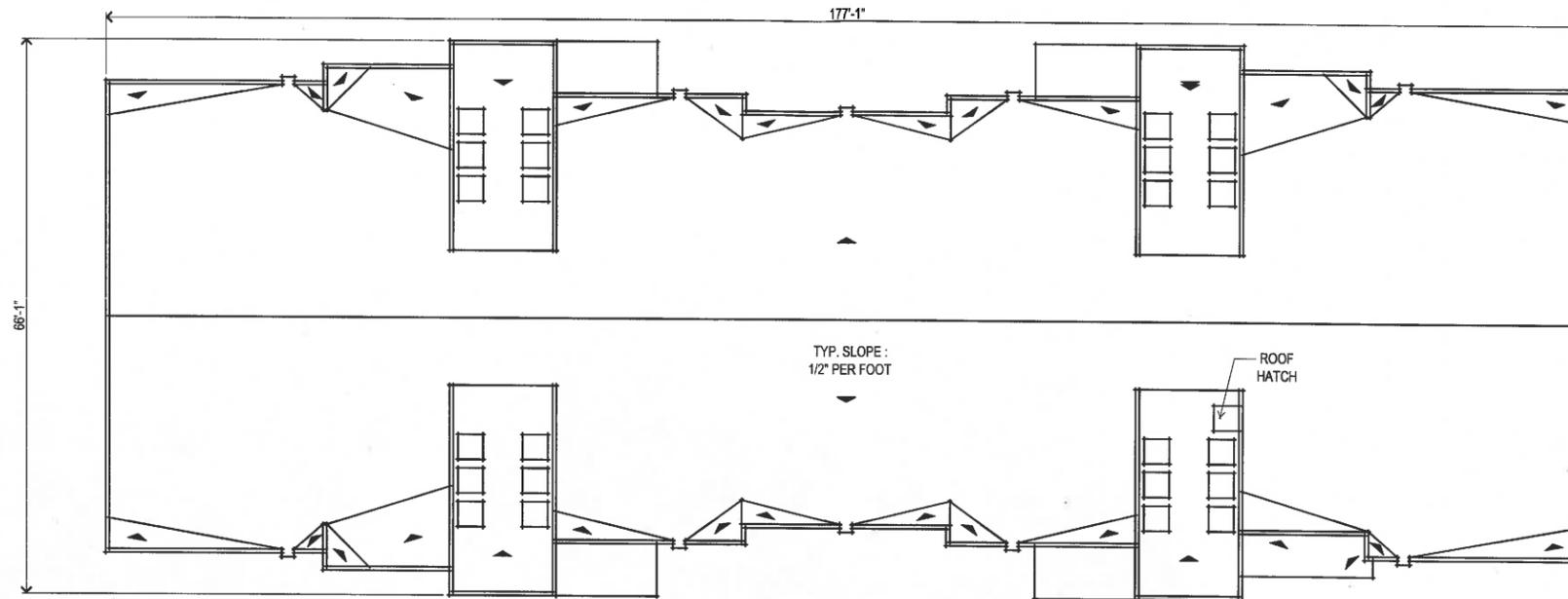
FIRST FLOOR PLAN

| SQUARE FOOTAGES | |
|------------------|----------------------|
| TOTAL LIVING | 20920 SQ. FT. |
| TOTAL DECK | 1420 SQ. FT. |
| TOTAL COMMON | 2862 SQ. FT. |
| COMMUNITY CENTER | 4291 SQ. FT. |
| TOTAL UTILITY | 70 SQ. FT. |
| TOTAL | 29463 SQ. FT. |

