

WESTBOROUGH

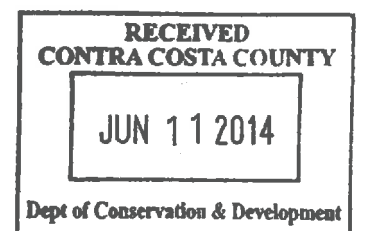


ARTIST'S RENDERING BY
stevehubbardstudios.com

Branagh Development, Inc.
Subdivision #9177
Tice Valley Boulevard, Walnut Creek, CA
June 5, 2014



B·R·A·N·A·G·H
DEVELOPMENT
BUILDERS • CONTRACTORS • DEVELOPERS





1"=40'



VICINITY MAP
NOT TO SCALE

NOTES

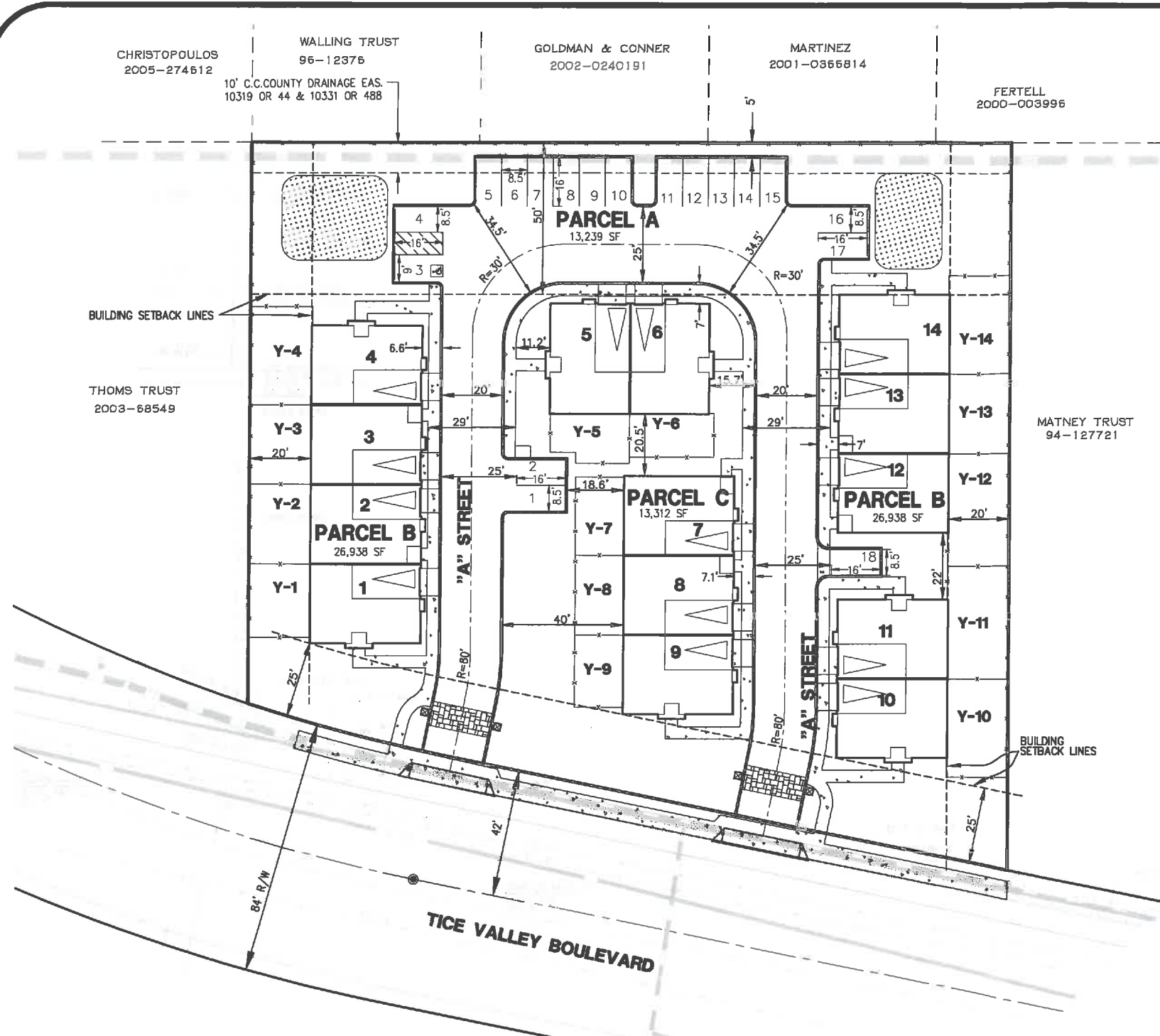
- DEVELOPER/APPLICANT: MOMO DEVELOPMENT 2013, LLC
/ BRANAGH DEVELOPMENT INC.
100 SCHOOL STREET
DANVILLE, CA 94526
(925) 743-9500
CONTACT - BOB PICKETT
- OWNERS: WILLIAM & JOYCE ASHURST LIVING TRUST
61 TURRINI CIRCLE
DANVILLE, CA 94526
- SARAH LOMBARDO, TRUSTEE
866 BIRDHAVEN CT
LAFAYETTE, CA 94549
- ENGINEER/PLANNER: dk CONSULTING
1440 MARIA LANE, SUITE 200
WALNUT CREEK, CA 94596
(925) 932-6868
CONTACT - ANDREW PALFFY
- ARCHITECT: WILLIAM HEZMALHALCH ARCHITECTS, INC.
5000 EXECUTIVE PARKWAY, SUITE 375
SAN RAMON, CA 94583
(925) 627-1171
CONTACT - MARK RETHERFORD
- SOILS ENGINEER: FRIAR ASSOCIATES
2656 NICHOLSON STREET
SAN LEANDRO, CA 94577
(510) 351-3930
CONTACT - JOHN FRIAR
- ARBORIST: TRAVERSO TREE SERVICE
3354 FREEMAN RD.
WALNUT CREEK, CA 94595
(925) 930-7901
CONTACT - JOHN TRAVERSO
- PARCEL NUMBERS: 184-311-004, 184-311-024
EXISTING ZONE: M-12
PROPOSED ZONE: P-1 PLANNED UNIT DISTRICT
EXISTING USE: SINGLE FAMILY RESIDENTIAL
PROPOSED USE: MULTIPLE FAMILY RESIDENTIAL
NUMBER OF UNITS: 14 TOTAL UNITS
SITE ACREAGE: 1.2 ± ACRES
CONTOUR INTERVAL: EXISTING CONTOURS: 1 FOOT
PROPOSED CONTOURS: 1 FOOT
- UTILITIES & SERVICES: EAST BAY MUNICIPAL UTILITIES DISTRICT
PROPOSED WATER SUPPLY
PROPOSED SEWER SUPPLY
GAS & ELECTRIC SUPPLY
TELEPHONE: CENTRAL CONTRA COSTA SANITARY DISTRICT
PACIFIC GAS AND ELECTRIC
AT&T

RECEIVED
CONTRA COSTA COUNTY
JUN 11 2014
Dept of Conservation & Development

PRELIMINARY DEVELOPMENT PLAN/
FINAL DEVELOPMENT PLAN
AND
VESTING TENTATIVE MAP
(FOR CONDOMINIUM PURPOSES)
WESTBOROUGH
SUBDIVISION 9376
CONTRA COSTA COUNTY, CALIFORNIA
MAY 27, 2014
VESTING TENTATIVE MAP

SHEET INDEX	
NO.	DESCRIPTION
1	SITE AERIAL PHOTO
2	VESTING TENTATIVE MAP
3	PRELIMINARY AND FINAL DEVELOPMENT PLAN
4	PRELIMINARY GRADING AND UTILITY PLAN
5	TREE REMOVAL PLAN
6	BOUNDARY AND TOPOGRAPHIC SURVEY





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PROPOSED WATER SUPPLY: CENTRAL CONTRA COSTA SANITARY DISTRICT
PROPOSED SEWER SUPPLY: PACIFIC GAS AND ELECTRIC
GAS & ELECTRIC: AT&T
TELEPHONE: AT&T



1"=20'



VICINITY MAP
NOT TO SCALE

LEGEND

DESCRIPTION	PROPOSED	EXISTING
SUBDIVISION BOUNDARY	---	---
PARCEL (PCL) LINE	---	---
RIGHT OF WAY LINE	---	---
STREET CENTER LINE	---	---
CONTOUR LINE	---	---
FACE OF CURB	---	---
SIDEWALK	---	---
SANITARY SEWER LINE & MANHOLE	---	---
STORM DRAIN LINE, MANHOLE AND CATCH BASIN	---	---
WATER LINE/ FH	---	---
FENCE LINE	---	---
CONTOUR LINE	---	---
UNIT NUMBER	8	8
STREET SLOPE	2%	2%
FINISHED FLOOR ELEVATION	FF 182	FF 182
FINISH GRADE ELEVATION	FG 180.5	FG 180.5
TOP CURB ELEVATION	TC 180.5	TC 180.5
TOP GRATE ELEVATION	TG 180.5	TG 180.5
GRADE BREAK	GB	GB
AREA DRAIN	AD	AD
POINT OF CONNECTION	POC	POC
PRIVATE ACCESS EASEMENT/ PUBLIC UTILITY EASEMENT	PAE/PUE	PAE/PUE
PRIVATE STORM DRAIN EASEMENT	PSDE	PSDE
C.3 TREATMENT AREA, BIORETENTION FACILITY	---	---
UNIT DESIGNATED YARD EXCLUSIVE EASEMENT	Y-10	Y-10

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ACREAGE SUMMARY

STREETS/ PARCEL A
LOTS, COMMON SPACE / PARCELS B & C
TOTAL GROSS AREA
C.3

0.30 ACRES
0.92 ACRES
1.2 ACRES
1290± SF

GROSS FLOOR AREA UNITS 1-14
LOT COVERAGE UNITS 1-14

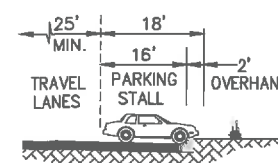
25,794 SF
13,874 SF, 26%

UNITS OWN FROM INSIDE OF WALL TO INSIDE OF WALL AS DESCRIBED IN THE CONDOMINIUM PLANS.

UNITS HAVE EXCLUSIVE EASEMENT RIGHTS TO REAR YARDS "Y-10"
ALL OTHER AREAS ARE COMMON SPACE AND "HOA" OWNED AND MAINTAINED.