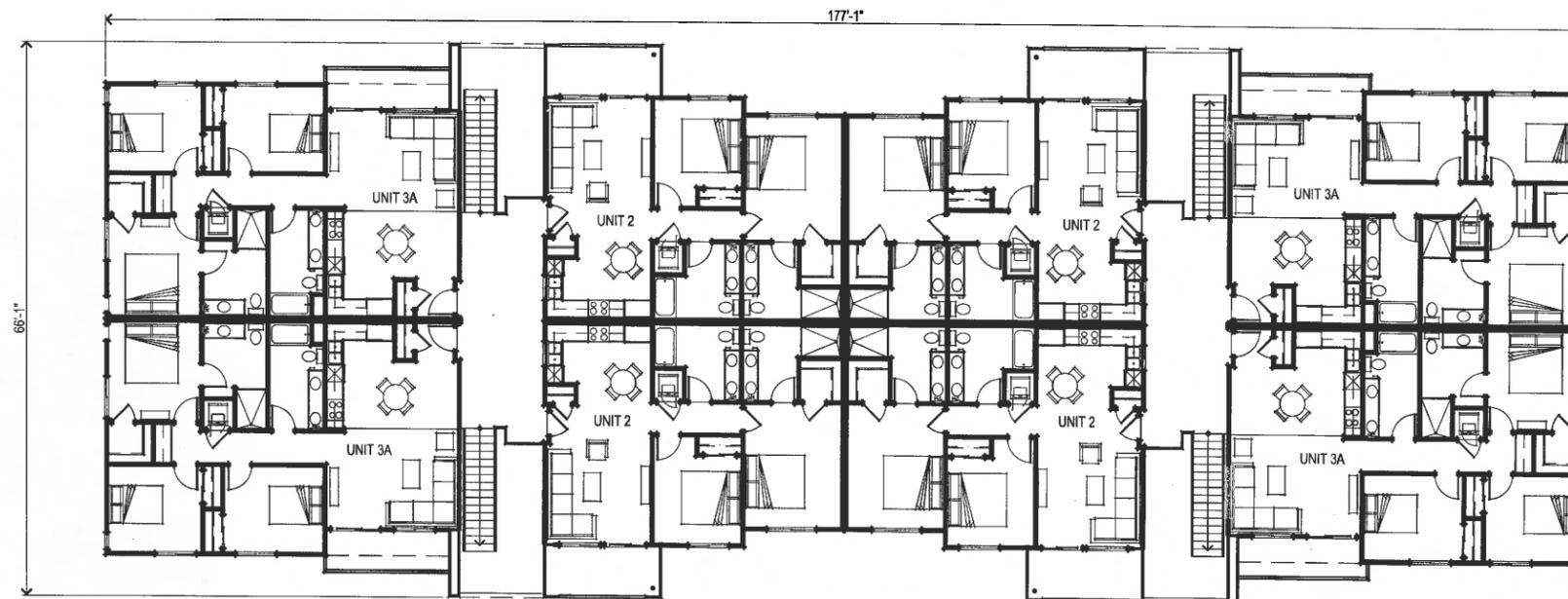


FIRST FLOOR PLAN





ROOF PLAN



THIRD FLOOR PLAN

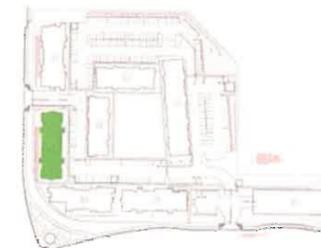




FRONT & REAR ELEVATION



0 2 4 6 8 16" SIDE ELEVATION



BUILDING C2 - ELEVATIONS
A24

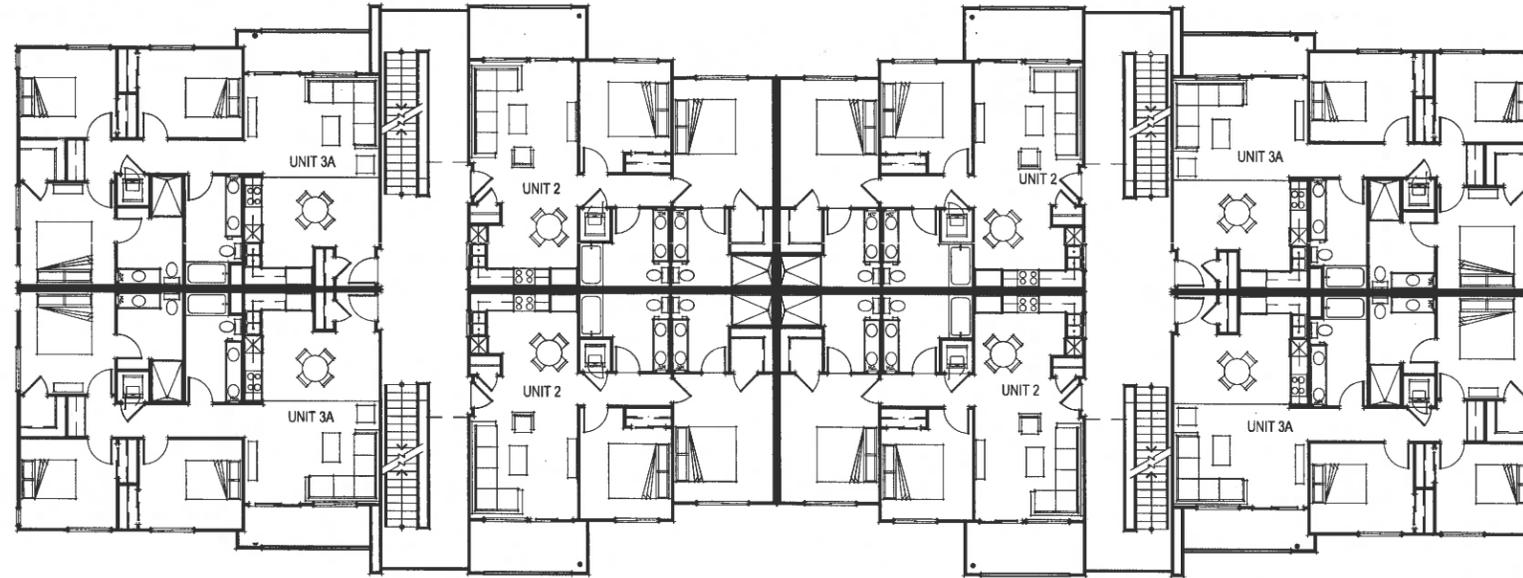
Baypoint Family Apartments
Contra Costa County, CA
November 17, 2015

Baypoint Family Apartments, LLC
1640 S. Sepulveda Blvd., Suite 425, Los Angeles, CA 90025
310.575.3543

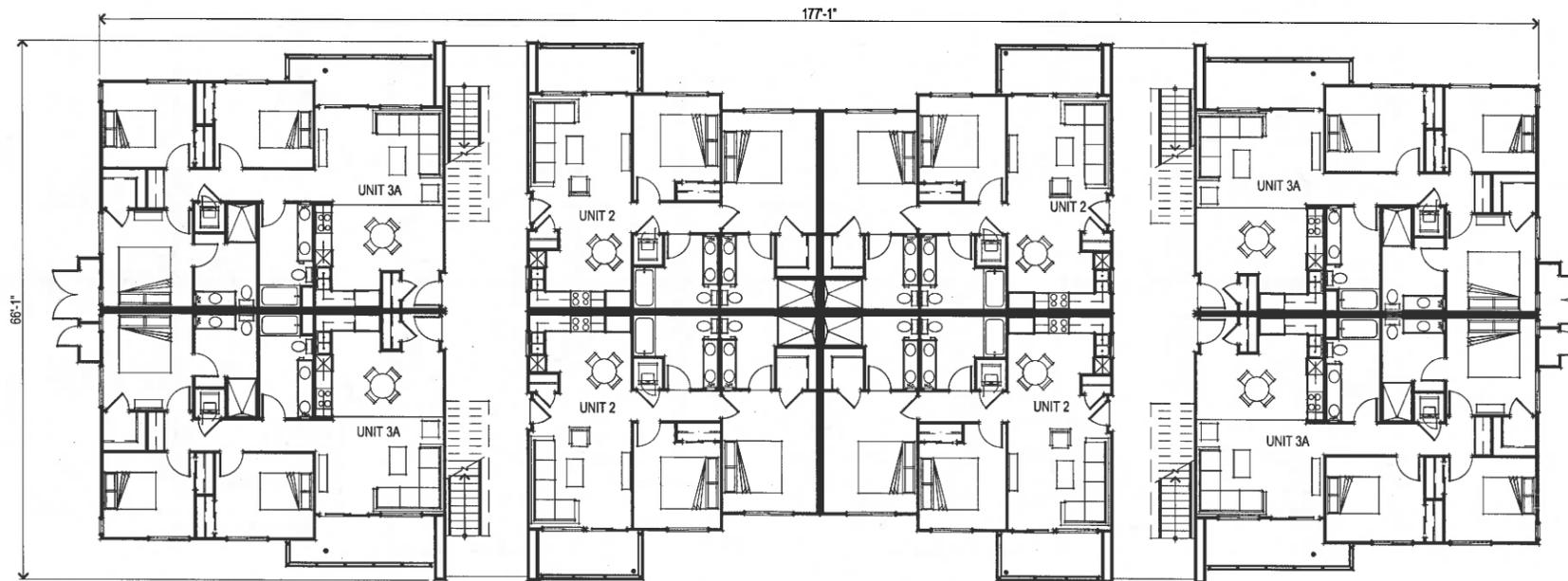
3361 Walnut Blvd., Suite 120 Brentwood, CA 94513
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SDG Architects, Inc.