PARKING SUMMARY

PARKING STALL DIMENSIONS 8.5' x 18' (INC. 2' OVERHANG)
HANDI CAP DIMENSIONS 9' x 18' (INC. 2' OVERHANG)
TOTAL PARKING STALLS 18 STALLS (INC. 1 ACCESSIBLE STALL)



PARKING STALL DETAIL

NTS

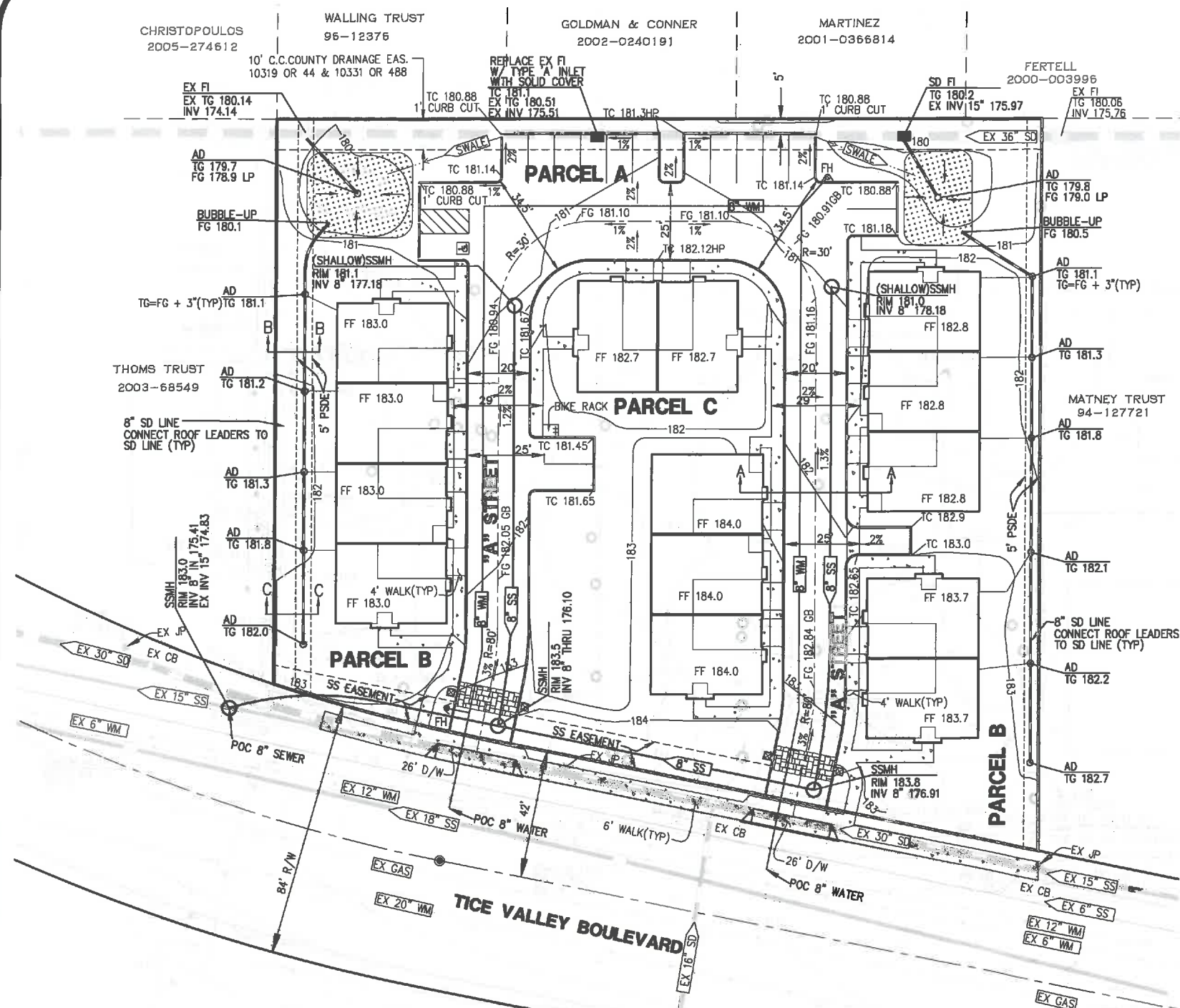
PRELIMINARY DEVELOPMENT PLAN/ FINAL DEVELOPMENT PLAN

WESTBOROUGH SUBDIVISION 9376

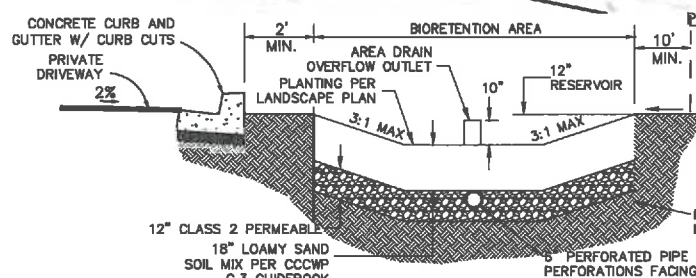
CONTRA COSTA COUNTY, CALIFORNIA
MAY 27, 2014

PRELIMINARY AND FINAL DEVELOPMENT PLAN





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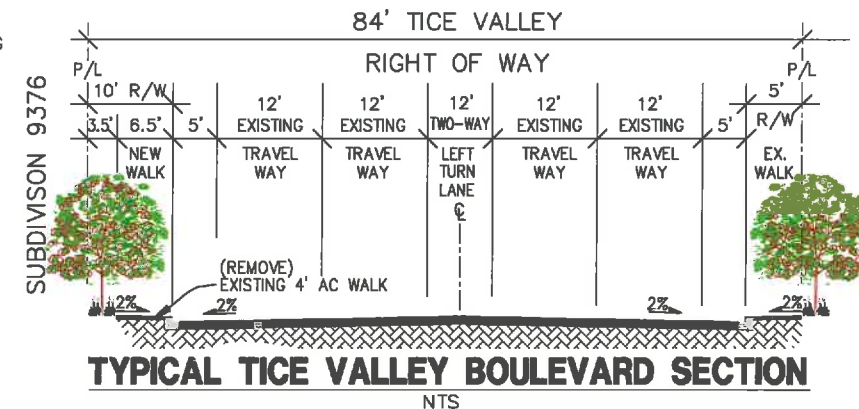
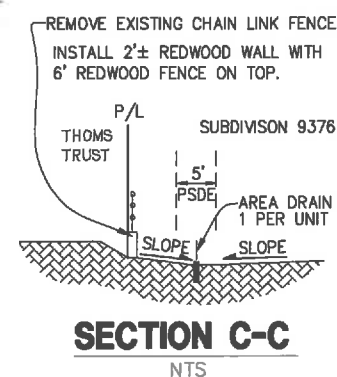
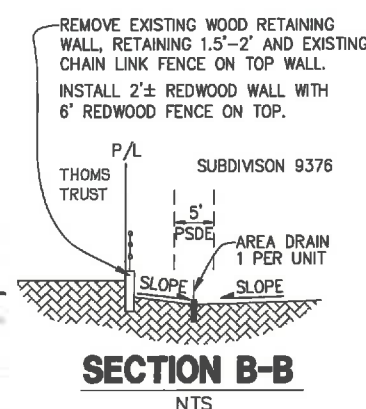
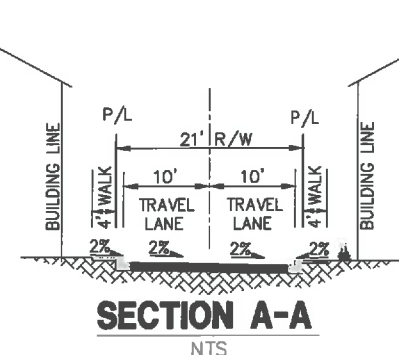
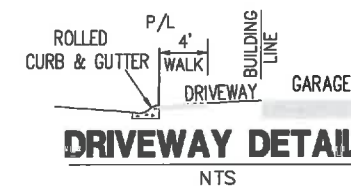


BIODRETENTION FACILITY NOTES:

1. BIODRETENTION FACILITY SHALL CONFORM TO THE REQUIREMENTS OF THE CONTRA COSTA CLEAN WATER PROGRAM C.3 GUIDEBOOK, 6TH EDITION.
2. LOAMY SAND SHALL HAVE A MINIMUM PERCOLATION RATE OF 5"/HOUR.
3. UNDERDRAIN SHALL HAVE CLEANOUTS CONSISTING OF RIGID, NON-PERFORATED PVC PIPE WITH A MINIMUM DIAMETER OF 4" AND A WATERTIGHT CAP.

NOTES

CONTOUR INTERVAL:	EXISTING CONTOURS: 1 FOOT PROPOSED CONTOURS: 1 FOOT
UTILITIES & SERVICES:	
PROPOSED WATER SUPPLY	EAST BAY MUNICIPAL UTILITIES DISTRICT
PROPOSED SEWER SUPPLY	CENTRAL CONTRA COSTA SANITARY DISTRICT
GAS & ELECTRIC	PACIFIC GAS AND ELECTRIC
TELEPHONE	AT&T



**PRELIMINARY DEVELOPMENT PLAN/
FINAL DEVELOPMENT PLAN
WESTBOROUGH
SUBDIVISION 9376
CONTRA COSTA COUNTY, CALIFORNIA
MAY 27, 2014
PRELIMINARY GRADING AND UTILITY PLAN**

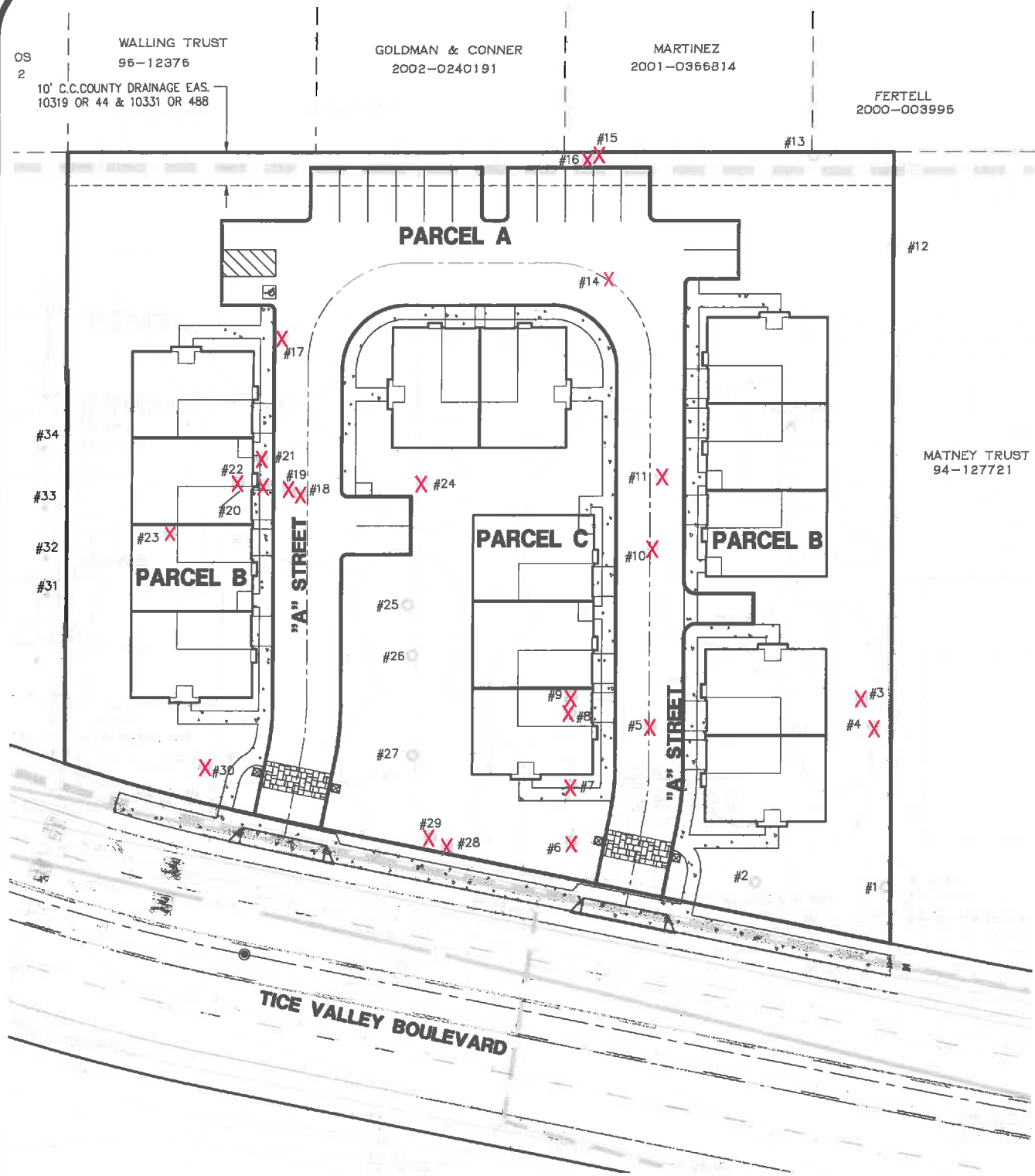


TABLE #1 "TREE INVENTORY DATA" Health & Structure Rating

"Dead", Dead or declining beyond chance of recovery.
"Poor", Condition: Stunted or declining canopy, poor foliage color, possible disease or insect issues. Severe structural defects that may or may not be correctable. Usually not a reliable specimen for preservation.
"Fair", Condition: Fair to moderate vigor. Minor structural defects that can be correctable. More susceptible to construction impacts than a tree in good condition.
"Good" Condition: Good vigor, and color, with no obvious problems or defects. Generally more resilient to impacts.
AGE: Young "Y" : 0-1/5 (20%) of expected life span. High resiliency to encroachment.
Mature "M" : 1/5 - 4/5's (20%-80%) of expected life span. Moderate resiliency to encroachment.
Over Mature "OM" : > 80% of expected life span. Low resiliency to encroachment

Tag #	Species	Diameter (IN.) @4.5'	Health	Structure	Drip Line (FT.)				AGE	Observations	Rel. Rating
					N	E	S	W			
1	Valley Oak Quercus lobata	11	Good	Good	10	10	10	15	Y	Growing through fence near south corner of property.	Fair
2	Valley Oak Quercus lobata	15.5	Good	Fair	15	25	20	10	Y	Topped by PG&E (under HV wires)	Poor
3	Scotch Pine Pinus sylvestris	10	Fair	Fair	8	8	8	8	M	Near S/E P/L	Fair
4	Scotch Pine Pinus sylvestris	12	Fair	Fair	8	8	8	8	M		Fair
5	Honey Locust Gleditsia triacanthos	20	Fair	Poor	15	15	20	25	OM	Mistle toe has caused branches to swell, weakening structure.	Poor
6	Valley Oak Quercus lobata	11	Fair	Fair	0	15	15	5	Y	One sided	Fair - good
7	Valley Oak Quercus lobata	10	Good	Fair	20	8	20	15	Y	S shaped curved trunk.	Good
8	Valley Oak Quercus lobata	19.5	Good	Good	25	20	25	25	M	Nice shaped tree.	Good
9	Valley Oak Quercus lobata	10	Good	Fair	25	0	0	0	Y	30 deg. phototropic lean to the north.	Fair-poor
10	Silver maple Acer spicatum	25"	Fair	Fair	0	0	30	30	OM	15 deg. lean to the S/W	Fair-Poor
11	Valley Oak Quercus lobata	29	Good	Good	30	35	40	35	M	Nice shaped tree.	Good
12	Valley Oak Quercus lobata	28	Good	Good	30	35	30	25	Y	Nice Tree	Good
13	Valley Oak Quercus lobata	15	Fair	Fair	35	30	5	25	Y	One sided canopy with co-dominant leaders at 8'.	Fair
14	Valley Oak Quercus lobata	22	Good	Good	25	25	25	25	M	Nice Tree	Good
15	California Privet Ligustrum ovalifolium	11	Fair	Fair	10	10	10	10	Y	Drought Stressed.	Poor
16	Valley Oak Quercus lobata	11	Good	Poor	25	0	0	0	Y	30 deg. lean to the north.	Poor
17	Valley Oak Quercus lobata	12, 17	Fair	Poor	25	25	25	18	M	Included co-dominant stems.	Poor
18	Valley Oak Quercus lobata	13	Fair	Fair	0	20	25	20	Y	Crowded one-sided tree.	Fair
19	Valley Oak Quercus lobata	16	Good	Fair	15	30	30	25	Y	Included co-dominant leaders at 10'	Fair-poor
20	Valley Oak Quercus lobata	8.5	Fair	Fair	0	15	10	20	Y	Crowded by adjacent trees.	Fair
21	Valley Oak Quercus lobata	13.5	Fair	Poor	30	30	0	0	Y	One-sided leaning tree	Poor
22	Valley Oak Quercus lobata	16	Good	Good	20	20	15	25	Y	Nice tree	Good
23	Deodar Cedar Cedrus deodora	23	Good	Good	25	15	20	20	M	Nice tree	Good



ARBORIST: TRAVERSO TREE SERVICE
3354 FREEMAN RD.
WALNUT CREEK, CA 94595
(925) 930-7901
CONTACT - JOHN TRAVERSO

Tag #	Species	Diameter (IN.) @4.5'	Health	Structure	Drip Line (FT.)				AGE	Observations	Rel. Rating
					N	E	S	W			
24	Drabapple Malus sp.	9, 7	Fair	Fair	8	8	12	10	M	Co-dominant leaders, stunted growth.	Poor
25	Valley Oak Quercus lobata	17.5	Good	Fair	20	20	20	20	M	Co-dominant leaders	Fair - Good
26	Valley Oak Quercus lobata	15	Good	Fair	15	12	15	20	Y	Co-dominant leaders.	Fair - Good
27	Valley Oak Quercus lobata	20.5	Good	Good	25	25	25	25	M	Nice tree	Good
28	Deodar Cedar Cedrus deodora	14	Good	Poor	10	10	10	10	M	Nursery specimen that escaped container. Under PG&E lines.	Poor
29	Deodar Cedar Cedrus deodora	11	Good	Poor	8	8	8	8	Y	Nursery specimen that escaped container. Under PG&E lines. Topped.	Poor
30	Flowering Plum Prunus sp.	10.5	Fair	Poor	8	12	12	8	OM	Rangy unkempt canopy.	Poor
31	Coastal Redwood Sequoia sempervirens	28+-	Good	Good	12	12	12	12	M	Neighbors trees in good condition. Located 6' back from existing N/W fence line.	Good
32	Coastal Redwood Sequoia sempervirens	25+-	Good	Good	12	12	12	12	M	Neighbors trees in good condition. Located 6' back from existing N/W fence line.	Good
33	Coastal Redwood Sequoia sempervirens	26+-	Good	Good	12	12	12	12	M	Neighbors trees in good condition. Located 6' back from existing N/W fence line.	Good
34	Coastal Redwood Sequoia sempervirens	28+-	Good	Good	12	12	12	12	M	Neighbors trees in good condition. Located 6' back from existing N/W fence line.	Good

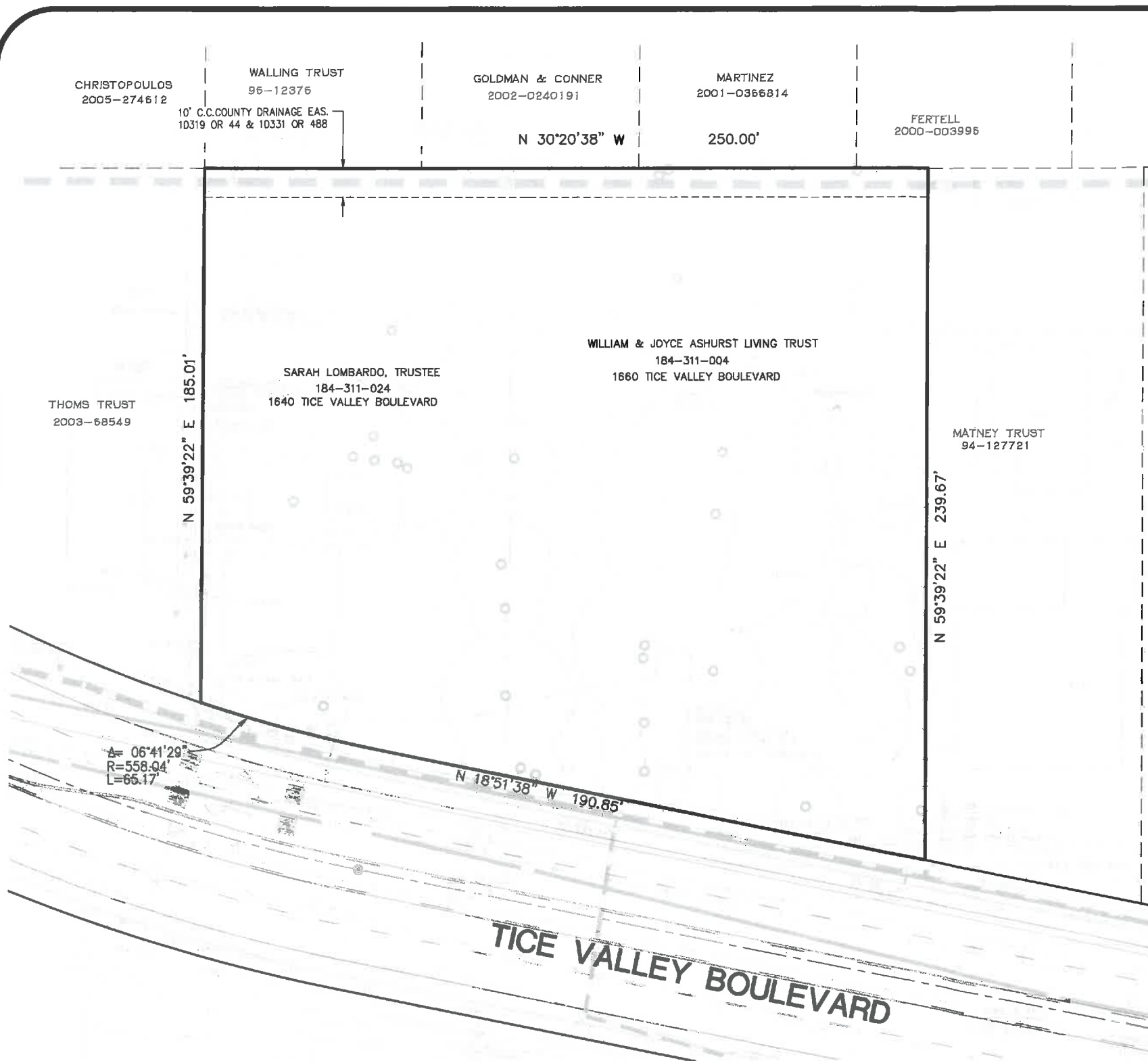
#4 X INDICATES EXISTING TREE TO BE REMOVED