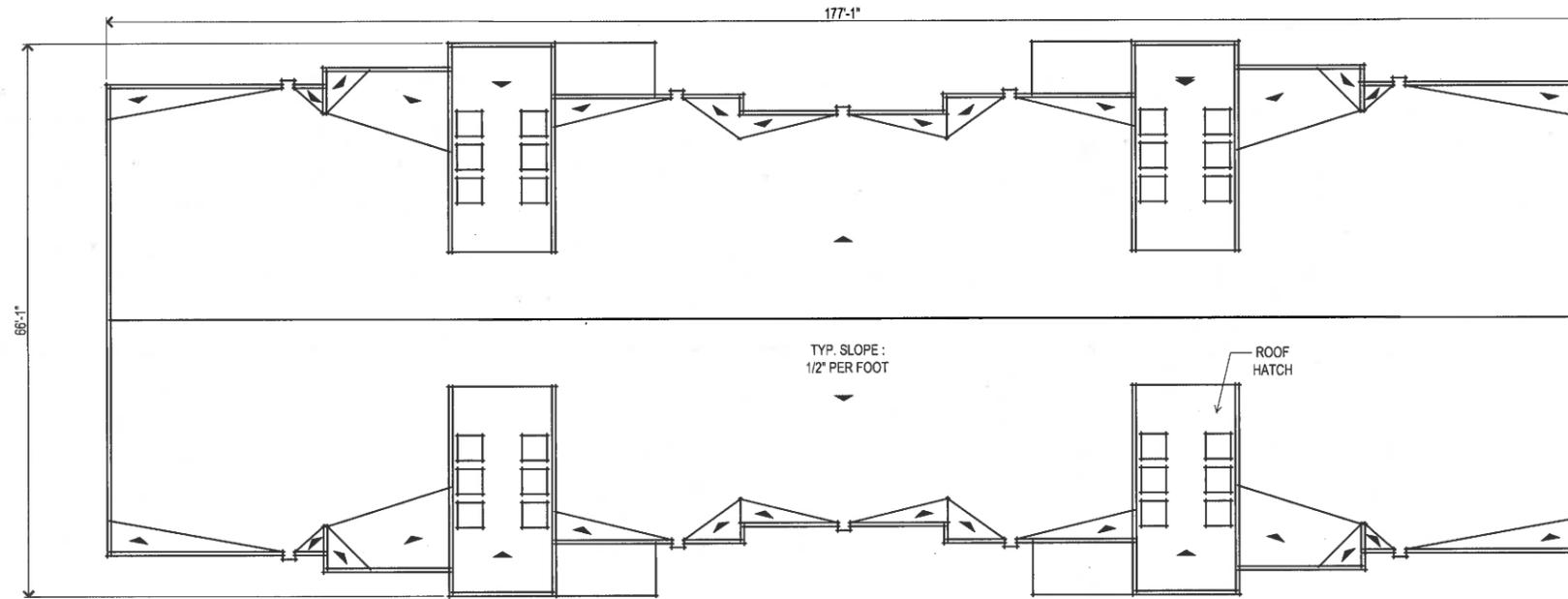
SECOND FLOOR PLAN



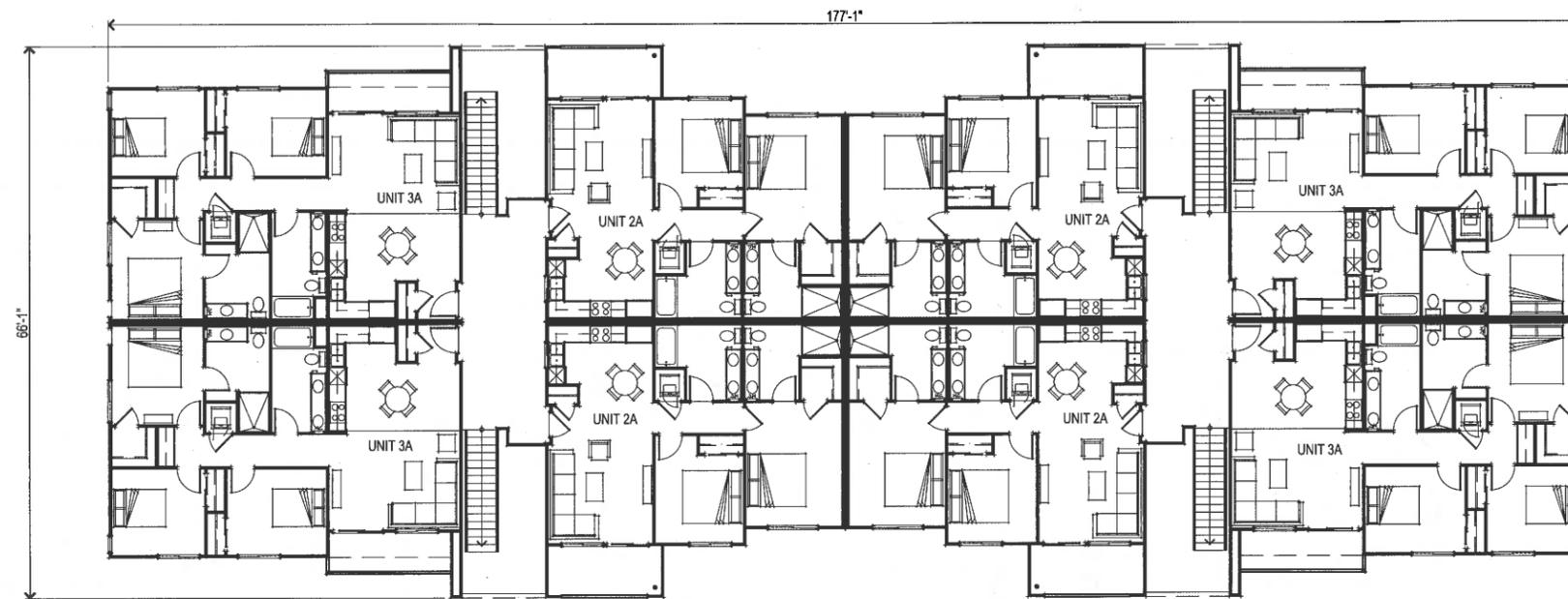
FIRST FLOOR PLAN



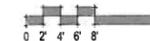
| SQUARE FOOTAGES | |
|-----------------|---------------|
| TOTAL LIVING | 24984 SQ. FT. |
| TOTAL DECK | 1704 SQ. FT. |
| TOTAL COMMON | 3092 SQ. FT. |
| TOTAL UTILITY | 62 SQ. FT. |
| TOTAL | 29842 SQ. FT. |



ROOF PLAN



THIRD FLOOR PLAN





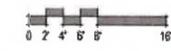
FRONT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION

Baypoint Family Apartments
 Contra Costa County, CA
 November 17, 2015

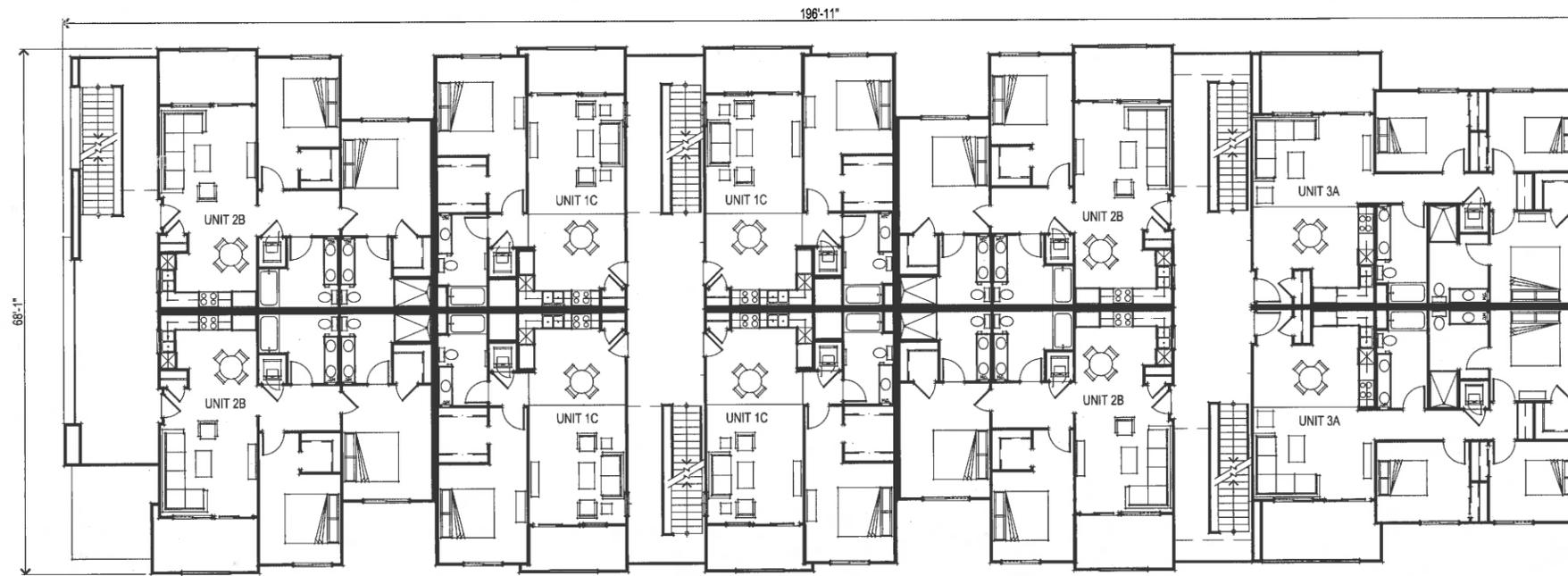
Baypoint Family Apartments, LLC
 1640 S. Sepulveda Blvd., Suite 425, Los Angeles, CA 90025
 310.575.3543

BUILDING D1 - ELEVATIONS
 A27

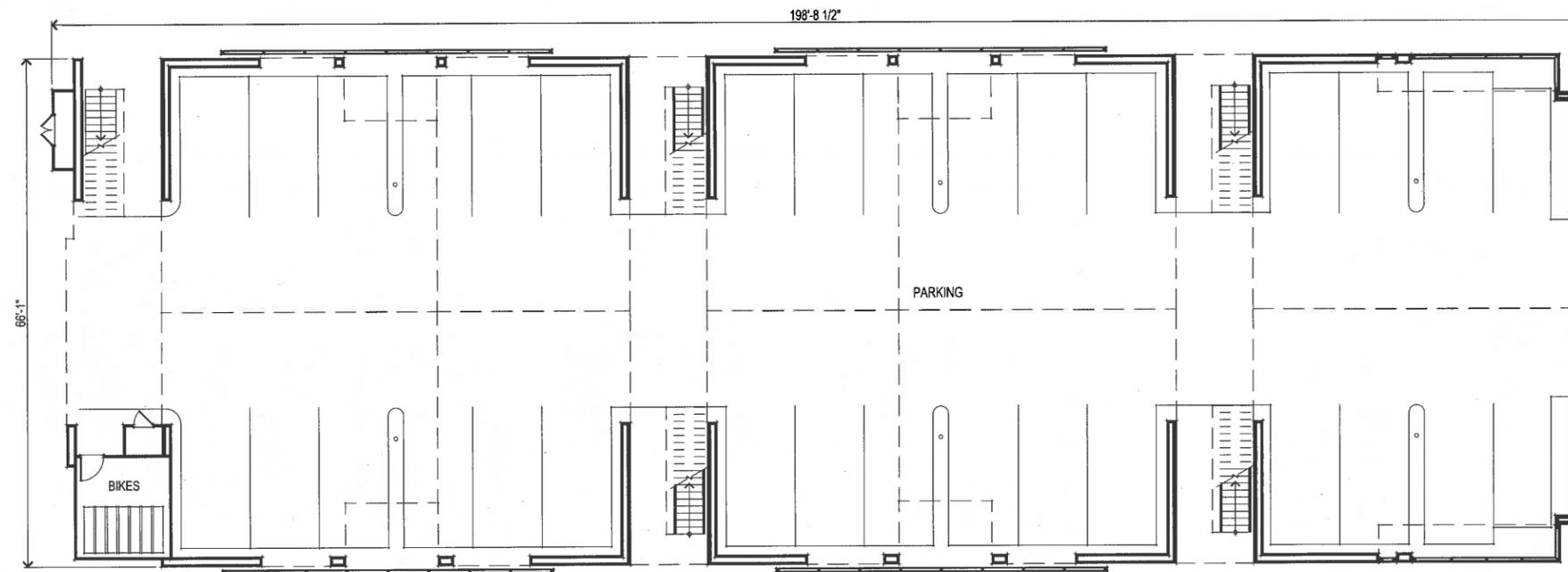
3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com



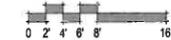
SDG Architects, Inc.



SECOND FLOOR PLAN



FIRST FLOOR PLAN



| SQUARE FOOTAGES | |
|--------------------|----------------------|
| TOTAL LIVING | 17680 SQ. FT. |
| TOTAL DECK | 1364 SQ. FT. |
| TOTAL COMMON | 3133 SQ. FT. |
| TOTAL BIKE STORAGE | 172 SQ. FT. |
| TOTAL UTILITY | 48 SQ. FT. |
| TOTAL | 22397 SQ. FT. |