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CONSULTING
PLANNING • ENGINEERING • ENVIRONMENTAL • SURVEYING
1440 Main Lane, Suite 200, Walnut Creek, California 94595 (925) 932-0800 Fax: (925) 932-0810 Pst

PRELIMINARY DEVELOPMENT PLAN/
FINAL DEVELOPMENT PLAN
WESTBOROUGH
SUBDIVISION 9376
CONTRA COSTA COUNTY, CALIFORNIA
MAY 27, 2014
TREE REMOVAL PLAN



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TELEPHONE: AT&T

FEMA: PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 06013C0289F, WITH A DATE OF IDENTIFICATION OF JUNE 16, 2009 FOR COMMUNITY OF (UNINCORPORATED AREAS) IN CONTRA COSTA COUNTY, STATE OF CALIFORNIA.

BASIS OF BEARINGS: TAKEN AS N18°51'38"W BETWEEN TWO STANDARD STREET MONUMENTS AS SHOWN ON C.C.CO. RW MAP 3851C DATED NOVEMBER 3, 1972, SAID MONUMENTS IN TICE VALLEY BLVD.

BENCH MARK: C.C.CO. BM # 3687, BEING A CINCH NAIL AND BRASS DISK AT THE SOUTH CURB RETURN AT SE RETURN OF OLYMPIC BLVD. AND PANARAMIC WAY. ELEV. = 182.898



1"=20'

LEGEND

DESCRIPTION	PROPOSED	EXISTING
SUBDIVISION BOUNDARY	---	---
PARCEL (PCL) LINE	---	---
RIGHT OF WAY LINE	---	---
STREET CENTER LINE	---	---
CONTOUR LINE	---	---
FACE OF CURB	---	---
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PRIVATE STORM DRAIN EASEMENT	PSDE	---

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PRELIMINARY DEVELOPMENT PLAN/
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BOUNDARY AND TOPOGRAPHIC SURVEY



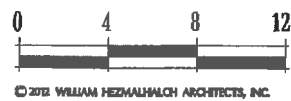
Rear



Front

4-plex Elevations

Westborough
Walnut Creek, CA
Branagh Development



W
WILLIAM HEZMALHALCH
ARCHITECTS INC.
5000 EXECUTIVE PARKWAY, SUITE 375 SAN RAMON CA 94583-4210
925 483 1700 fax 949 250 1529
2850 REDHILL AVENUE, SUITE 200 SANTA ANA CA 92705-5543
949 250 0607 www.wheharchitects.com fax 949 250 1529

March 28, 2014
5.4
2013427



Rear



Right



Left



Front

Duet Elevations

Westborough

Walnut Creek, CA
Branagh Development



Rear



Right



Left



Front



© 2012 WILLIAM HEZMALHALCH ARCHITECTS, INC.

Triplex Elevations

Westborough

Walnut Creek, CA
Branagh Development



WILLIAM HEZMALHALCH
ARCHITECTS, INC.
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925 453 1700 fax 949 250 1529
2850 REDHILL AVENUE, SUITE 200 SANTA ANA, CA 92705-5543
949 250 0607 www.whaiarchitects.com fax 949 250 1529

March 28, 2014

4.4

2013427

2013427 - Tice Valley Oaks - Walnut Creek, CA



Left



Right



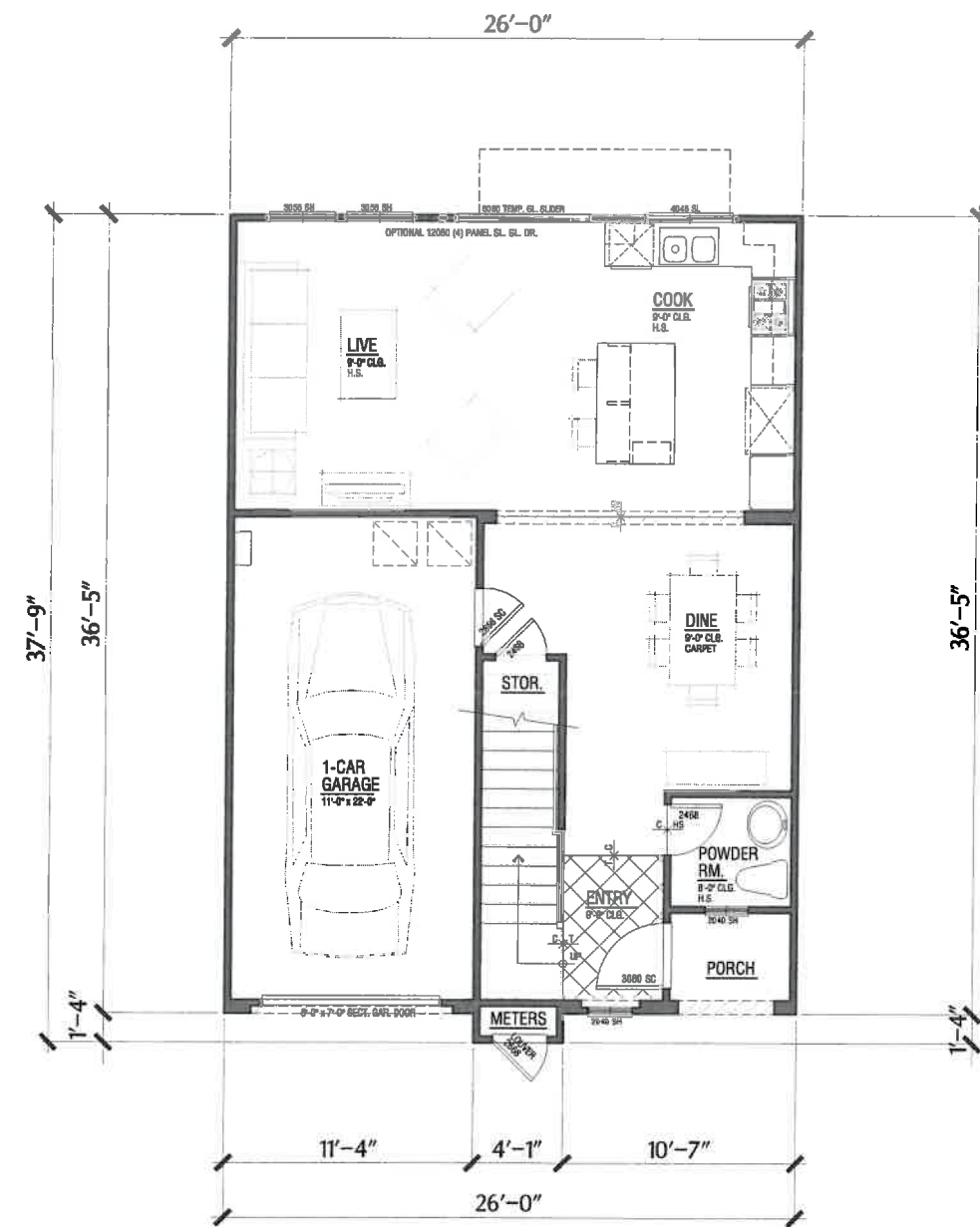
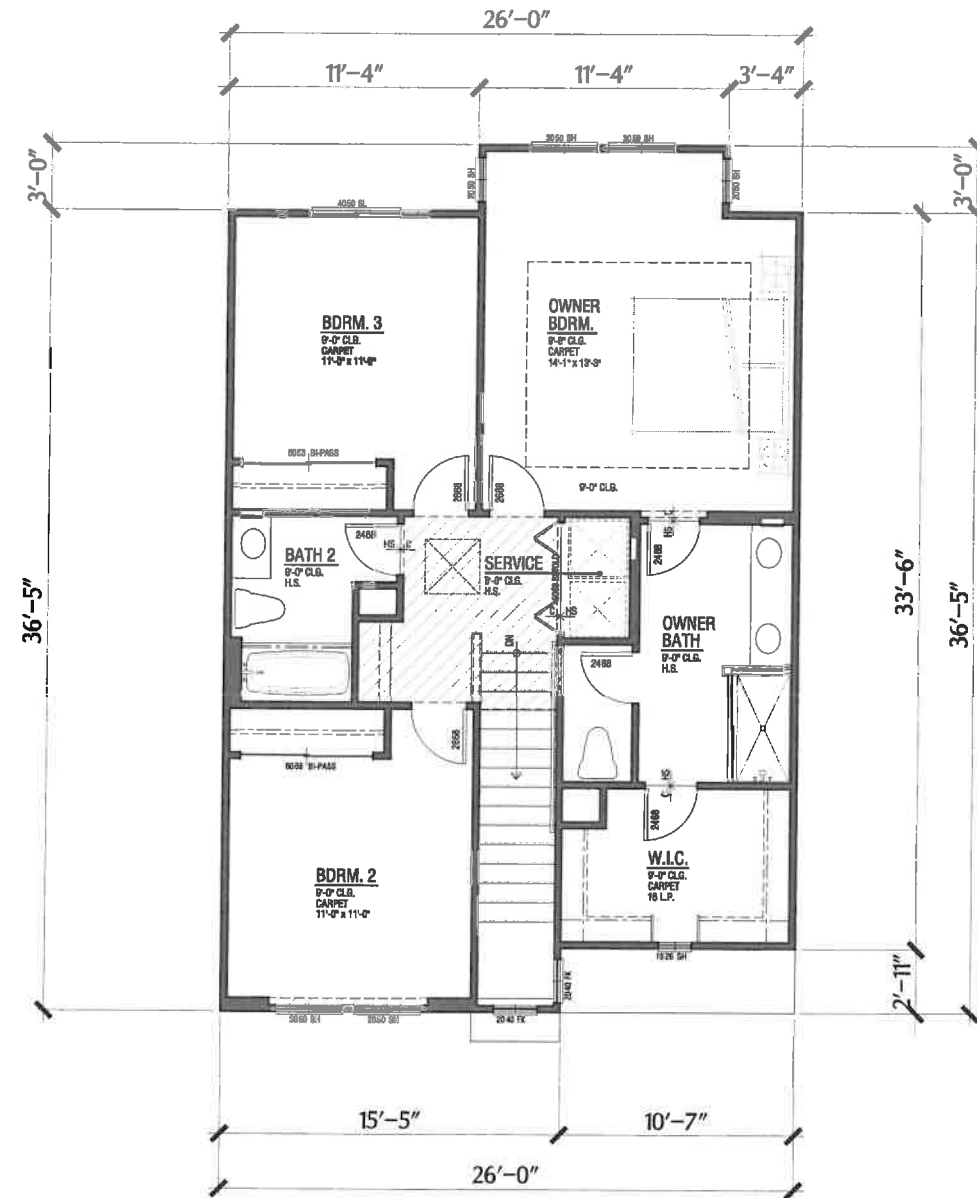
4-plex Elevations