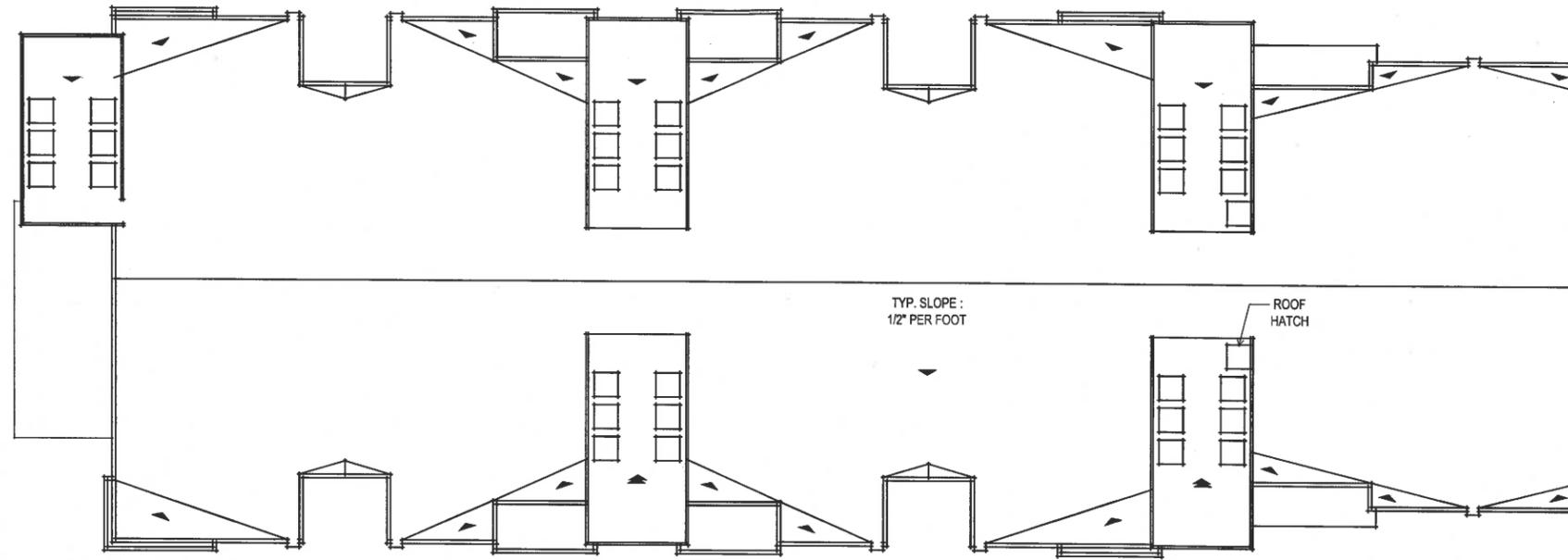
Baypoint Family Apartments
 Contra Costa County, CA
 November 17, 2015

BUILDING D1 - FIRST AND SECOND FLOOR PLANS
 A28

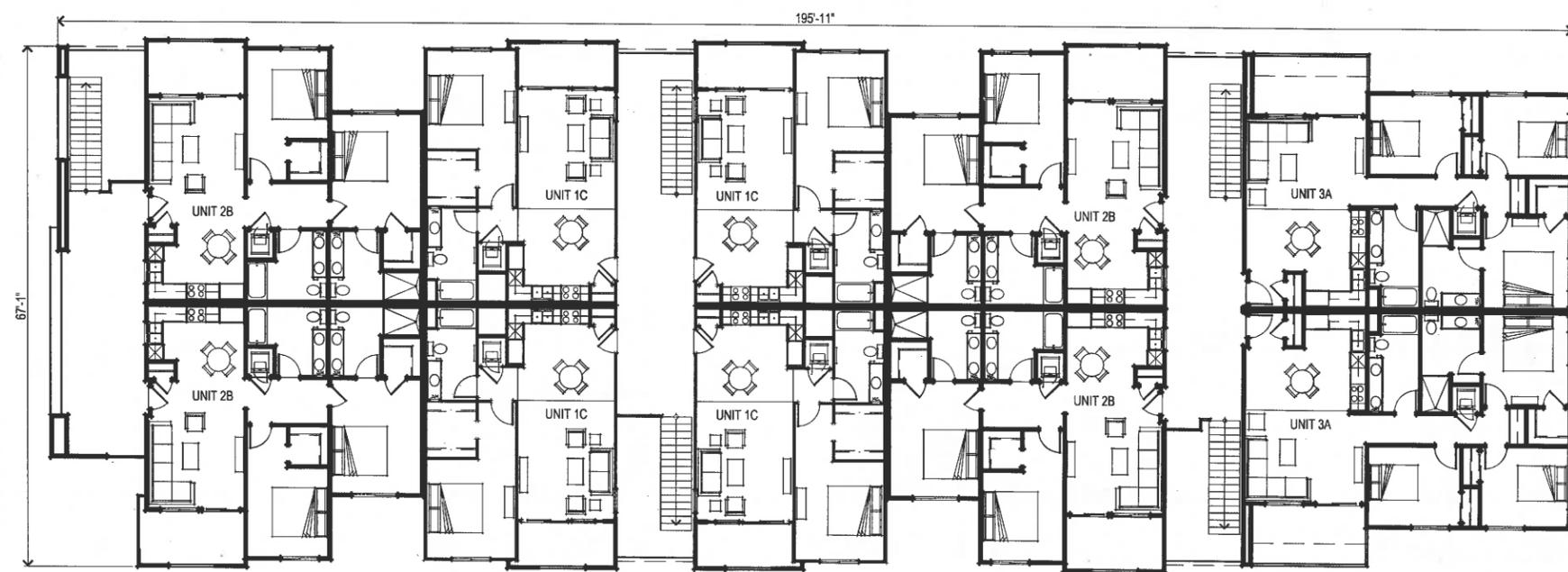
Baypoint Family Apartments, LLC
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 310.575.3543