Westborough

Walnut Creek, CA
Branagh Development

WH
WILLIAM HEZMALHALCH
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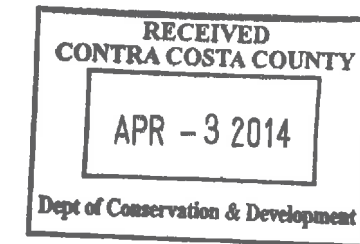
March 28, 2014
5.5
2013427



Unit A

1,547 SF
3 Bdrm/2.5 Ba
1 Car Garage

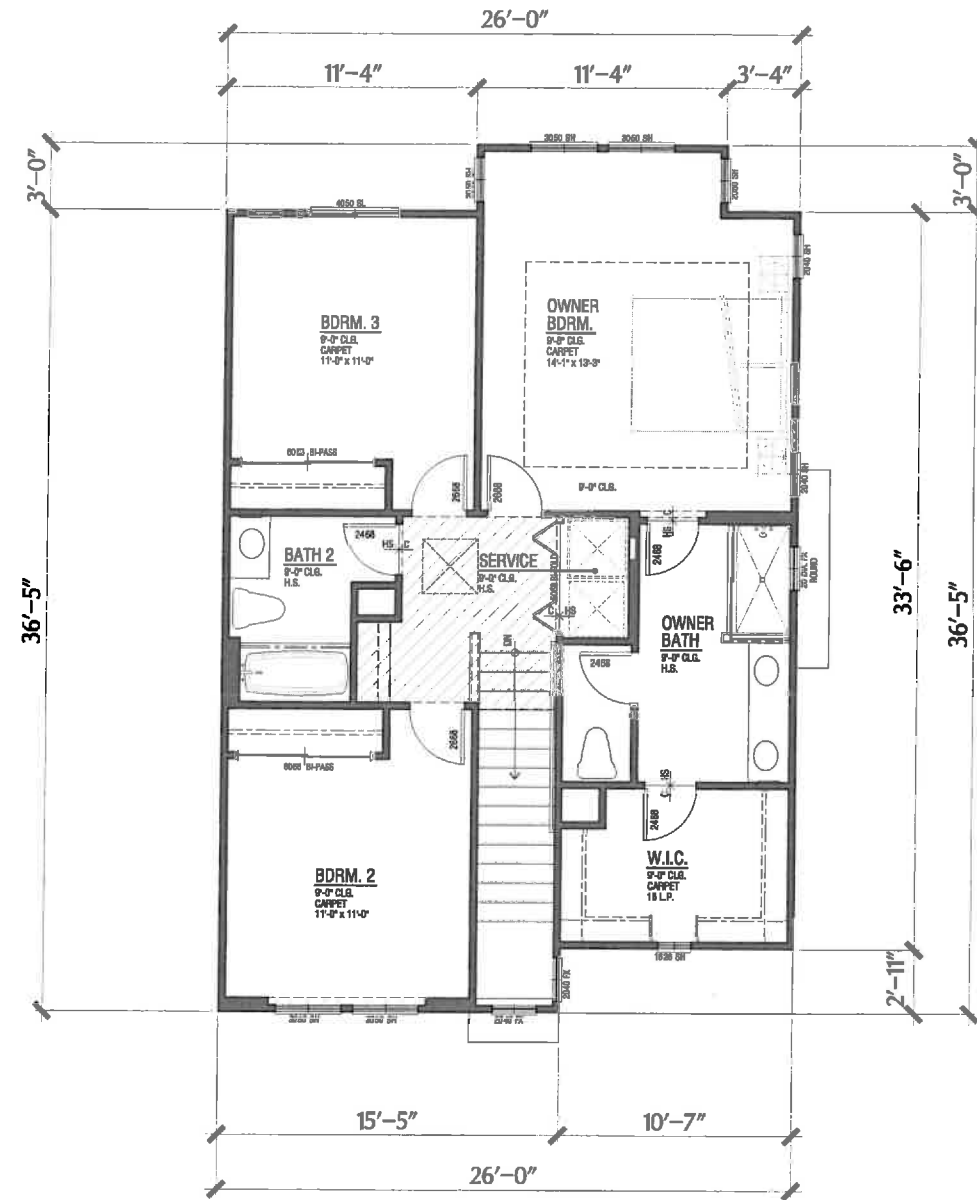
Westborough
Walnut Creek, CA
Branagh Development



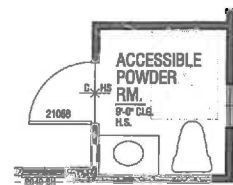
R214-3225
S014-9376
DP14-3018

W
WILLIAM HEZMALHALCH
ARCHITECTS INC.
8000 EXECUTIVE PARKWAY SUITE 375 SAN RAMON CA 94583-4210
925 483 1700 fax 949 250 1529
2850 REDHILL AVENUE SUITE 200 SANTA ANA CA 92705-5543
949 250 0807 www.wharchitects.com fax 949 250 1529

March 28, 2014
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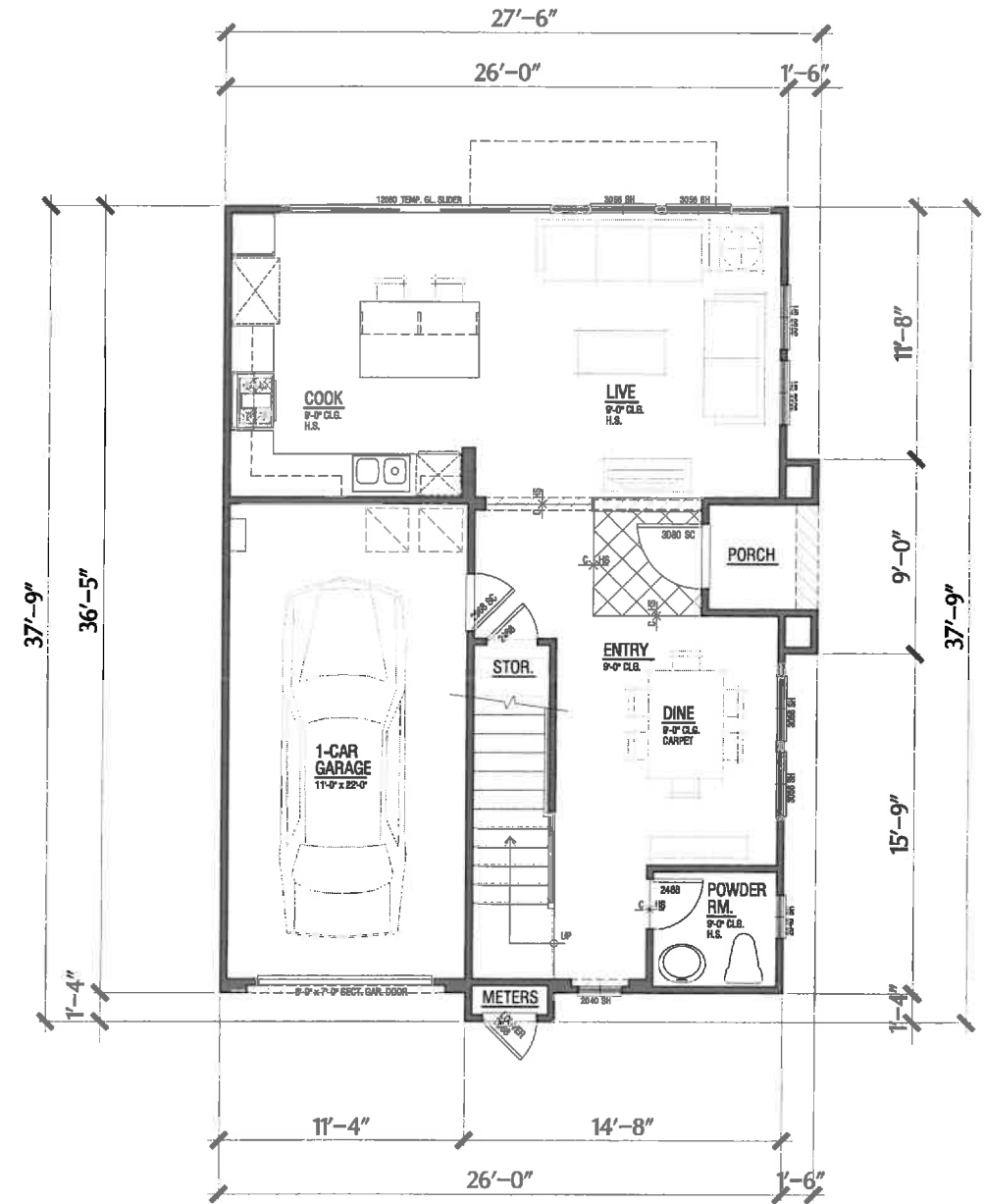


Second Floor
885 SF

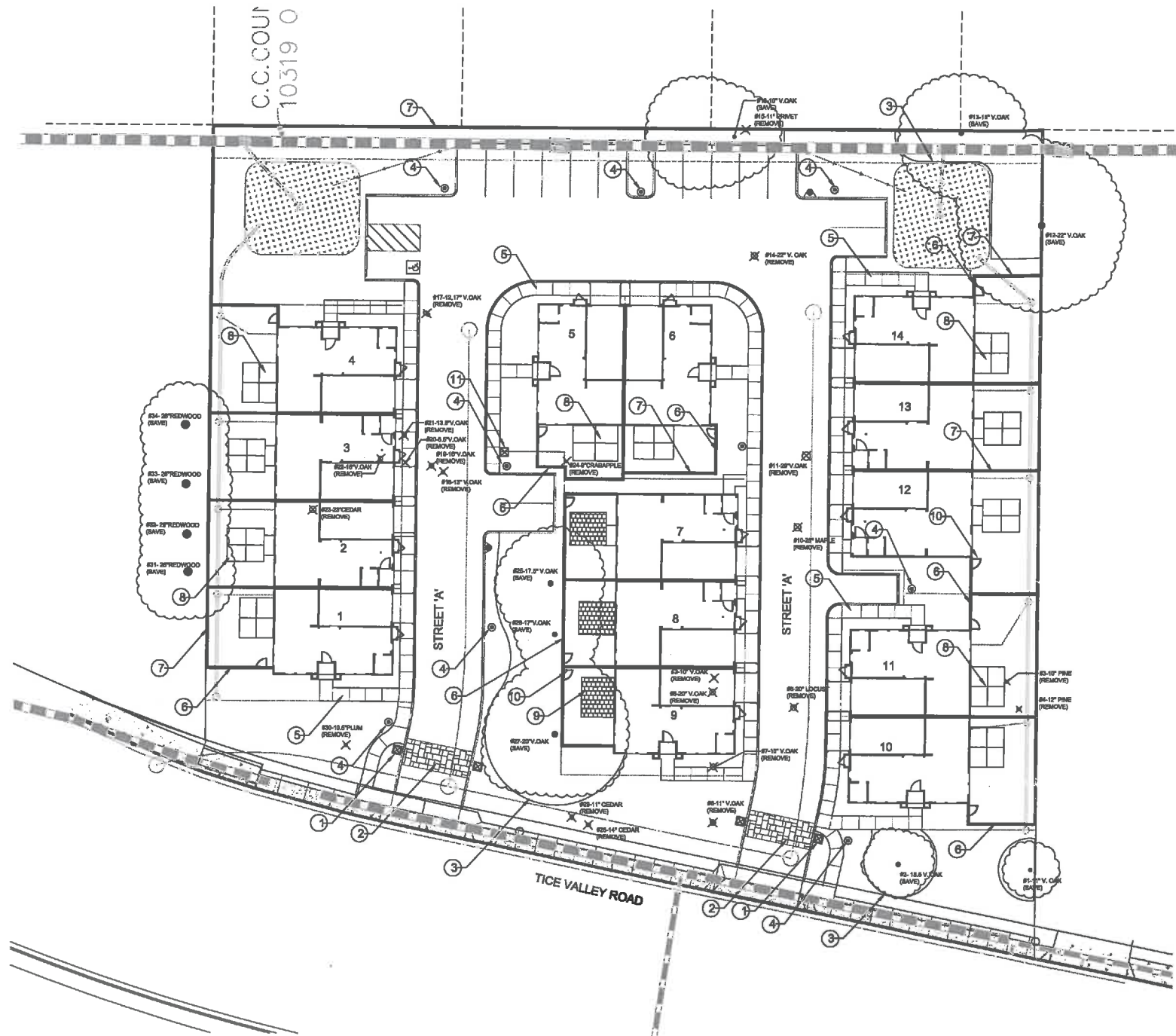


Accessible Powder Rm.
@ 4-Plex only

Unit B
1,556 SF
3 Bdrm/2.5 Ba
1 Car Garage



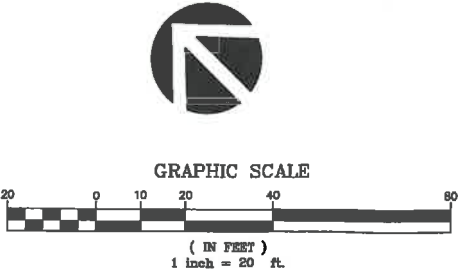
First Floor
671 SF



- SITE AMENITIES:**
- ① 42" BRICK ENTRY PILASTER (SEE DETAIL SHEET L-2)
 - ② DECORATIVE PAVING AT PROJECT ENTRIES
 - ③ HEADERBOARD TO CONTAIN TREE PROTECTION MULCH. SEE PLANTING PLAN FOR ADDITIONAL INFORMATION ON MULCH AND APPLICATION.
 - ④ BOLLARD LIGHT (SEE IMAGE SHEET L-2)
 - ⑤ TYPICAL CONCRETE WALK
 - ⑥ UPGRADED FENCING (SEE DETAIL SHEET L-2)
 - ⑦ PROPERTY LINE FENCE (SEE DETAIL SHEET L-2)
 - ⑧ TYPICAL CONCRETE PATIO
 - ⑨ DECORATIVE PERVIOUS PAVER FOR PATIOS WITHIN DRIP LINES OF OAKS
 - ⑩ TYPICAL 3'0" GATE TO MATCH ADJOINING FENCE
 - ⑪ CLUSTER MAILBOX (SEE IMAGE SHEET L-2)

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Dept of Conservation & Development

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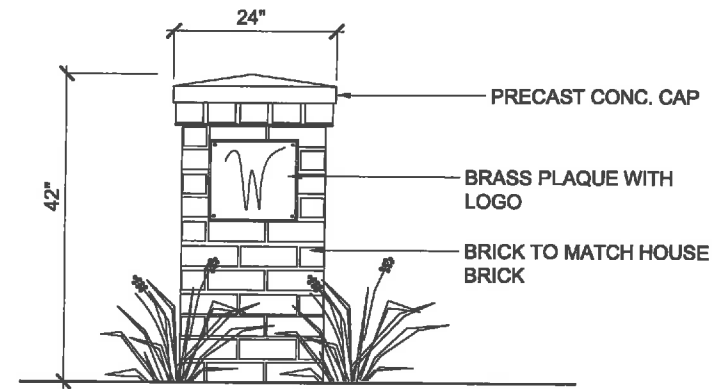
Thomas Bank & Associates, LLP
Landscape Architects
100 West Main Street, Suite 4
Folsom, CA 95630
TEL: 916.923.2583

TICE VALLEY
SUBDIVISIONS 9177
CONTRA COSTA COUNTY
BRANAGH DEVELOPMENT

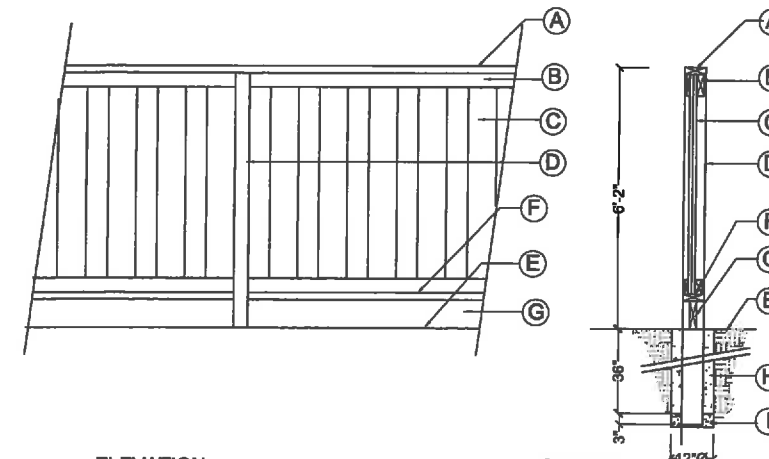
AMENITIES
PLAN

DESIGNED:	DRAWN:
CHECKED:	JOB NO:
DATE:	04-01-14
SCALE:	

SHEET
L-1
of 4 SHEETS

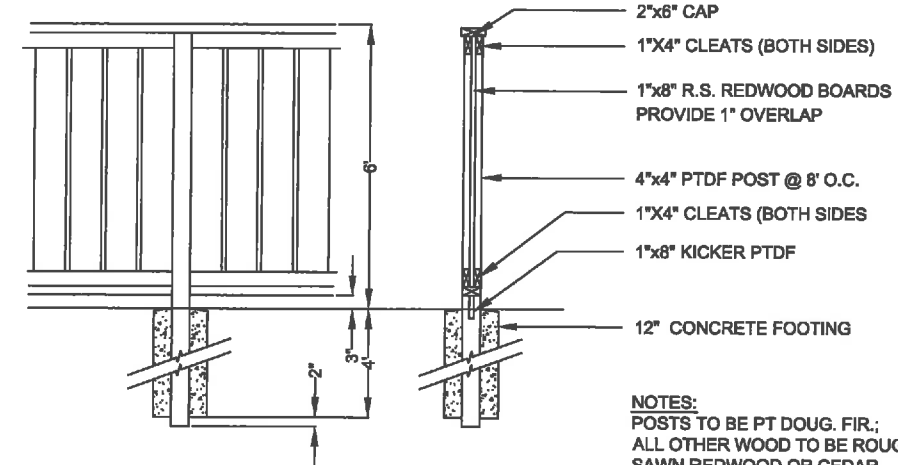


BRICK PILASTER DETAIL
NO SCALE



ELEVATION:
UPGRADED WOOD FENCE
NO SCALE

- DESCRIPTION:**
A - 2x6 RSDF CONTINUOUS CAP (HOLD LEVEL)
B - 2x6 RSDF RAIL EXTERIOR SIDE 1x8 RSDF ON INTERIOR
C - 1x8 RSDF VERTICAL BOARDS, OVERLAP 1"
D - 6x6 PTDF POSTS AT 8 FT. SPACING (MAX).
E - FINISH GRADE
F - 2x6 RSDF BOTTOM RAILS
G - 2x4 RSDF BOTTOM EXTERIOR RAIL, 1x4 ON INTERIOR
H - 18" PTDF KICKER
I - 18" DIAMETER x 36" DEEP CONCRETE FOOTING AT POSTS
1 - WOOD POSTS EXTEND 3" THRU BOTTOM OF CONCRETE FOOTING INTO 4" DEEP CLEAN SAND BASE
- NOTES:**
1. ALL POSTS TO BE PRESSURE TREATED DOUGLAS FIR, ALL OTHER WOOD MEMBERS TO BE ROUGH SAWN DOUGLAS FIR.
2. HOLD TOP RAILS LEVEL, STEP FENCE & ALTER PANEL WIDTH AS NECESSARY TO CONFORM TO GRADES.
3. ALL METAL FASTENERS SHALL BE GALVANIZED.



PROPERTY LINE FENCE DETAIL

- NOTES:**
POSTS TO BE PT DOUG. FIR.;
ALL OTHER WOOD TO BE ROUGH
SAWN REDWOOD OR CEDAR.
HOLD TOP RAIL LEVEL;
STEP FENCE & ALTER PANEL
WIDTH AS NECESSARY TO
CONFORM TO GRADES.