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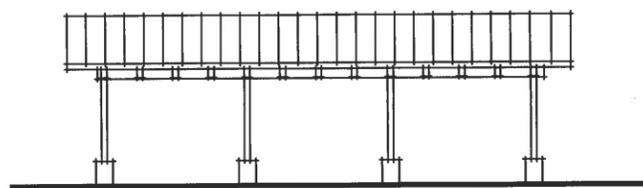


ROOF PLAN

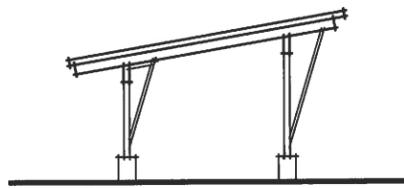


THIRD FLOOR PLAN

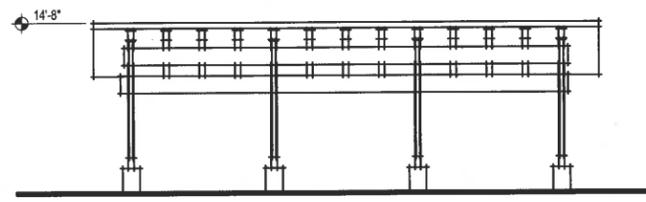




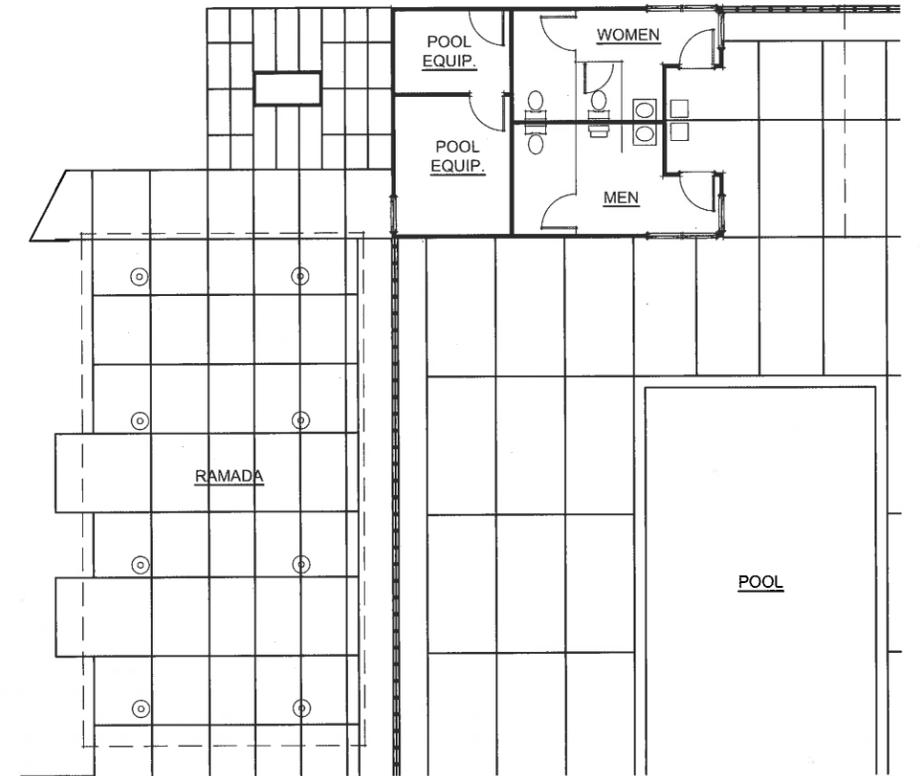
RIGHT ELEVATION



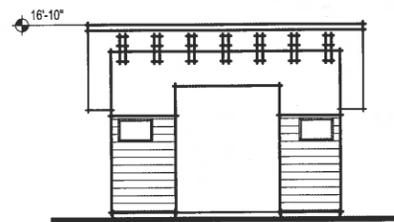
REAR ELEVATION



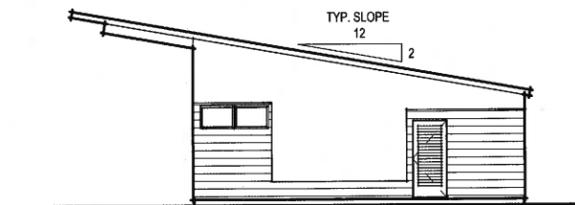
LEFT ELEVATION
RAMADA



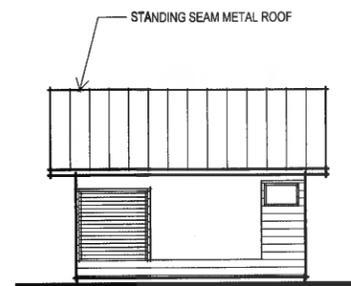
POOL BUILDING
& RAMADA
FLOOR PLANS



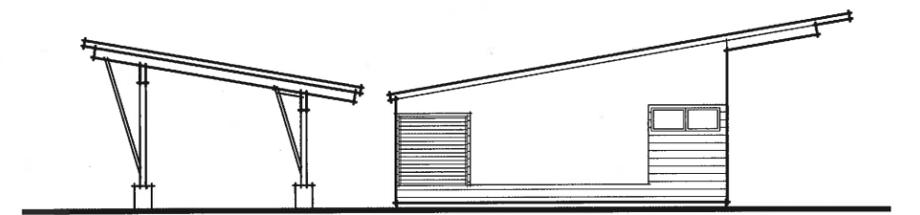
RIGHT ELEVATION



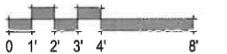
REAR ELEVATION

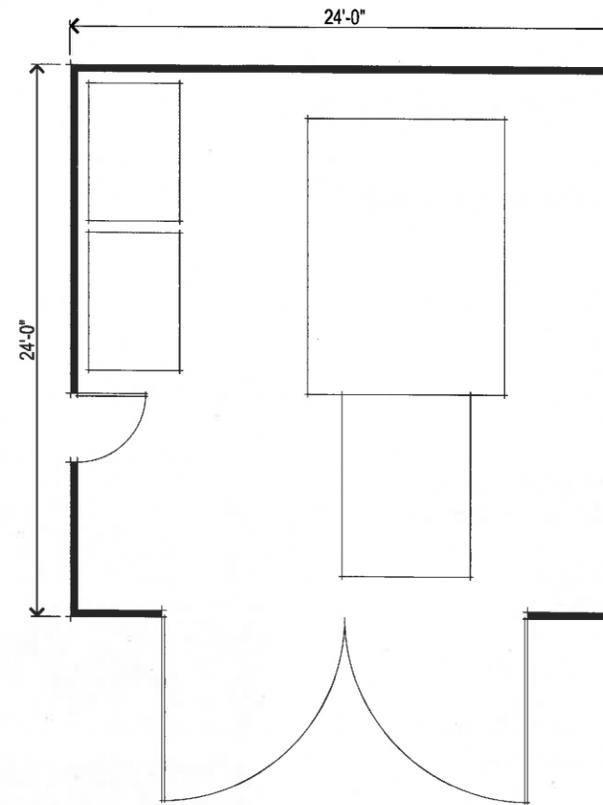


LEFT ELEVATION
POOL BUILDING

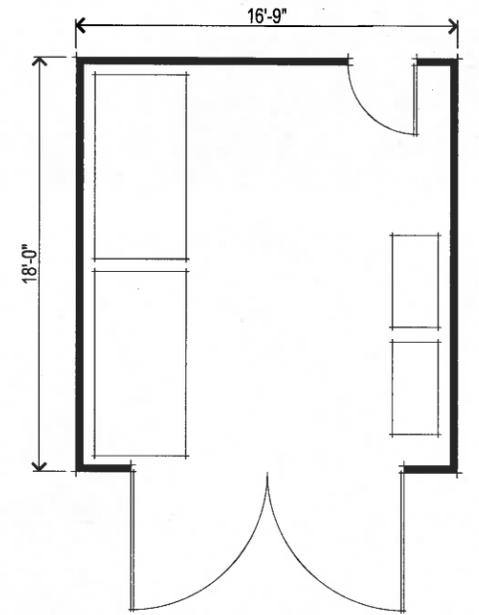


POOL BUILDING
& RAMADA
FRONT ELEVATION



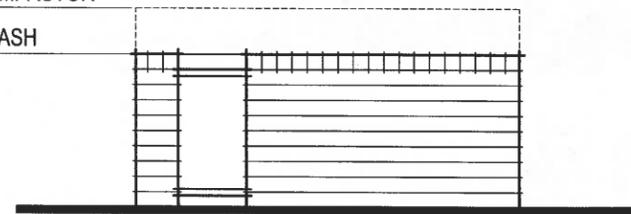


COMPACTOR ENCLOSURE PLAN

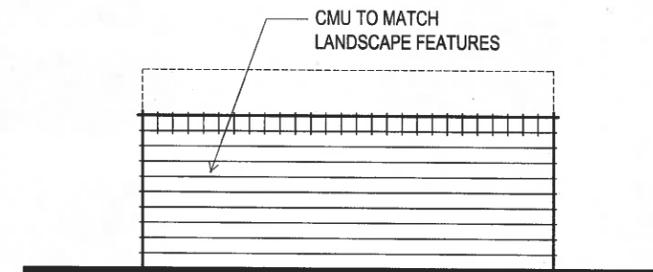


TRASH ENCLOSURE PLAN

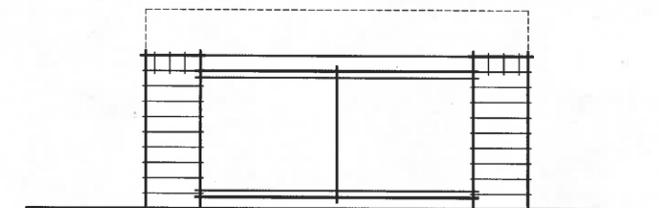
8'-8" @ COMPACTOR
6'-8" @ TRASH



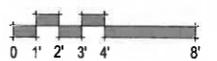
TYP. REAR



TYP. SIDE



TYP. FRONT





TYPICAL MATERIALS

Scheme 1

| | |
|--|---|
| | Stucco 1 KM4934 Zebra Finch |
| | Stucco 2 KM 4936 Smoky Day |
| | Stucco 3 KM 4896 Stone Hearth |
| | Horizontal Siding KM5359 Tuscan Sun |
| | Garage Doors KM 5826 Volcanic Rock |
| | Accent |
| | Daltile- Festiva Tile IceBerg QHB2 |

Scheme 2

| | |
|--|---|
| | Stucco 1 KM4662 Creamy Chenille |
| | Stucco 2 KM 4565 Sophistication |
| | Stucco 3 KM 4896 Stone Hearth |
| | Horizontal Siding KM5359 Tuscan Sun |
| | Garage Doors KM 5826 Volcanic Rock |
| | Accent |
| | Daltile- Festiva Tile IceBerg QHB2 |