CLUSTER MAILBOX UNIT



**HADCO #OB361-LED 120V BOLLARD
BLACK FINISH WITH OPAL PANELS
CCT- WARM**

REVISIONS

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10000 Wilshire Blvd., Suite 400
Beverly Hills, CA 90210
PH: 924.933.3285

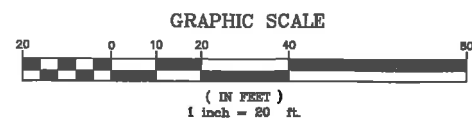
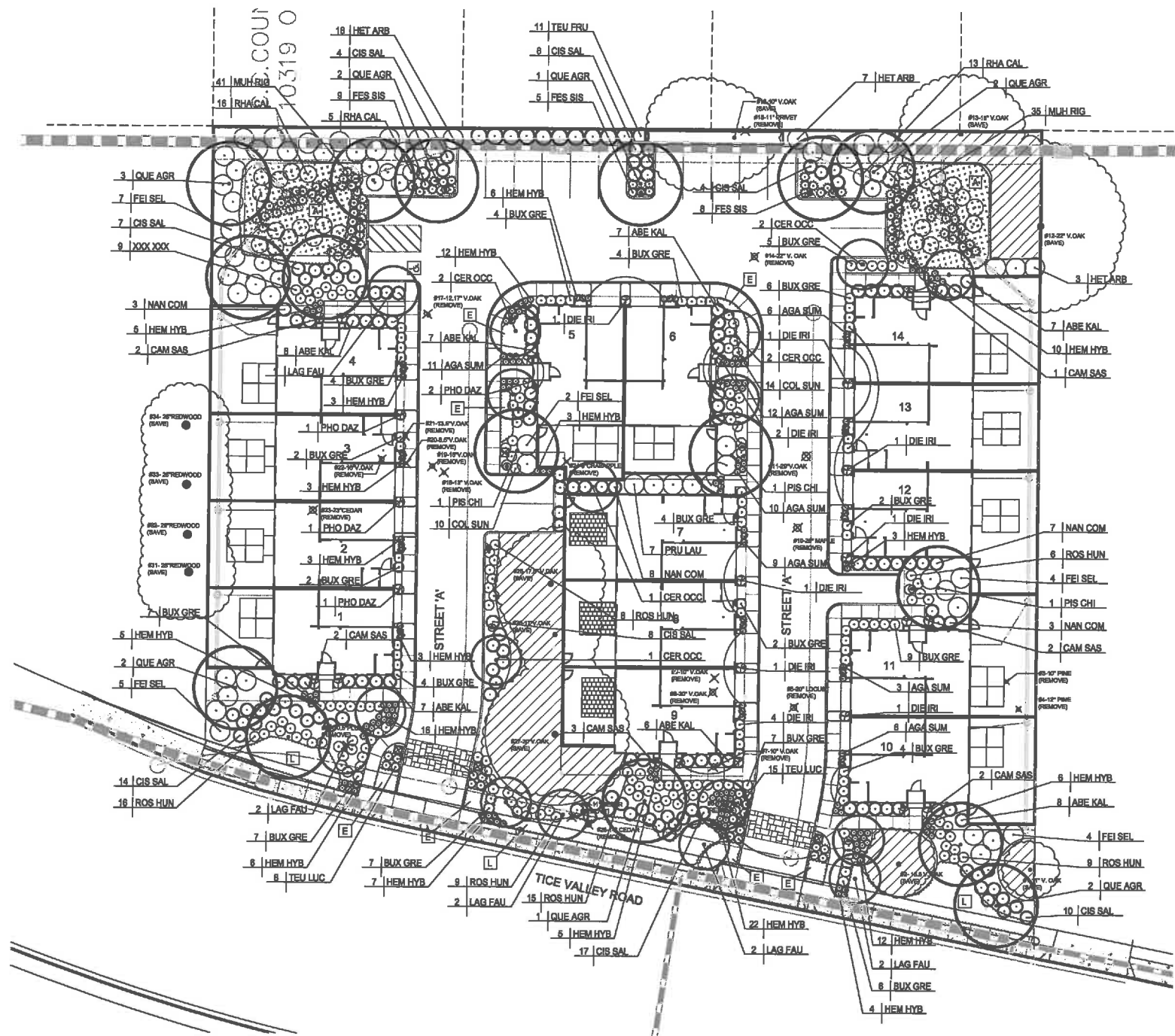


**TICE VALLEY
SUBDIVISIONS 9177**
CONTRA COSTA COUNTY
BRANAGH DEVELOPMENT

**CUT-SHEETS
DETAILS**

DESIGNED:	DRAWN:
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DATE:	SCALE:
04-01-14	

L-2
SHEET
OF 4 SHEETS



SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
TREES:				
CER OCC	CERCIS 'FOREST PANSY'	FOREST PANSY REDBUD	15 GA	LOW
LAG TUS	LAGERSTROMIA 'TONTON'	CRABE MYRTLE	15 GA	LOW
PIS CHI	PISTACHIA CHINENSIS	CHINESE PISTACHE	15 GA	LOW
QUE AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	LOW
SHRUBS:				
ABE KAL	ABELIA 'KALIDESCOPE'	VARIATED ABELIA	5 GA	LOW
AGA SUM	AGAPANTHUS 'SUMMER GOLD'	DWARF VARIATED AGAPANTHA	1 GA	LOW
BUX GRE	BUXUS 'GREEN BEAUTY'	JAPANESE BOXWOOD	5 GA	LOW
CAM SAS	CAMELLIA S. 'YULETIDE'	HARDY CAMELLIA	5 GA	MED
CIS SAL	CISTUS SALVIFOLIUS 'PROSTRATUS'	SAGELEAF ROCKROSE	5 GA	LOW
COL SUN	COLEONEMA 'SUNSET GOLD'	DWARF BREATHE OF HEAVEN	5 GA	LOW
DIE IRI	DIETES IRIODODES	FORTNIGHT LILY	5 GA	LOW
FEI SEL	FELOA SELLOWIANA	PINEAPPLE GUAVA	5 GA	LOW
FES SIS	FESTUCA 'SISKIYOU BLUE'	CALIFORNIA FESCUE	1 GA	LOW
HEM HYB	HEMEROCALLIS 'LITTLE GREENIE'	EVERGREEN DWARF DAYLILY	1 GA	LOW
HET ARB	HETEROMELES ARBUTIFOLIA	TOYON	5 GA	LOW
MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	1 GA	LOW
NAN COM	NANDINA 'COMPACTA'	DWARF NANDINA	5 GA	LOW
PHO DAZ	PHORMIUM 'DUET'	DWARF FLAX	5 GA	LOW
PRU LAU	PRUNUS LAURACERASUS	ENGLISH LAUREL	5 GA	LOW
RHA CAL	RHAMNUS CALIFORNICA 'EVE CASE'	CALIFORNIA COFFEEBERRY	5 GA	LOW
ROS HUN	ROSEMARINUS 'HUNTINGTON BLUE'	DWARF ROSEMARY	1 GA	LOW
TEU COM	TEUCRIUM F. COMPACTUM	GERMANDER	5 GA	LOW
TEU LUC	TEUCRIUM LUCRYDS	DWARF GERMANDER	1 GA	LOW
GROUND COVER:				
A	ARCTOSTAPHYLOS 'EMERALD CARPET'	MANZANITA	1 GA@ 30" OC.	LOW
E	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	1 GA@ 24" OC.	LOW
L	LANTANA MONTEVIDENSIS	LAVENDER LANTANA	1 GA@ 30" OC.	LOW

Recommendations for Tree Protection During Construction (Print on Site Plans)

Design Phase

- Adjust drainage line along NW fence line adjacent to neighbors redwoods further from trees so at least 15' from trees and outside Indicated Tree Protection Zone "TPZ".
- Adjust Storm drain tie-in point, from bio-swale at N/E corner, so tie-in is near dripline of tree #13 instead of at base of trunk.

Pre Construction Phase

- Remove trees #s 3-11, 14-24, 28, 29, & 30.
- Mulch produced from tree removals shall be spread out to a depth of 4" under driplines of trees to be saved - #s 1, 2, 12, 13, 25, 26, 27, 31, 32, 33, & 34.
- Prune trees to be saved to clean crowns of deadwood only. All pruning shall be performed by WCDIA Certified Tree Workers under the direction of Project Arborist "PA". Work to be performed to ISA & ANSI pruning and safety standards.
- Establish a Tree Protection Zone "TPZ", by encompassing trees to be saved with 6' chain-link fencing firmly attached to metal posts on 6' spacing. Locate protection fencing per noted on Tree Inventory Map and with PA's assistance.
- Pending soil moisture, recommend irrigating TPZ's to a depth of 18" prior to any construction. Keep moisture at least 6' back from trunks. Soil moisture to be monitored monthly by PA.

Construction Phase

- TPZ's shall remain clean and void of any construction materials and debris.
- TPZ encroachment shall not be allowed without consulting with PA.
- Recommend monthly visits by PA to make sure soil moisture is appropriate under trees, and that tree protection measures are being adhered to.
- Any clearance pruning desired or needed shall be discussed with, and specified by the PA.
- Excavation under tree #12 & 13 for the bio-swale shall require having crew meet with PA to discuss root preservation. Excavation shall be hand dug to protect roots >2" in diameter. Bio-swale backfill material shall be placed around roots allowing their preservation.
- Trenching for utilities, drainage, or any other purpose that is to occur under driplines, shall require having the PA meet with crew on site prior to commencing with work.
- Tree protection fencing shall not be removed until construction is completed and the PA has released its removal.

Landscaping Phase

- Landscape contractor shall meet with Project Arborist prior to installation to go over tree protection measures.
- No hardscape, trenching, fill or out work, shall be allowed within the tree protection zones.
- Keep all irrigation, and landscaping a minimum of 10 ft. back from the native oaks. Avoid turf and high water requirement plant material within driplines of oaks.
- Avoid operating equipment within in tree protection zones.
- Fence installation within driplines shall discussed with PA prior to installation. Careful hand digging for posts within 10' of tree trunks shall be required to allow post adjustment if large (>2") roots are encountered.

IRRIGATION NOTES:

- IRRIGATION TO BE A LOW FLOW WATER CONSERVING BELOW GRADE DRIP TYPE SYSTEM.
- IRRIGATION CONTROLLER TO BE A WEATHER-BASED 'SMART- CONTROLLER
- PLANT MATERIALS AND IRRIGATION SHALL COMPLY WITH COUNTY WATER CONSERVATION GUIDELINES.

REFER TO L-4 FOR PLANTING NOTES
AND DETAILS

REVISIONS

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Landscape Architects
1600 North Main Street, Suite 4
Palo Alto, CA 94301
Tel: 650.952.2344



TICE VALLEY
SUBDIVISIONS 9177
CONTRA COSTA COUNTY
BRANAGH DEVELOPMENT

PLANTING
PLAN

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04-01-14
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SHEET

L-3

OF 4 SHEETS

PLANTING NOTES

GENERAL NOTES: The Landscape Contractor shall inspect the site and be familiar with all existing site conditions prior to submitting his bid. Contractor shall not willfully proceed with construction as shown when it is obvious that obstructions, landscape area and/or grade differences exist that may not have been known during design. such conditions shall immediately be brought to the attention of the Landscape Architect. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification. Contractor shall be responsible for making himself familiar with all underground utilities, pipes, structures and obstructions. Contractor shall take sole responsibility for all costs incurred due to damage and/or replacement of these items. Contractor shall be responsible for coordination between trades and subcontractors as required to accomplish landscape operations. The Landscape Contractor shall be responsible for any damage to existing facilities caused by or during the performance of his work. All repairs shall be made at no cost to the Owner. Planting shall be installed in conformance with all applicable local codes and ordinances by experienced workmen and a licensed Landscape Contractor who shall obtain all necessary permits and pay all required fees.

SOIL PREPARATION: The Landscape Contractor shall be responsible for finish grading and all planting area drainage. Positive drainage away from the building as per city codes shall be maintained. No low spots which hold standing water will be accepted. The Landscape Contractor shall incorporate soil preparation amendment into planting areas as noted below. Where rototilling is not possible, incorporate soil amendments into top 6 inches with hand tools. After installation of irrigation system, all planting areas are to be fine graded to within 2 inches and slightly mounded away from edges of top of planter, curb, walk, header, etc. and raked smooth with all rocks and debris over 1 inch in diameter removed.

SOIL PREPARATION AMENDMENTS AND BACKFILL MIX The Landscape Contractor shall amend existing soil, by rototilling, 6 cu. yd. BFI 'Super Humus' compost and 15 lbs. organic balanced fertilizer 'Phyta-Boost' (7-1-2) per 1,000 sq. ft. available from California Organics or equal into the top 6 inches of soil in all planting areas. (or equal) Pit Planting Mix: for trees and shrubs mix 1/3 organic amendment, 2/3 amended topsoil as noted above.

TREE PLANTING: The trees are to be planted as per detail on plan. Trees shall typically be located a minimum of 4 feet from curbs, walks, headers, buildings, overheads, and other trees within the project. backfill shall be the 'Pit Planting Mix' as noted above. All trees shall receive organic fertilizer 'Phyta boost' 7-1-2 avail. from California Fertilizer Company Inc.(or equal) for 15 gallon trees: 1 cup, for 5 gallon trees and shrubs: 1/2 cup. Thoroughly water trees immediately after planting.

ROOT BARRIERS: All trees planted within 5' of a paved surface shall receive a linear type root barrier 18" deep and 10' long centered on the tree trunk. (See detail)

SHRUB PLANTING: The shrubs shall be spotted as per plan and the locations approved prior to the digging of the holes. Shrub backfill shall be the 'Pit Planting Mix' as noted in 'Backfill soil mixes'. All shrubs shall receive 'Phyta-Boost' 7-1-2 organic fertilizer avail from California Fertilizer Company Inc.(or equal) at the following rates: For 5 gallon shrubs:1/2 cup for, 1 gallon shrubs:1/4 cup. Thoroughly water shrubs immediately after planting. Do not plant any plant within 2'0" of any building wall.

MULCHING: Mulch all planting areas, excluding lawn, having a slope less than 2:1 with a 3 inch minimum depth of recycled wood fiber, UV stabilized,dyed-colorfast black with a PH of no higher than 5.0. and free of noxious weeds and foreign materials. #135 Black Chip from 'Re-User Inc.' or approved equal.

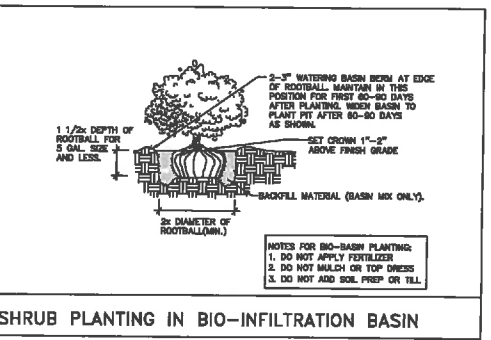
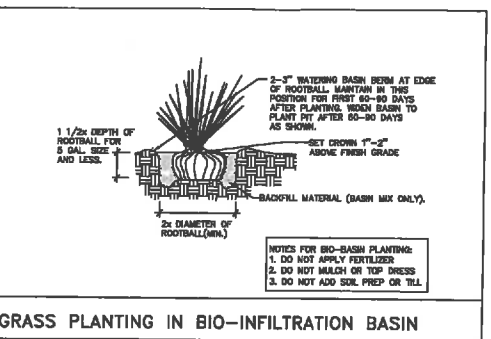
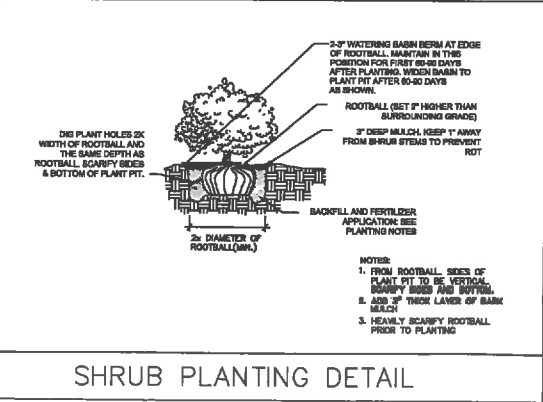
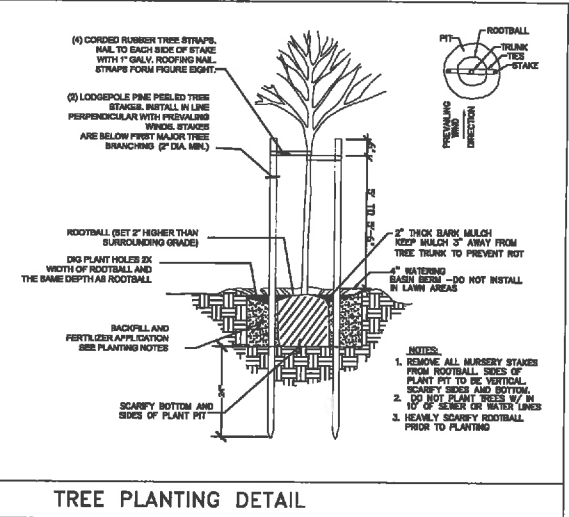
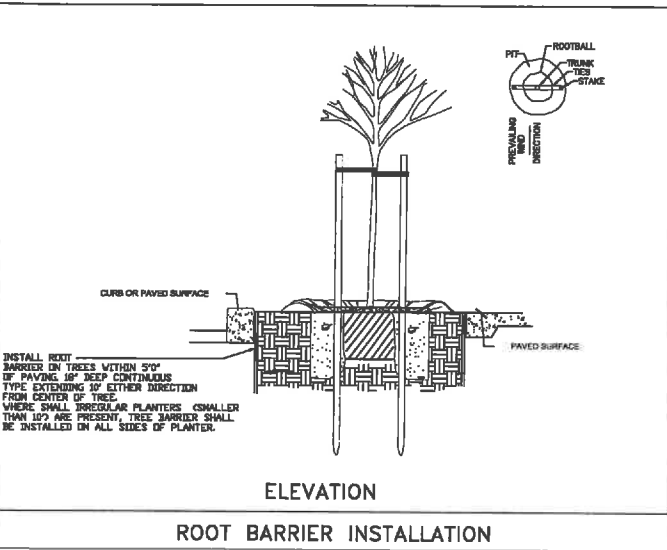
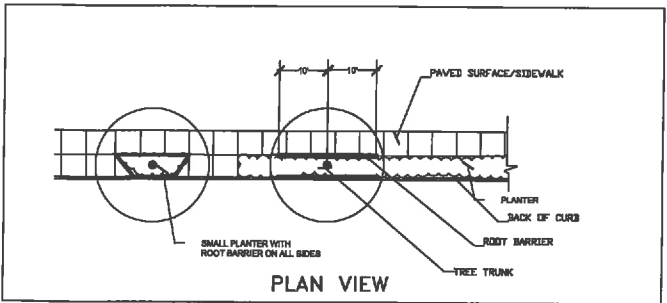
MAINTENANCE: The Contractor shall maintain the project for 90 days (or as requested by owner) following the approval to begin the maintenance period. During the entire maintenance period, watering, cultivating, weeding, mowing, repair/tightening of stakes and ties, restoration of basins, provision of supplemental water by hand in addition to Irrigation system as necessary. No pre-emergence herbicides shall be applied- hand remove weeds. Only organic fertilizers shall be applied such as those specified above. Install per manufacturer's recommendations. At the end of the 90 day maintenance period all areas are to be weed free and all plant material is to be in a healthy, thriving condition. Integrated pest management practices shall be implemented.

SUBSTITUTIONS: Requests for substitutions of plant varieties shall be made to the Landscape Architect within 15 days after signing of contract.

GUARANTEE: All construction, trees and shrubs by the Landscape Contractor and/or his subcontractors shall be guaranteed for (1) one year after beginning of maintenance period. The contractor shall replace, at no expense to the Owner, any and all landscape materials that are in an unacceptable condition for time of use, and trees or shrubs that are dead or not in a vigorous, healthy growing condition; within two weeks of notification of such condition. Replacement shall be of the same kind and size as the originally specified item and shall be replaced as originally described on the drawings. The Contractor shall not be held liable for loss of plant materials during the guarantee period due to vandalism, accidental causes or acts of neglect by others than the Contractor, his agents and employees.

CLEAN UP: At the end of each work day, at the inspection for substantial completion and before acceptance of project, clean paved areas that are dirtied or stained by construction operations, by sweeping or washing, and remove defacements and stains. Remove construction equipment, excess materials and tools. Haul from Owners property the debris resulting from construction, and dispose of legally. Remove remaining temporary protection at time of acceptance by Owner unless otherwise agreed.

FERTILIZERS: Available California Fertilizers Company Inc. 1-800-269-5690 www.organicag.com
www.californiaorganicfertilizers.com. Compost available from BFI 408-888-7632 www.bfi.com



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TICE VALLEY
SUBDIVISIONS 9177
CONTRA COSTA COUNTY
BRANAGH DEVELOPMENT

PLANTING NOTES
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L-4
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